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Revision:

**THE COOLIDGE AT
SUDBURY II**

189 BOSTON POST ROAD
SUDBURY, MA

Drawn: MFC/JTL

Checked: JP

Scale: AS NOED

Key Plan:

Sheet Name:

TITLE

Project Number: 15526

Project Name:

Issue Date:

JUNE 29, 2016

Sheet Number:

C1

COMPREHENSIVE PERMIT SITE PLAN

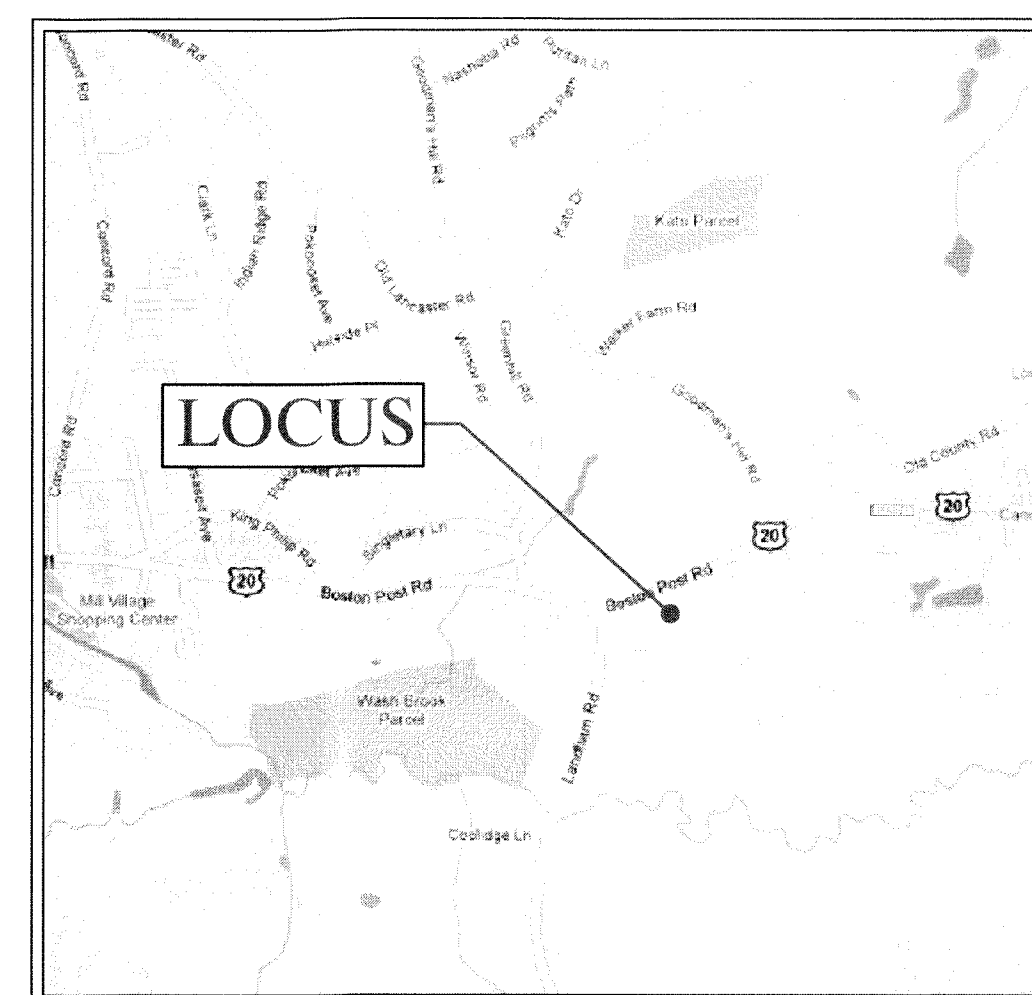
THE COOLIDGE AT SUDBURY II

189 BOSTON POST ROAD, SUDBURY MA

FOR

B'nai B'rith Housing New England, Inc.

A 56 UNIT SENIOR HOUSING COMMUNITY
PERMITTED UNDER M.G.L. CHAPTER 40B



VICINITY MAP

N.T.S.

SUDBURY ZONING A-1 RESIDENTIAL

USE: RESIDENTIAL (AGE RESTRICTED RENTAL) 56 UNITS, DENSITY 18.48 UNITS PER ACRE

	REQUIRED	PROPOSED	WAIVER
LOT AREA MINIMUM	40,000 SQ.FT	131,949 SQ.FT (3.03 AC.)	NO
MINIMUM LOT FRONTAGE	180'	180'	NO
FRONT YARD SETBACK	40'	106'±	NO
SIDE YARD SETBACK	20'	18'±	YES
REAR YARD SETBACK	30'	168'±	NO
MAXIMUM BUILDING HEIGHT	35' / 2.5 STORIES	47' / 3 STORIES	YES
MAXIMUM BUILDING COVERAGE	40%	13.5%	NO

	REQUIRED	PROPOSED	WAIVER
PARKING SPACES PER UNIT	2 (112 TOTAL)	1.3 (74 TOTAL)	YES
STALL WIDTH	9'	9'	NO
STALL LENGTH	18.5'	18.5'	NO
AISLE WIDTH	24'	24'	NO

LOT USE AREAS

	AREA	% OF LOT
TOTAL LOT	3.03 acres	-
BUILDINGS	0.41 acres	13.5%
SIDEWALKS	0.04 acres	1.3%
PATIOS	0.06 acres	2.0%
PERMEABLE PAVEMENT FIRE LANE	0.00 acres	0%
PARKING LOT	0.39 acres	12.9%
LANDSCAPE AREA W/IN AREA OF DISTURBANCE	0.84 acres	27.7%
UNDISTURBED	1.29 acres	42.6%

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- 5..... PRELIMINARY LAYOUT PLAN
- 6..... PRELIMINARY GRADING AND UTILITY PLAN
- 7..... PRELIMINARY LANDSCAPE PLAN

PROJECT TEAM

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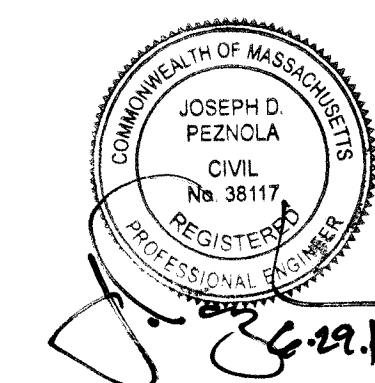
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NOTES

1. THESE PLANS ARE ISSUED FOR APPROVAL OF A SITE PLAN IN ACCORDANCE WITH M.G.L. CHAPTER 40B AND PROCEDURES OF THE TOWN OF SUDBURY. THE PLANS ARE NOT INTENDED FOR CONSTRUCTION.
2. ADDITIONAL INFORMATION IS CONTAINED IN A REPORT TO ACCOMPANY THE APPLICATION TO THE SUDBURY ZONING BOARD OF APPEALS.
3. WATER MAINS SHALL BE CLASS 52 D.I.P. PER AWWA. STORM DRAINS SHALL BE ADS N-12 DRAIN PIPE OR EQUAL.
4. SIGNS AND LIGHTING SHALL COMPLY WITH THE ZONING BYLAW UNLESS OTHERWISE NOTED.
5. EXISTING CONDITIONS INFORMATION PREPARED BY SCHOFIELD BROTHERS INC. OF NEW ENGLAND.

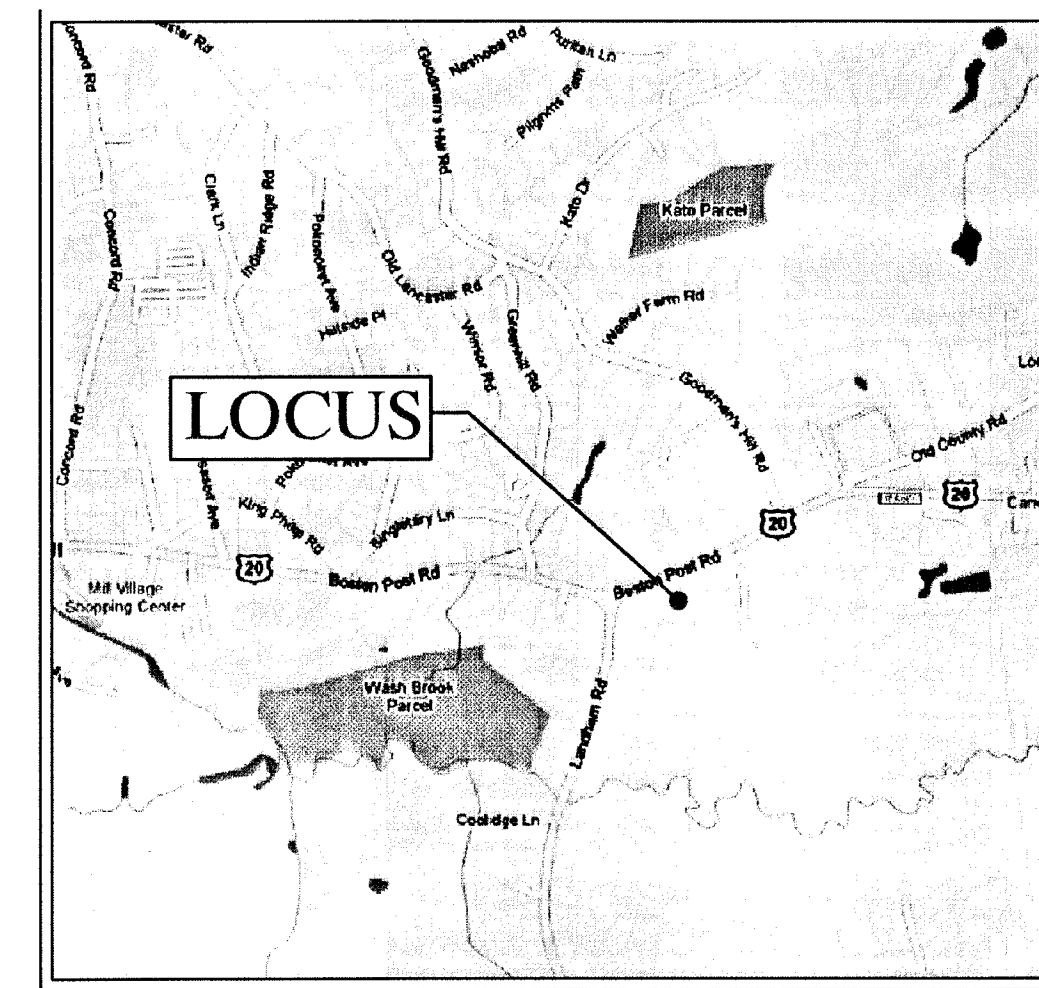
CONSTRUCTION NOTES

1. CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
3. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.

GENERAL NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
4. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
8. RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
11. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS, COMPREHENSIVE PERMIT AND ZONING ORDINANCES (AS APPLICABLE) PRIOR TO CONSTRUCTION.

EXISTING	LEGEND	PROPOSED
	FORCE MAIN	
	SEWER LINE AND MANHOLE SIZE MATERIAL & FLOW DIRECTION	
	DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCH BASIN MANHOLE & ROUND CATCH BASIN	
	ROOF DRAIN AND DOWNSPOUT	
	PERFORATED UNDERDRAIN	
	FOUNDATION DRAIN	
	DOMESTIC WELL	
	WATER SERVICE	
	WATER MAIN AND VALVE	
	NATURAL GAS LINE AND VALVE	
	PROPERTY LINE	
	EASEMENT LINE	
	TOWN LINE	
	MATCH LINE	
	LIGATURE TO INDICATE CONTINUOUS OWNERSHIP ACROSS LINES	
	BEARING & DISTANCE ALONG BOUNDARY	
	TOTALLED BOUNDARY FRONTAGE	
	ELEVATION BENCH MARK	
	BARBED WIRE FENCE	
	CHAIN LINK FENCE WITH HEIGHT	
	WOOD FENCE WITH HEIGHT	
	STONE WALL	
	STONE RETAINING WALL	
	RETAINING WALL	
	EDGE OF LAWN	
	EDGE OF GRAVEL OR DIRT ROAD	
	EDGE OF PAVEMENT	
	CURB (see abbreviations)	
	PATH OR TRAIL	
	BUILDING, LIGHT, STEPS & OVERHANG	
	SPOT ELEVATION	
	ELEVATION CONTOUR	
	LIMIT OF BORDERING VEGETATED WETLAND (WITH FLAG NUMBER)	
	LIMIT OF 100-FOOT WETLAND BUFFER ZONE	
	EDGE OF WOODS OR BRUSH (DRIP LINE)	
	PROMINENT CONIFEROUS TREE	
	ROCK OUTCROP (LEDGE)	
	SILT FENCE	
	HAYBALES	
	FILTER SOCK	
	PIPE FLOW	
	TEST PIT WITH ELEVATION	
	PERCOLATION TEST	
	SOIL PROBE	
	SOIL BORING	
	GROUNDWATER MONITORING WELL	



VICINITY MAP
N.T.S.

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Revision:

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189 BOSTON POST ROAD
SUDBURY, MA

Drawn: MFC/JTL
Checked: JP
Scale: AS NOTED
Key Plan:

Sheet Name:

NOTES

Project Number: 15526

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Issue Date:
JUNE 29, 2016

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C2



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Revision:

THE COOLIDGE AT SUDBURY II
 189 BOSTON POST ROAD
 SUDBURY, MA

Drawn: CMC
 Checked: JP
 Scale: 1"=40'
 Key Plan:

Sheet Name:
EXISTING CONDITIONS

Project Number: 15526
 Project Name:

Issue Date:
JUNE 29, 2016
 Sheet Number:

ASSESSORS:

MAP K10, LOTS 8, 12, 81 & 82

ZONING:

SRA - SINGLE RESIDENCE A

REFERENCES:

DEED BOOK 61918, PAGE 178
 PLAN 1212 OF 1998

RECORD OWNER:

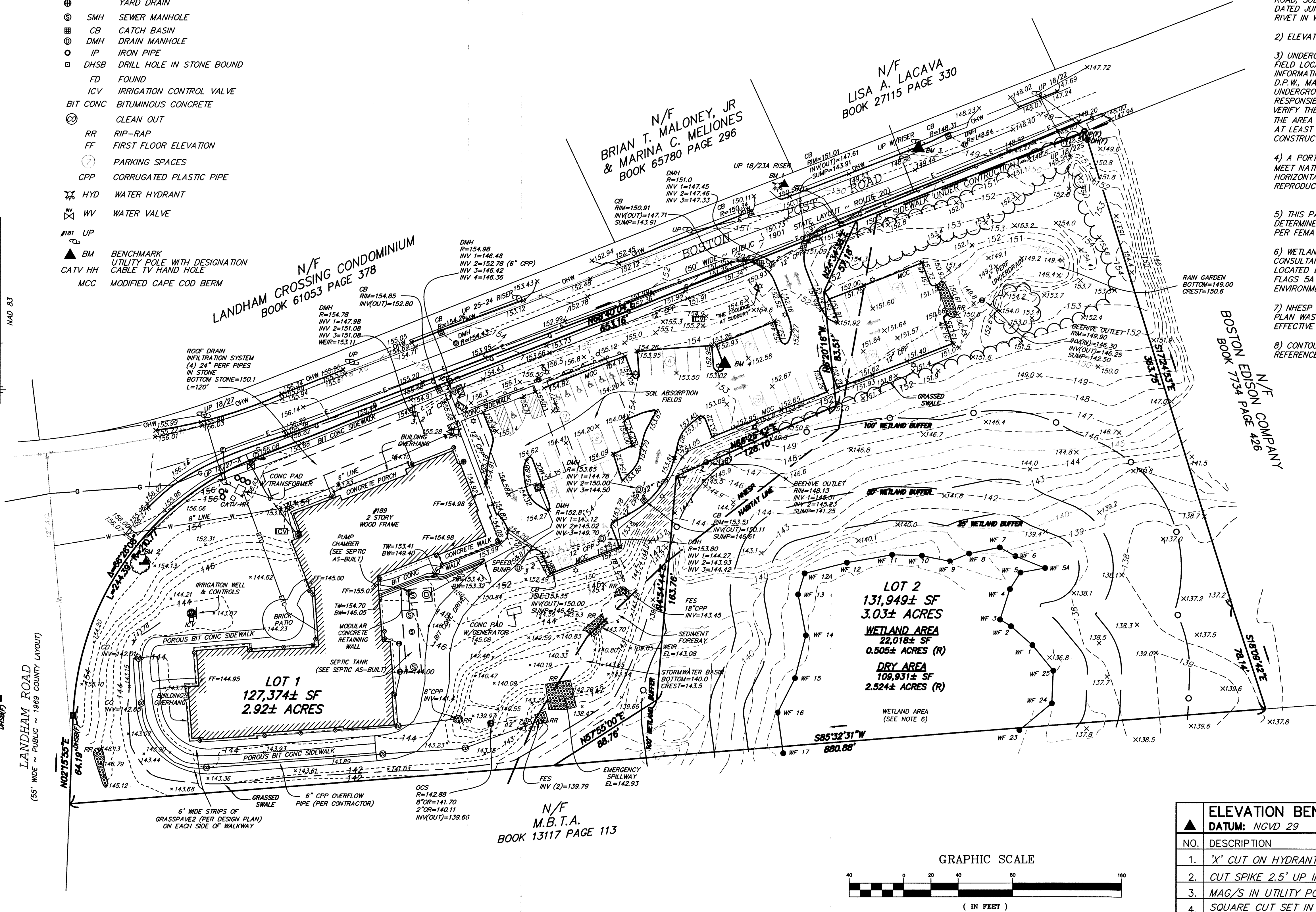
CCC POST ROAD LIMITED PARTNERSHIP
 34 WASHINGTON STREET
 BRIGHTON, MA 02135

NOTES:

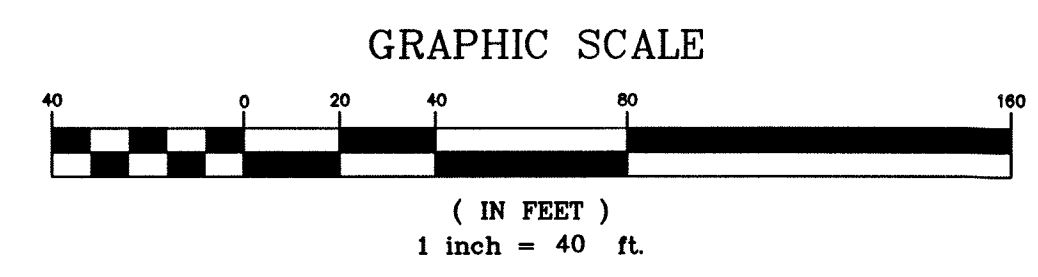
- PROJECT SOURCE BENCHMARK IS BASED ON BENCHMARK THAT IS SHOWN ON A TOPOGRAPHIC PLAN OF LAND OF #189 BOSTON POST ROAD, SUDBURY, MA BY SCHOFIELD BROTHERS OF NEW ENGLAND, DATED JUNE 30, 2010. SAID BENCHMARK IS BASED UPON A MONEL RIVET IN WINGWALL ON LANDHAM ROAD OVER RAILROAD
- ELEVATIONS SHOWN HEREON REFER TO NGVD 29 DATUM.
- UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- A PORTION OF THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=40' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RE-SCALING MAY EFFECT THE MAP ACCURACY.
- THIS PARCEL IS LOCATED WITHIN ZONE X 'OTHER AREAS' WHICH IS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOODPLAIN PER FEMA MAP 25017C0507F, REVISED JULY 7, 2014.
- WETLANDS LINE SHOWN WAS FLAGGED BY LEC ENVIRONMENTAL CONSULTANTS, INC OF WORCESTER ON JUNE 1, 2010 AND WAS LOCATED BY SCHOFIELD BROTHERS, LLC, ON JUNE 29, 2010. FLAGS 5A AND 12A WERE ADDED DECEMBER 31, 2015 BY LEC ENVIRONMENTAL, INC.
- WHESP PRIORITY HABITATS OF RARE SPECIES LINE AS SHOWN ON PLAN WAS IMPORTED FROM THE MASS-GIS DATABASE WITH AN EFFECTIVE DATE OF OCTOBER 1, 2008.
- CONTOURS SHOWN IN GREY-SCALE ARE FROM THE PLAN REFERENCED IN NOTE 1.

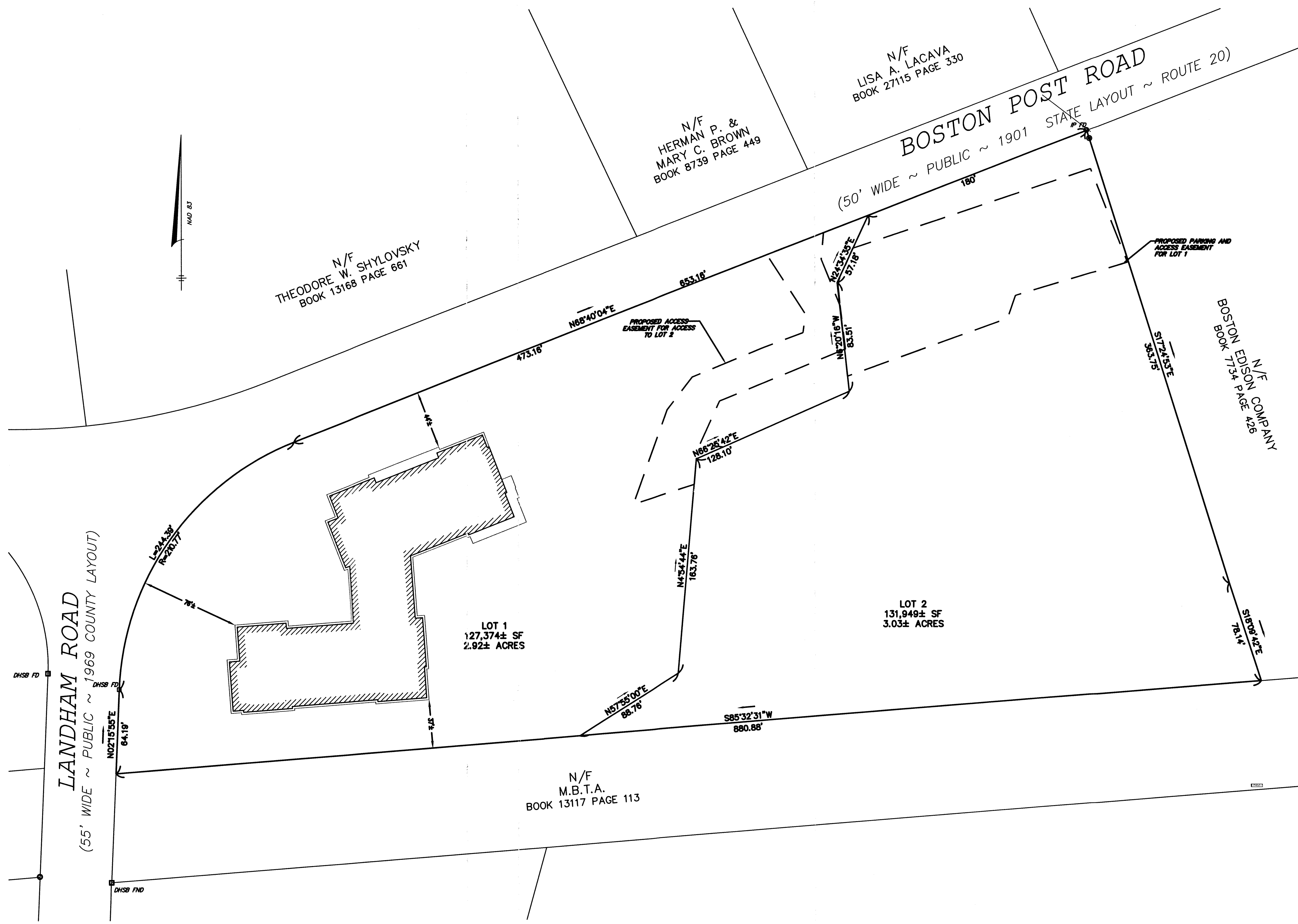
LEGEND

- 2.34 --- SURFACE CONTOUR
- METAL GUARDRAIL
- EDGE OF PAVEMENT
- WOOD FENCE
- 26.75 --- CURB WITH TOP AND BOTTOM
- 26.25 --- CURB ELEVATION
- 12" RCP --- DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN & MANHOLE
- 208.8 --- LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- WFA2 --- LIMIT OF 100-FOOT WETLAND BUFFER ZONE
- --- LIMIT OF 50-FOOT WETLAND BUFFER ZONE
- --- LIMIT OF 25-FOOT WETLAND BUFFER ZONE
- × 232.6 SPOT ELEVATION
- ☆ LIGHT POLE
- ⊙ IRRIGATION WELL
- ⊙ BOLLARD
- ⊙ HANDICAP SIGN
- ⊙ ROOF DRAIN
- ⊙ YARD DRAIN
- ⊙ SMH SEWER MANHOLE
- ⊙ CB CATCH BASIN
- ⊙ DMH DRAIN MANHOLE
- ⊙ IP IRON PIPE
- ⊙ DHSB DRILL HOLE IN STONE BOUND
- ⊙ FD FOUND
- ⊙ ICV IRRIGATION CONTROL VALVE
- ⊙ BIT CONC BITUMINOUS CONCRETE
- ⊙ CLEAN OUT
- RR RIP-RAP
- FF FIRST FLOOR ELEVATION
- ⊙ PARKING SPACES
- ⊙ CPP CORRUGATED PLASTIC PIPE
- ⊙ HYD WATER HYDRANT
- ⊙ WV WATER VALVE
- ⊙ UP
- ⊙ BM BENCHMARK
- ⊙ CATV HH UTILITY POLE WITH DESIGNATION
- ⊙ MCC MODIFIED CAPE COD BERM



ELEVATION BENCH MARKS		
DATUM: NGVD 29		
NO.	DESCRIPTION	ELEV.
1.	'X' CUT ON HYDRANT BONNET BOLT	152.56'
2.	CUT SPIKE 2.5' UP IN 18" MAPLE TREE	157.57'
3.	MAG/S IN UTILITY POLE	150.39
4.	SQUARE CUT SET IN LIGHT POLE BASE	



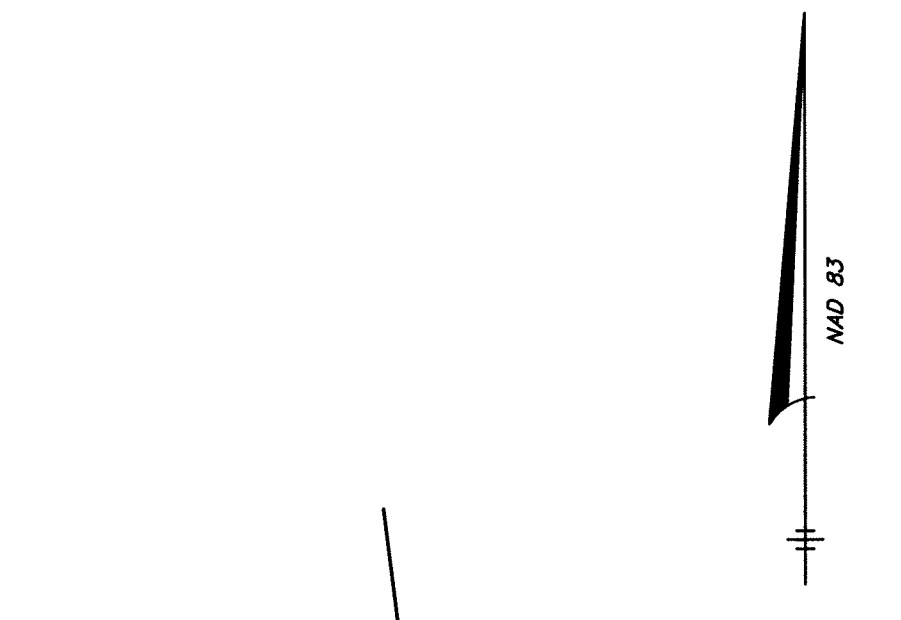


ASSESSORS:
MAP K10, LOTS 8, 12, 81 & 82

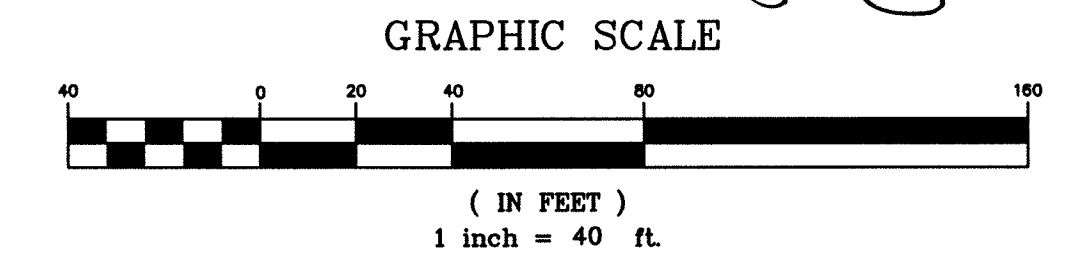
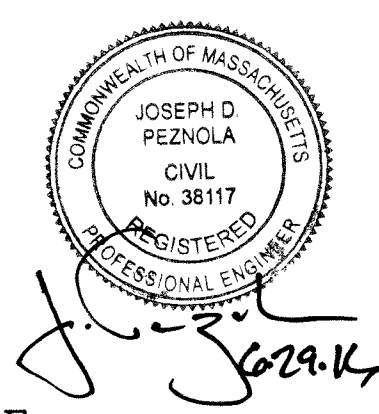
ZONING:
SRA - SINGLE RESIDENCE A

REFERENCES:
DEED BOOK 61918, PAGE 178
PLAN 1212 OF 1998

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189 BOSTON POST ROAD
SUDBURY, MA

Drawn: MFC/JTL

Checked: JP

Scale: 1"=40'

Key Plan:

Sheet Name:

PRELIMINARY SUBDIVISION

Project Number: **15526**

Project Name:

Issue Date:

JUNE 29, 2016

Sheet Number:

C4

NOTES:

1. SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (521 CMR) REQUIREMENTS, AS AMENDED.

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189 BOSTON POST ROAD
SUDBURY, MA

Drawn: MFC/JTL
Checked: JP
Scale: 1"=30'
Key Plan:

Sheet Name:

PRELIMINARY LAYOUT PLAN

Project Number: 15526

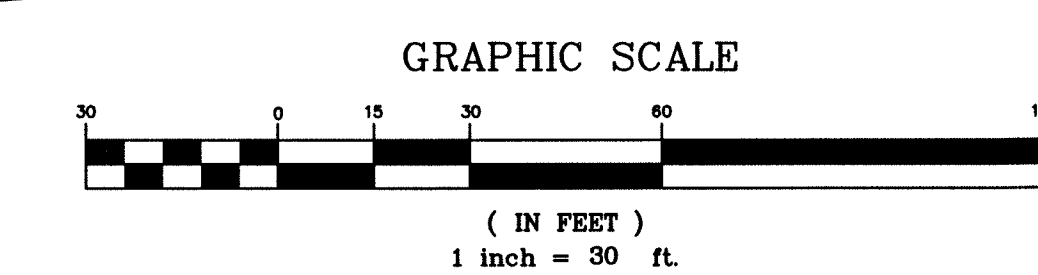
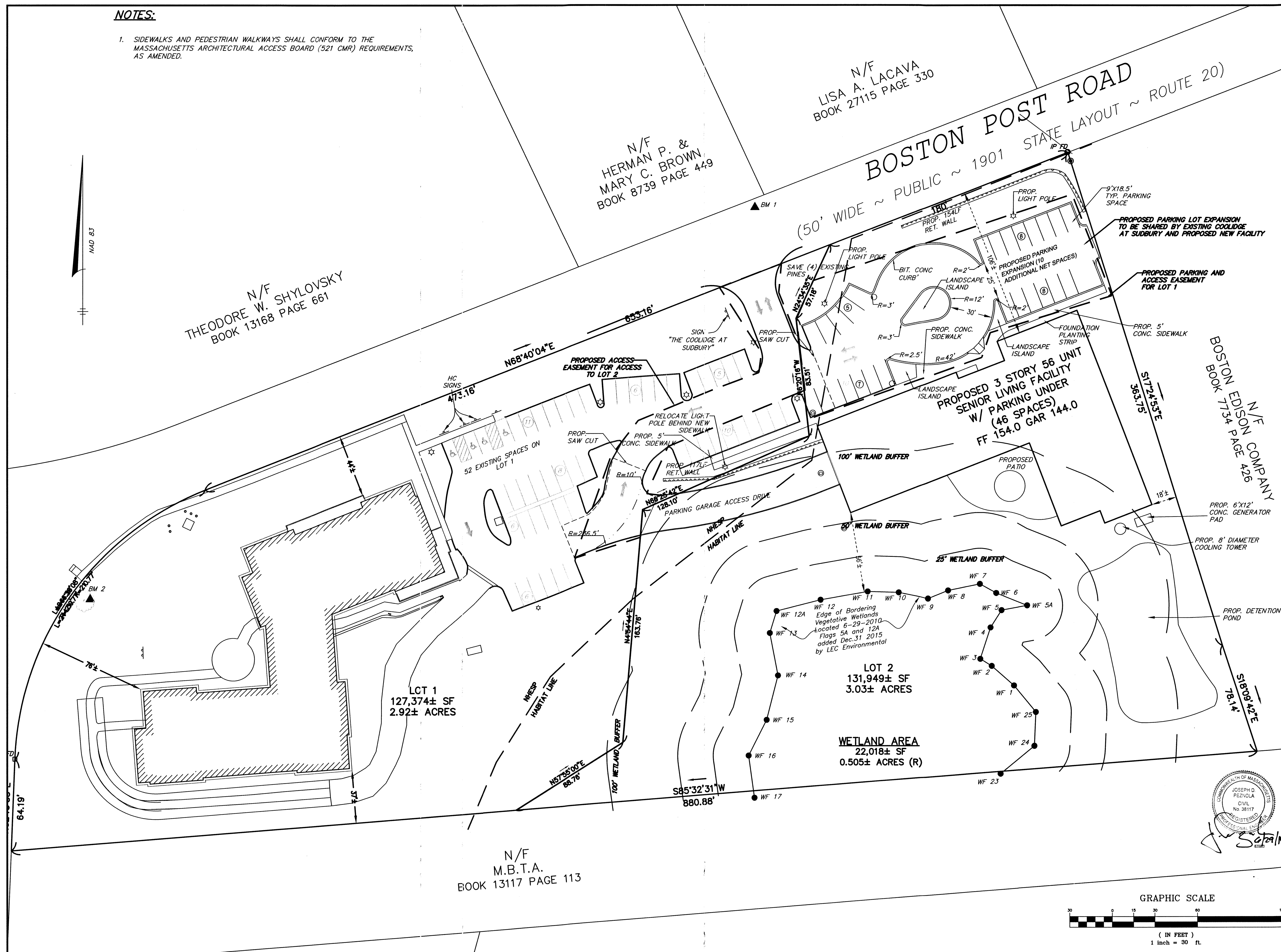
Project Name:

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Sheet Number:

C5



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189 BOSTON POST ROAD
SUDBURY, MA

Drawn: MFC/JTL

Checked: JP

Scale: 1"=30'

Key Plan:

Sheet Name:

PRELIMINARY GRADING AND UTILITY PLAN

Project Number: 15526

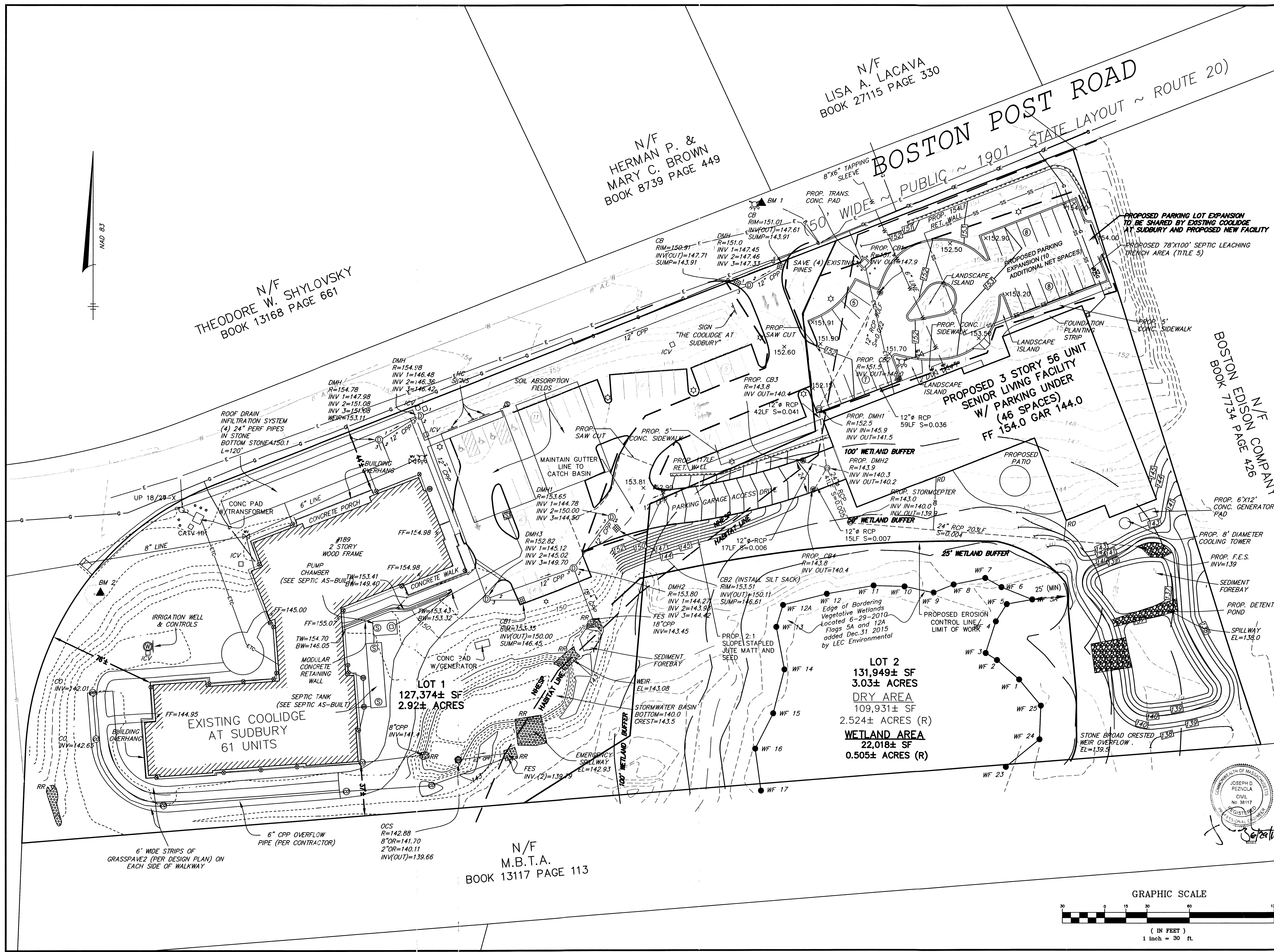
Project Name:

Issue Date:

JUNE 29, 2016

Sheet Number:

C6

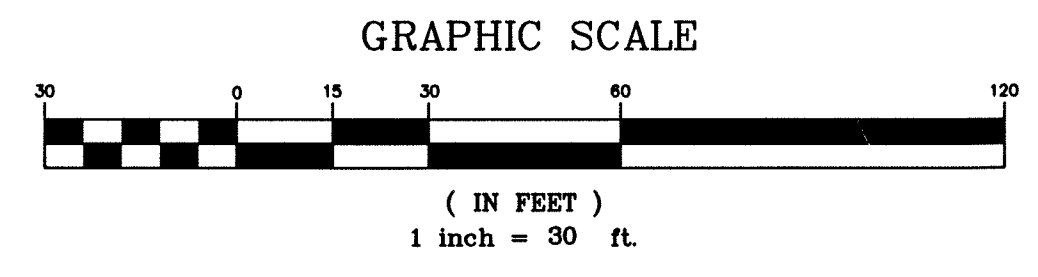


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LISA A. LACAVA
BOOK 27115 PAGE 330

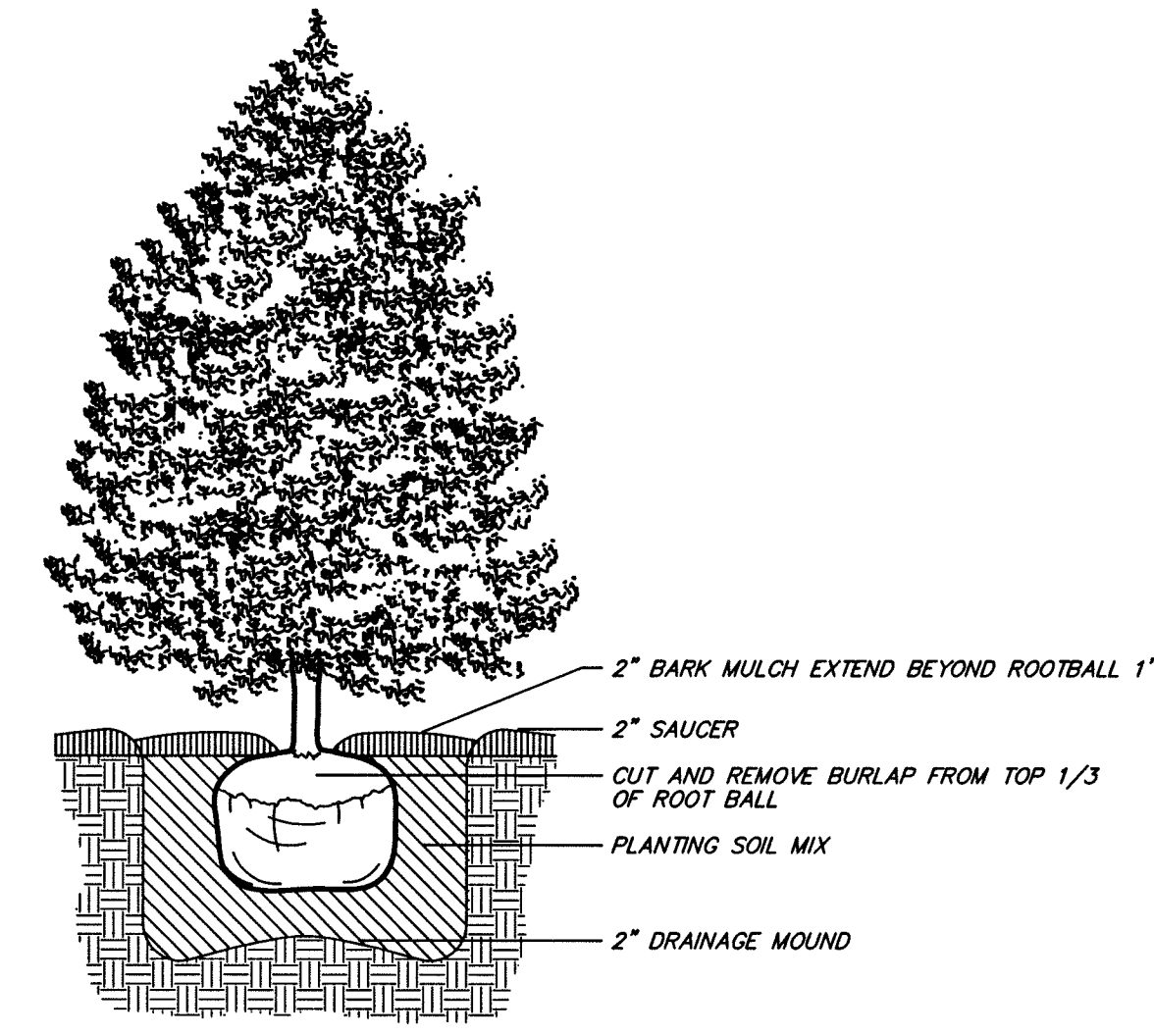
N/F
HERMAN P. &
MARY C. BROWN
BOOK 8739 PAGE 449

N/F
THEODORE W. SHYLOVSKY
BOOK 13168 PAGE 661

N/F
M.B.T.A.
BOOK 13117 PAGE 113

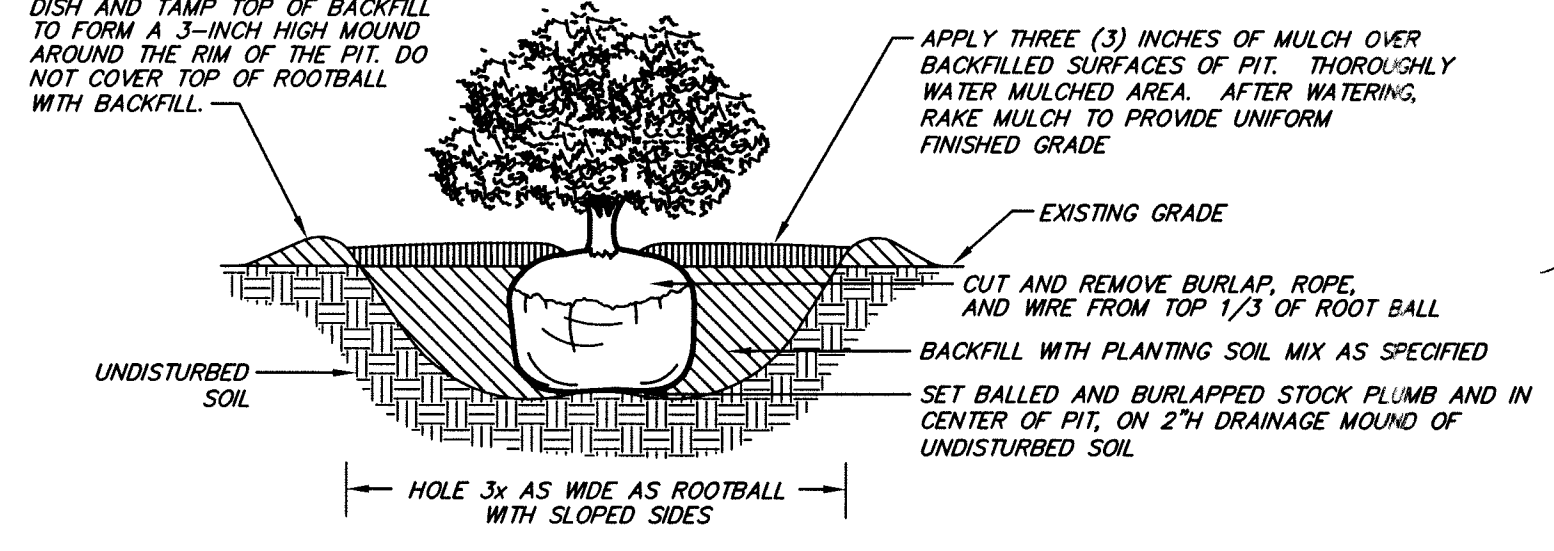


Qty	Key	Botanical Name	Common Name	Size
TREES:				
3	LIR	Liriodendron tulipifera	Tuliptree	2.5-3' cal
2	SHAD	Amelanchier canadensis	Downy Shadblow	8-10' h
2	TIL	Tilia americana	Basswood	2.5-3' cal
UPRIGHT EVERGREENS:				
11	ESJ	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Juniper	6-7' h
10	WHS	Picea glauca	White Spruce	6-7' h
SHRUBS:				
10	EML	Kalmia latifolia 'Elf'	Elf Mountain Laurel	18-24"
23	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	18-24"

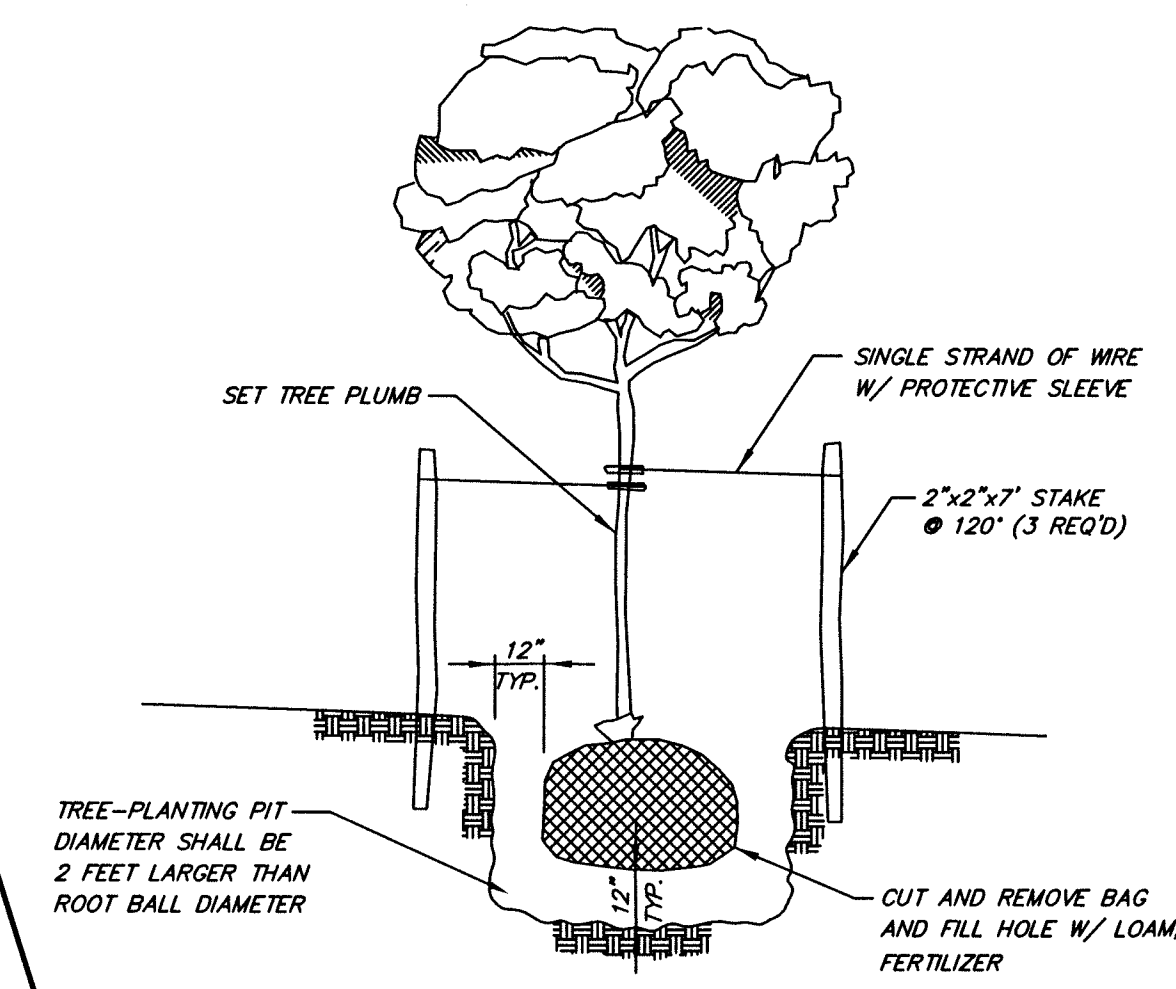
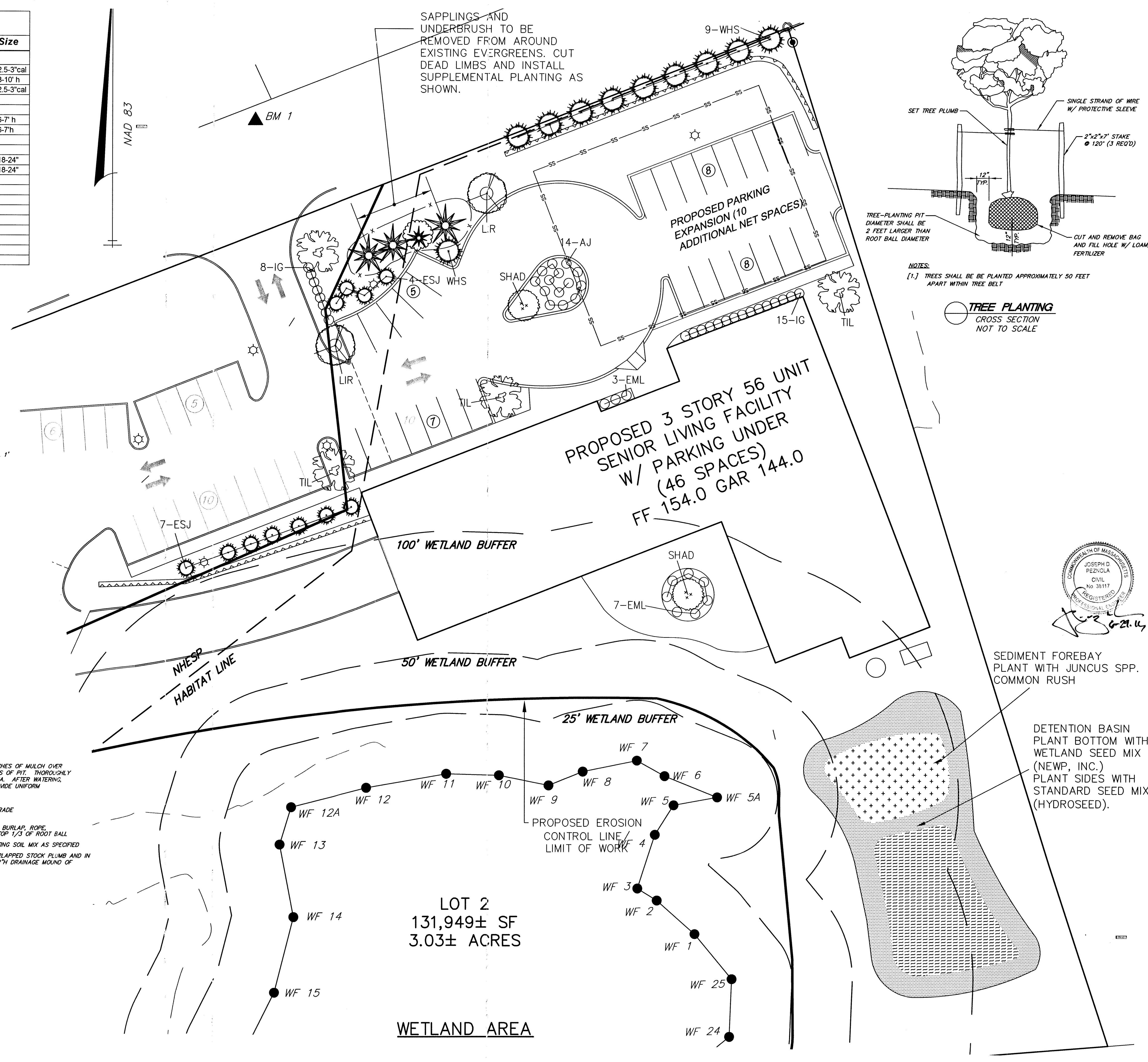
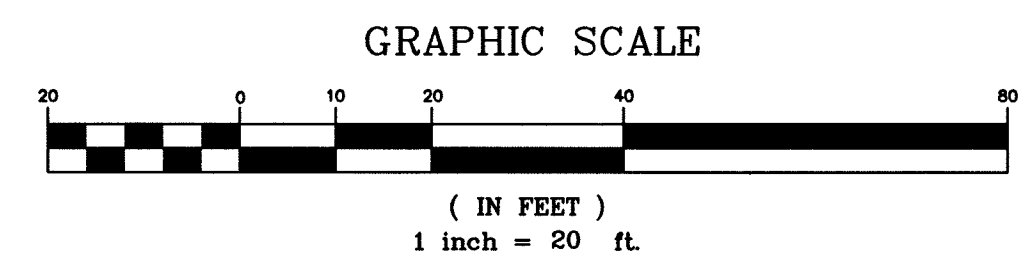


EVERGREEN TREE PLANTING
NOT TO SCALE

- TYPICAL SHRUB PLANTING DETAIL NOTES:**
- * PLANT SO THAT TOP OF ROOTBALL IS 1-2" ABOVE SURROUNDING GRADE.
 - * MULCH SHALL NOT BE PILED AGAINST THE TRUNK OR STEMS OF SHRUB UNDER ANY CIRCUMSTANCES. MULCH LAYER SHOULD TAPER DOWN TOWARD TRUNK AS INDICATED.
 - * DO NOT USE PLANTING STOCK IF ROOTBALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING PROCESS.
 - * PLACE BACKFILL AROUND ROOTBALL IN LAYERS, TAMPING TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROX. 1/2 BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF BACKFILL.



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



NOTES:
[1.] TREES SHALL BE PLANTED APPROXIMATELY 50 FEET APART WITHIN TREE BELT

TREE PLANTING
CROSS SECTION
NOT TO SCALE



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SUDBURY, MA

Drawn: MFC/JTL
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Scale: 1"=20'
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Sheet Name:

PRELIMINARY LANDSCAPE PLAN
Project Number: 15526
Project Name:
Issue Date: JUNE 29, 2016
Sheet Number: C7