



June 29, 2016

Zoning Board of Appeals
Mr. Jonathan F.X. O'Brien, Chair
Town of Sudbury, Flynn Building
278 Old Sudbury Road
Sudbury, MA 01776

2016 JUN 29 PM 3:40
DOWN CLERK

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Marvin Siflinger *President Emeritus*
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**RE: The Coolidge at Sudbury – 189 Boston Post Road
Zoning Board of Appeals Case Number 11-27; August 8, 2011
Request for Modification**

Dear Chairman O'Brien and Members of the Zoning Board of Appeals:

B'nai B'rith Housing New England, Inc. ("BBH") as project sponsor, on behalf its development entity Covenant Commonwealth Corporation, respectfully submits an application for zoning relief from the Zoning Board of Appeals (ZBA) relating to the Approval of a Substantial Modification relating to the Comprehensive Permit issued on August 8, 2011 for Phase 1 of The Coolidge at Sudbury (the "Phase 1 Comprehensive Permit").¹

The Phase 1 Comprehensive Permit needs to be modified because Phase 1 currently includes approximately six (6) acres of land. The developer proposes to subdivide the Phase 1 land into two parcels, each of approximately three (3) acres. Phase 1 will remain on one of the three-acre parcels and a Phase 2 will be constructed on the other three-acre parcel. The reduction of the Phase 1 parcel will exceed ten percent (10%); therefore, this request constitutes a Substantial Modification pursuant to the Chapter 40B regulations (760 CMR 56.07(4)(c)(3) and 760 CMR 56.05(11)).

As part of the Phase 2 Comprehensive Permit Application under separate application package, the developer requests subdivision approval by the Zoning Board of Appeals.

We welcome the opportunity to meet with you to review our plan at an upcoming Zoning Board of Appeals meeting. Please feel free to contact Holly Grace of my staff, at (617) 731-5293 or by email at holly@bbhousing.org if you require additional information. Thank you for your consideration.

Sincerely,

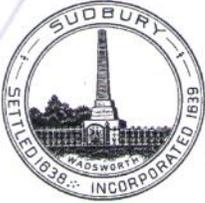
COVENANT COMMONWEALTH CORPORATION

By: 

By: Susan L. Gittelman, its Executive Director

Enclosures: Application Fee, Full sized plans – 9 copies, Reduced sized plans (11"x17") – 12 copies

¹ This is in addition to seeking approval pursuant to Chapter 40B, Sections 20-23 for Phase 2 of The Coolidge at Sudbury under separate application.



Town of Sudbury

Zoning Board of Appeals

Flynn Building
278 Old Sudbury Rd
Sudbury, MA 01776

<http://www.sudbury.ma.us>
email: appeals@sudbury.ma.us

APPLICATION FOR COMPREHENSIVE PERMIT (Ch. 40B) MODIFICATION

Date Filed: JUNE 29, 2016

PART I APPLICANT INFORMATION

Applicant's Name: COVENANT COMMONWEALTH CORPORATION

Applicant's Address: 34 WASHINGTON STREET, BRIGHTON, MA 02135

Applicant's Phone Number: 617-731-5291 Email Address: SUSAN@BBHOUSING.ORG

PART II OWNER INFORMATION

Owner's Name: CCC POST ROAD LIMITED PARTNERSHIP

Owner's Address: 189 BOSTON POST ROAD

Owner's Phone Number: 617-731-5291 Email Address: SUSAN@BBHOUSING.ORG

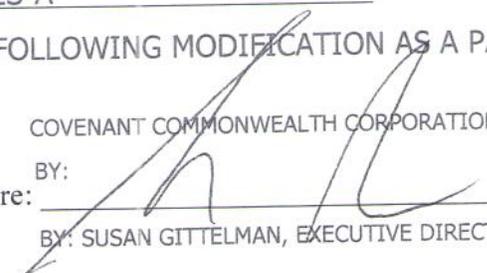
PART III PROPERTY INFORMATION

Address: 189 BOSTON POST ROAD, SUDBURY, MA 01776*

Assessors Map No: K10-0012, Size: 127,374 SF*, Frontage: 473 FEET*

Zoning District: RES-A

*AS PROPOSED FOLLOWING MODIFICATION AS A PART OF THIS APPLICATION.

COVENANT COMMONWEALTH CORPORATION
BY:
Applicant's Signature: 
BY: SUSAN GITTELMAN, EXECUTIVE DIRECTOR

Materials to be submitted with the application are described in detail in the

SUPPLEMENTAL RULES FOR COMPREHENSIVE PERMITS

<http://sudbury.ma.us/documents/dl/4081/Supplemental40BRules070123.doc>

and include:

Preliminary site development plans, Report on existing conditions, Preliminary, scaled, architectural drawings, Tabulation of proposed buildings, Preliminary subdivision and utilities plan, Jurisdictional documentation, Waivers and exceptions requested, Certified List of Abutters, Filing Fee or waiver request

**B'NAI B'RITH HOUSING
NEW ENGLAND - DEVELOPMENT**
34 WASHINGTON STREET
BRIGHTON, MA 02135

CITIZENS BANK
MASSACHUSETTS

1771

5-70172110

6/21/2016

PAY TO THE ORDER OF Town of Sudbury

\$ ***500.00

Five Hundred and 00/100*****

DOLLARS

Town of Sudbury
Flynn Building
278 Old Sudbury Road
Sudbury MA 01776



MEMO Comp Permit Sig Change Fee-Coolidge

SECURITY FEATURES INCLUDED. DETAILS ON BACK.

B'NAI B'RITH HOUSING NEW ENGLAND - DEVELOPMENT

1771

Town of Sudbury

Date 6/21/2016
Type Bill
Reference SUDBURY II

6/21/2016

Balance Due 500.00

Payment 500.00

Discount

500.00

Check Amount 500.00

Cash in bank- Develo Comp Permit Sig Change Fee-Coolidge

500.00

COMPREHENSIVE MODIFICATION PLAN

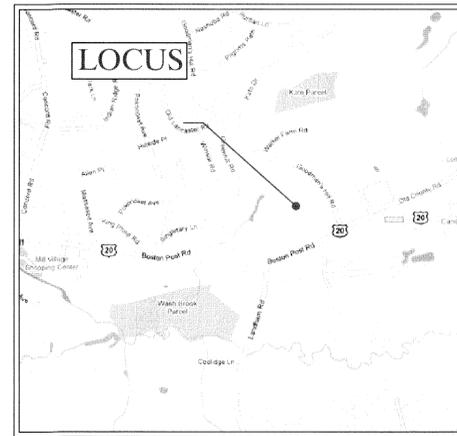
THE COOLIDGE AT SUDBURY

189 BOSTON POST ROAD, SUDBURY

FOR

B'nai B'rith Housing New England, Inc.

A 64 UNIT SENIOR HOUSING COMMUNITY
PERMITTED UNDER M.G.L. CHAPTER 40B



VICINITY MAP
N.T.S.

NOTES:

1. THESE PLANS ARE ISSUED FOR APPROVAL OF A MODIFICATION OF THE APPROVED SITE PLAN IN ACCORDANCE WITH M.G.L. CHAPTER 40B AND PROCEDURES OF THE TOWN OF SUDBURY. THE PLANS ARE NOT INTENDED FOR CONSTRUCTION. THE SUBJECT LOT IS BEING DIVIDED INTO TWO LOTS FOR FUTURE DEVELOPMENT ON THE NEW LOT CREATED.
2. ADDITIONAL INFORMATION IS CONTAINED IN A REPORT TO ACCOMPANY THE APPLICATION TO THE SUDBURY ZONING BOARD OF APPEALS.
3. WATER MAINS SHALL BE CLASS 52 D.I.P. PER AWWA. STORM DRAINS SHALL BE ADS N-12 DRAIN PIPE OR EQUAL.
4. SIGNS AND LIGHTING SHALL COMPLY WITH THE ZONING BYLAW UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
3. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.

SUDBURY ZONING A-1 RESIDENTIAL

USE: RESIDENTIAL (AGE RESTRICTED RENTAL) 64 UNITS, DENSITY 21.92 UNITS PER ACRE	REQUIRED	PROVIDED	WAIVER
LOT AREA MINIMUM	40,000 SQ.FT	127,374 SQ.FT (2.92 AC.)	NO
MINIMUM LOT FRONTAGE	180'	473.16'	NO
FRONT YARD SETBACK	40'	44'±	YES
SIDE YARD SETBACK	20'	N/A	NO
REAR YARD SETBACK	30'	37'±	NO
MAXIMUM BUILDING HEIGHT	35' / 2.5 STORIES	47' / 3 STORIES	YES
MAXIMUM BUILDING COVERAGE	40%	15.4%	NO
PARKING			
SPACES PER UNIT	2 (128 TOTAL)	1.25 (80 TOTAL)	YES
STALL WIDTH	9'	9'	NO
STALL LENGTH	18.5'	18.5'	NO
AISLE WIDTH	24'	24'	NO

LOT USE AREAS	AREA	% OF LOT
TOTAL LOT	2.92 acres	-
BUILDINGS	0.45 acres	15.4%
SIDEWALKS	0.09 acres	3.1%
PATIOS	0.08 acres	2.7%
PERMEABLE PAVEMENT FIRE LANE	0.10 acres	3.4%
PARKING LOT	0.49 acres	16.8%
LANDSCAPE AREA W/IN AREA OF DISTURBANCE	1.65 acres	56.5%
UNDISTURBED	0.06 acres	2.1%

SHEET INDEX

- 1..... TITLE SHEET
- 2..... EXISTING CONDITIONS PLAN
- 3..... PRELIMINARY SUBDIVISION PLAN
- 4..... PRELIMINARY SITE PLAN

GENERAL NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
4. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL. HEREON, DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
8. RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
11. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS, COMPREHENSIVE PERMIT AND ZONING ORDINANCES (AS APPLICABLE) PRIOR TO CONSTRUCTION.

THE
COOLIDGE
AT
SUDBURY

189 Boston Post Road
Sudbury, Massachusetts

PREPARED FOR:

B'nai B'rith
Housing New
England, Inc.

34 Washington Street
Brighton, Ma

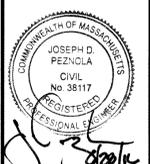
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 Elm Street, Marlborough, MA 01752
Voice (508) 460-1111, Fax (508) 460-1121
www.hancockassociates.com



PROJECT TEAM

APPLICANT:

B'NAI B'RITH HOUSING, NEW
ENGLAND, INC.
34 WASHINGTON STREET
BURLINGTON, MA 02135
617-731-5293
holly@bbhousing.org

LANDSCAPE ARCHITECT:

JAMES K. EMMANUEL, RLS
16 CROSSMAN AVENUE
SWAMPSCOTT, MA 01907
781-622-7487
james@jamesemmanuel.com

CIVIL ENGINEER:

HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MA
01752
508-460-1111
jpeznola@hancockassociates.com

ARCHITECT:

THE ARCHITECTURAL TEAM
50 COMMANDANT'S WAY
CHELSEA, MA 02150
617-889-4402
tschultz@architecturalteam.com

SURVEYOR:

HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MA
01752
508-460-1111
cfrias@hancockassociates.com

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 6/28/16 DRAWN BY: MFC/JTL
SCALE: CHECK BY: JF

TITLE SHEET

PLOT DATE: Jun 28, 2016 9:11 am
PATH: W:\15526\Source Drawings\

DWG: 15526-CV2.dwg

LAYOUT: TITLE

SHEET: 1 OF 4

PROJECT NO.: 15526

LEGEND

- 23.4--- SURFACE CONTOUR
- METAL GUARDRAIL
- EDGE OF PAVEMENT
- WOOD FENCE
- 26.75— CURB WITH TOP AND BOTTOM CURB ELEVATION
- 12"RCP— DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN & MANHOLE
- 208.8 WFA2 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- LIMIT OF 100-FOOT WETLAND BUFFER ZONE
- LIMIT OF 50-FOOT WETLAND BUFFER ZONE
- LIMIT OF 25-FOOT WETLAND BUFFER ZONE
- × 232.6 SPOT ELEVATION
- ☆ LIGHT POLE
- ⊙ IRRIGATION WELL
- ⊙ BOLLARD
- ⊙ HANDICAP SIGN
- ⊙ ROOF DRAIN
- ⊙ YARD DRAIN
- ⊙ SMH SEWER MANHOLE
- ⊙ CB CATCH BASIN
- ⊙ DMH DRAIN MANHOLE
- ⊙ IP IRON PIPE
- ⊙ DHSB DRILL HOLE IN STONE BOUND
- ⊙ FD FOUND
- ⊙ ICV IRRIGATION CONTROL VALVE
- ⊙ BIT CONC BITUMINOUS CONCRETE
- ⊙ CLEAN OUT
- RR RIP-RAP
- FF FIRST FLOOR ELEVATION
- ⊙ PARKING SPACES
- ⊙ CPP CORRUGATED PLASTIC PIPE
- ⊙ HYD WATER HYDRANT
- ⊙ WV WATER VALVE
- ⊙ UP
- ▲ BM BENCHMARK
- ⊙ CATV HH UTILITY POLE WITH DESIGNATION
- ⊙ MCC CABLE TV HAND HOLE
- ⊙ MODIFIED CAPE COD BERM

ASSESSORS:

MAP K10, LOTS 8, 12, 81 & 82

ZONING:

SRA - SINGLE RESIDENCE A

REFERENCES:

DEED BOOK 61918, PAGE 178
PLAN 1212 OF 1998

RECORD OWNER:

CCC POST ROAD LIMITED PARTNERSHIP
34 WASHINGTON STREET
BRIGHTON, MA 02135

NOTES:

- 1) PROJECT SOURCE BENCHMARK IS BASED ON BENCHMARK THAT IS SHOWN ON A TOPOGRAPHIC PLAN OF LAND OF #189 BOSTON POST ROAD, SUDBURY MA BY SCHOFIELD BROTHERS OF NEW ENGLAND, DATED JUNE 30, 2010, SAID BENCHMARK IS BASED UPON A MONEL RIVET IN WINGWALL ON LANDHAM ROAD OVER RAILROAD
- 2) ELEVATIONS SHOWN HEREON REFER TO NGVD 29 DATUM.
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) A PORTION OF THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=40' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RE-SCALING MAY EFFECT THE MAP ACCURACY.
- 5) THIS PARCEL IS LOCATED WITHIN ZONE X 'OTHER AREAS' WHICH IS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOODPLAIN PER FEMA MAP 25017C0507F, REVISED JULY 7, 2014.
- 6) WETLANDS LINE SHOWN WAS FLAGGED BY LEC ENVIRONMENTAL CONSULTANTS, INC OF WORCESTER ON JUNE 1, 2010 AND WAS LOCATED BY SCHOFIELD BROTHERS, LLC. ON JUNE 29, 2010. FLAGS 5A AND 12A WERE ADDED DECEMBER 31, 2015 BY LEC ENVIRONMENTAL, INC.
- 7) NHESP PRIORITY HABITATS OF RARE SPECIES LINE AS SHOWN ON PLAN WAS IMPORTED FROM THE MASS-GIS DATABASE WITH AN EFFECTIVE DATE OF OCTOBER 1, 2008.
- 8) CONTOURS SHOWN IN GREY-SCALE ARE FROM THE PLAN REFERENCED IN NOTE 1.

189 BOSTON POST ROAD

Sudbury, Massachusetts 01776

PREPARED FOR:

B'NAI B'RITH HOUSING NEW ENGLAND

34 Washington Street
Brighton, Massachusetts 02135

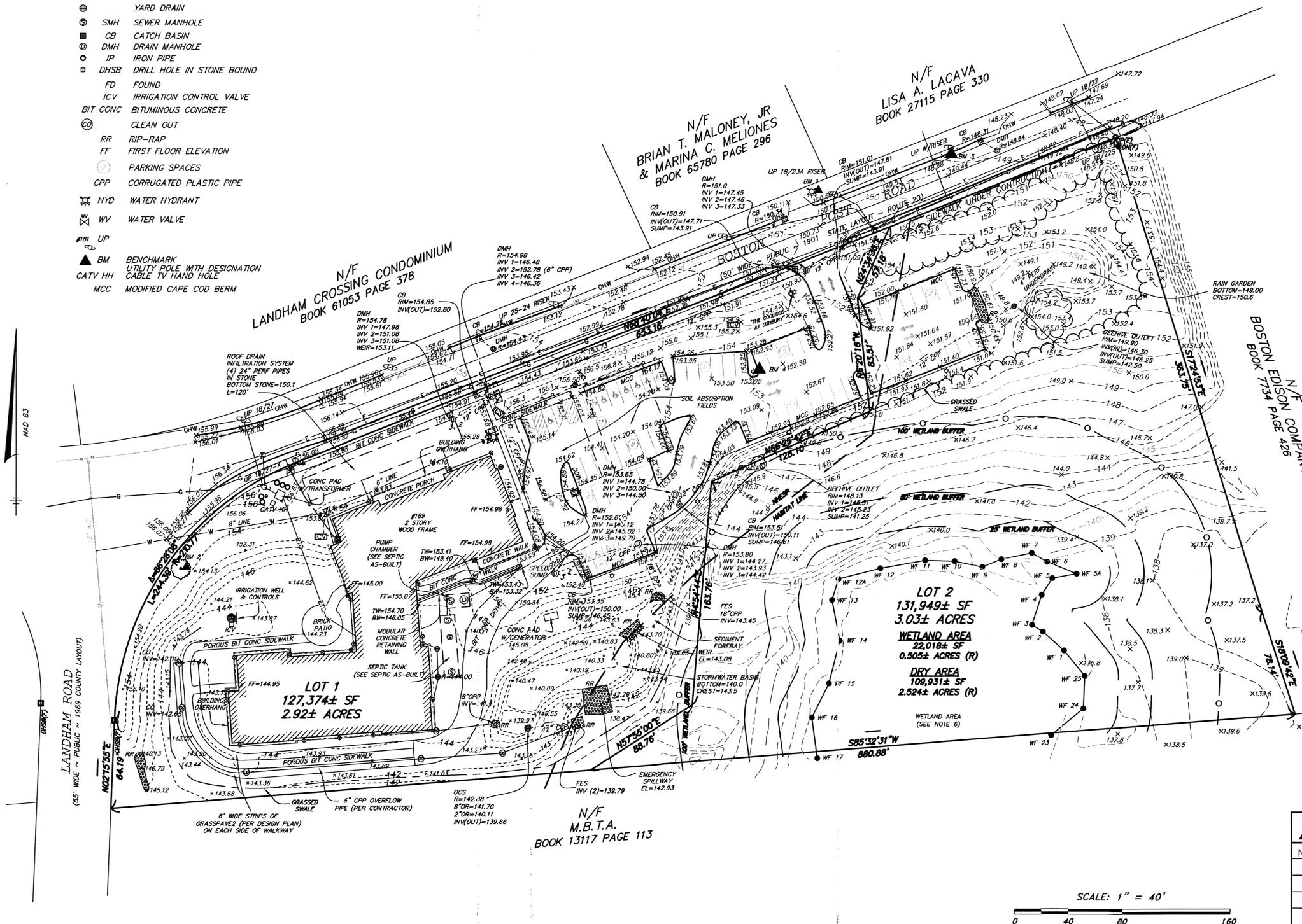
HANCOCK ASSOCIATES

Civil Engineers

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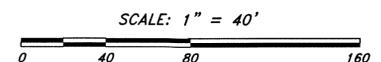
Environmental Consultants

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LOT 2
131,949± SF
3.03± ACRES
WETLAND AREA
22,018± SF
0.505± ACRES (R)
DRY AREA
109,931± SF
2.524± ACRES (R)

LOT 1
127,374± SF
2.92± ACRES



ELEVATION BENCH MARKS		
DATUM: NGVD 29		
NO.	DESCRIPTION	ELEV.
1.	'X' CUT ON HYDRANT BONNET BOLT	152.56'
2.	CUT SPIKE 2.5' UP IN 18" MAPLE TREE	157.57'
3.	MAG/S IN UTILITY POLE	150.39
4.	SQUARE CUT SET IN LIGHT POLE BASE	157.37

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
1	CMC	CMF	6/24/16	UPDATE SITE TOPO

DATE: 6/29/16 DRAWN BY: CMC
SCALE: 1" = 40' CHECK BY: JP

EXISTING CONDITIONS PLAN

PLOT DATE: Jun 29, 2016 8:48 am
PATH: W:\15526\Source Drawings\

DWG: 15526-TAT-AB-2.dwg

LAYOUT: AS-BUILT

SHEET: 1 OF 1

PROJECT NO.: **15526**

2

EXISTING	LEGEND	PROPOSED
	FORCE MAIN	
	SEWER LINE AND MANHOLE SIZE MATERIAL & FLOW DIRECTION	
	DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCH BASIN, MANHOLE & ROUND CATCH BASIN	
	ROOF DRAIN AND DOWNSPOUT	
	PERFORATED UNDERDRAIN	
	FOUNDATION DRAIN	
	DOMESTIC WELL	
	WATER SERVICE	
	WATER MAIN AND VALVE	
	NATURAL GAS LINE AND VALVE	
	PROPERTY LINE	
	EASEMENT LINE	
	TOWN LINE	
	MATCH LINE	
	LIGATURE TO INDICATE CONTINUOUS OWNERSHIP ACROSS LINES	
	BEARING & DISTANCE ALONG BOUNDARY	
	TOTALLED BOUNDARY FRONTAGE	
	ELEVATION BENCH MARK	
	BARBED WIRE FENCE	
	CHAIN LINK FENCE WITH HEIGHT	
	WOOD FENCE WITH HEIGHT	
	STONE WALL	
	STONE RETAINING WALL	
	RETAINING WALL	
	EDGE OF LAWN	
	EDGE OF GRAVEL OR DIRT ROAD	
	EDGE OF PAVEMENT	
	CURB (see abbreviations)	
	PATH OR TRAIL	
	BUILDING, LIGHT, STEPS & OVERHANG	
	SPOT ELEVATION	
	ELEVATION CONTOUR	
	LIMIT OF BORDERING VEGETATED WETLAND (WITH FLAG NUMBER)	
	LIMIT OF 100-FOOT WETLAND BUFFER ZONE	
	EDGE OF WOODS OR BRUSH (DRIP LINE)	
	PROMINENT CONIFEROUS TREE	
	ROCK OUTCROP (LEDGE)	
	SILT FENCE	
	HAYBALES	
	FILTER SOCK	
	PIPE FLOW	
	TEST PIT WITH ELEVATION	
	PERCOLATION TEST	
	SOIL PROBE	
	SOIL BORING	
	GROUNDWATER MONITORING WELL	

ASSESSORS:
MAP K10, LOTS 8, 12, 81 & 82

ZONING:
SRA - SINGLE RESIDENCE A

REFERENCES:
DEED BOOK 61918, PAGE 178
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RECORD OWNER:
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BRIGHTON, MA 02135

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POST ROAD

Sudbury, Massachusetts 01776

PREPARED FOR:

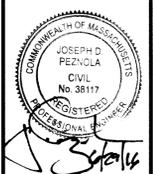
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NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 6/29/16 DRAWN BY: MFC/JTL
SCALE: 1" = 40' CHECK BY: JP

**PRELIMINARY
SITE PLAN**

PLOT DATE: Jun 28, 2016 8:50 am
PATH: W:\15526\Source Drawings\

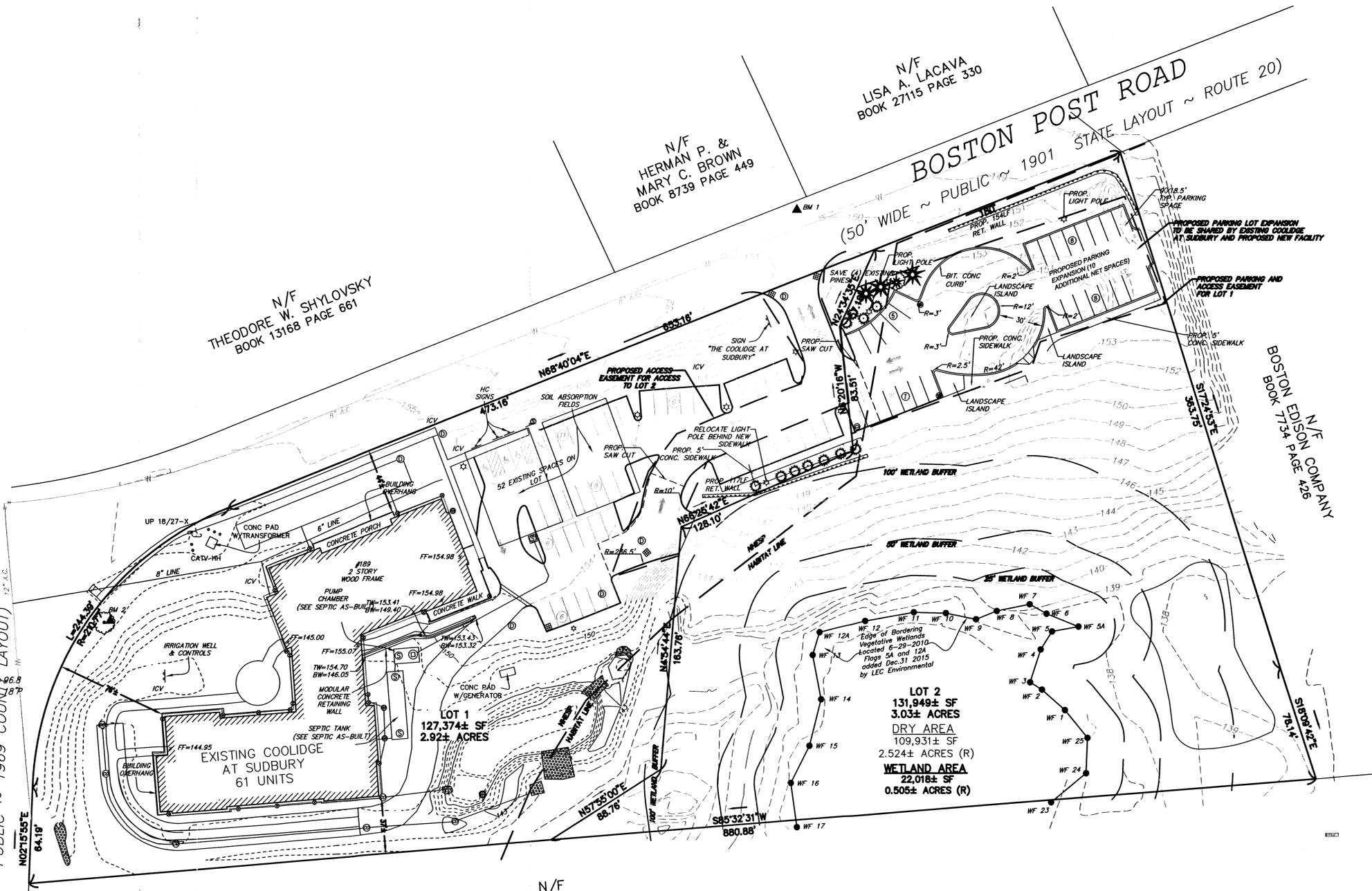
DWG: 15526-CV4.dwg

LAYOUT: HA-SITE

SHEET: 1 OF 1

PROJECT NO.: 15526

4



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DATUM: NGVD 29		
NO.	DESCRIPTION	ELEV.
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