

Site Plans

Issued for	Comprehensive Permit
Date Issued	January 20, 2016
Latest Issue	June 20, 2016

Avalon Sudbury

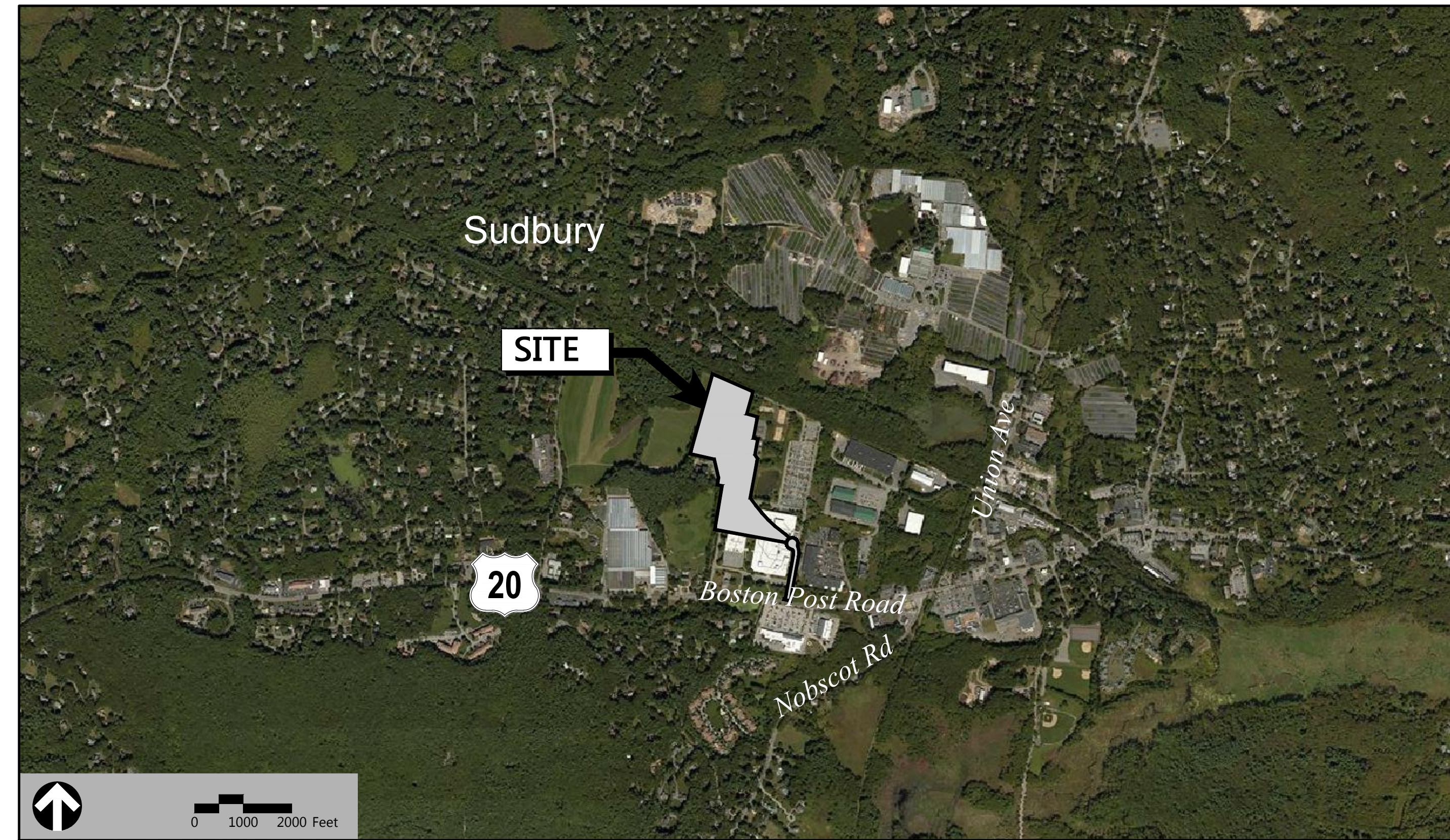
Owner

BPR Sudbury Development LLC
 c/o National Development
 2310 Washington Street
 Newton Lower Falls, MA 02462

Applicant

Sudbury Avalon, Inc.
 c/o AvalonBay Communities, Inc.
 51 Sleeper Street
 Suite 750
 Boston, MA 02210

**Assessor's Map: K07-0011 and
 K07-0013**



Sheet Index

No.	Drawing Title	Latest Issue
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L-1-2	Planting Plan	June 20, 2016
L-3	Planting Details	June 20, 2016

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1 - Sv-6	Existing Conditions Plan of Land Architectural Plans - Provided Under Separate Cover	February 29, 2016



101 Walnut Street
 PO Box 9151
 Watertown, MA 02471
 617.924.1770

Surveyor
Wetlands Scientists
Site Civil Engineer
Transportation Engineer
Landscape Architect

Architect
 The Architectural Team
 50 Commandant's Way
 Chelsea, MA 02150



Notes

1. OFF-SITE ROADWAY IMPROVEMENTS WITHIN BOSTON POST ROAD MAY BE IMPLEMENTED AS PART OF THE MASTER PLANNED DEVELOPMENT.
2. THE EXISTING WASTEWATER TREATMENT PLANT (WWTP) AND RESERVED LEACHING AREA WILL BE IMPROVED AND EXPANDED AS PART OF THIS PROJECT AND IS SUBJECT TO APPROVAL BY MA DEP.



Dimensional Summary Chart

	Proposed (1)
LOT AREA	24.7 AC INCLUDING 6.4 AC WASTEWATER TREATMENT PLANT AREA & 1.9 AC LEASE AREAS
FRONTAGE	52 Feet ±
FRONT YARD SETBACK	134 Feet ±
SIDE YARD SETBACK	11 Foot ±
REAR YARD SETBACK	41 Feet ±
MAXIMUM BUILDING HEIGHT	REFER TO ARCHITECTURAL PLANS
IMPERVIOUS COVERAGE	53% ±

(1) PROPOSED LOT AREA INCLUDES THE AVALON SITE AREA, WASTEWATER TREATMENT PLANT AREA AND THE GROUND LEASE AREA. ALL OTHER SETBACK DIMENSIONS AND COVERAGE CALCULATIONS ARE BASED ONLY ON AVALON SITE AREA AND THE WASTEWATER TREATMENT PLANT AREA AND EXCLUDES THE 1.9 ACRE GROUND LEASE AREA.
 (2) PROPOSED LOTS SHOWN HEREON ARE BASED ON THE DEFINITIVE SUBDIVISION "NEW STREET NAME" PLANSET PREPARED BY VHB DATED MAY 20, 2016.

Land Coverage Chart

Coverage	% of Lot Area (1)
BUILDING	19% ± (2)
PAVED VEHICULAR AREAS	24% ±
OPEN AREAS	57% ± (2)
TOTAL	100%

(1) LOT AREA FOR LAND COVERAGE CALCULATIONS INCLUDES THE AVALON SITE AREA AND THE WASTEWATER TREATMENT PLANT AREA AND EXCLUDES THE 1.9 GROUND LEASE AREA.
 (2) BUILDING COVERAGE IS BASED ON BUILDING FOOTPRINT AREAS CALCULATED BY TAT AND EXCLUDES OUTDOOR DECKS AND PATIOS.
 (3) OPEN SPACE INCLUDES ALL PAVEMENT, SIDEWALK, AND OUTDOOR DECKS & PATIO AREAS.

Building Chart

Building Type	Quantity	Units	Stories
DIRECT ENTRY TYPE 1	3	8 UNITS	3
DIRECT ENTRY TYPE 2	14	10 UNITS	3
DIRECT ENTRY TYPE 3	1	16 UNITS	3
DIRECT ENTRY TYPE 4	1	8 UNITS	2
DIRECT ENTRY TYPE 5	1	10 UNITS	2
TOWNHOME T1	1	6 UNITS	2 & 3
TOWNHOME T2	1	4 UNITS	2 & 3
TOWNHOME T3	1	5 UNITS	2 & 3
TOWNHOME T4	1	7 UNITS	2 & 3
TOWNHOME T5	1	6 UNITS	2 & 3
TOWNHOME T6	1	7 UNITS	2 & 3
TOWNHOME T7	1	4 UNITS	3
TOWNHOME T8	1	4 UNITS	2 & 3
TOWNHOME T9	1	4 UNITS	2 & 3
TOWNHOME T10	1	5 UNITS	2 & 3
TOTAL	30	250 UNITS	-
CLUBHOUSE	1	-	1
MAINTENANCE	1	-	1
TRASH	1	-	1
WASTEWATER TREATMENT PLANT	1	-	1

Parking Summary Chart

Description	Size	Spaces*
SURFACE SPACES	STANDARD: 9 x 18 PARALLEL: 8 x 22	269±
TANDEM/DRIVEWAY SPACES	-	56±
GARAGE SPACES	-	23±
ACCESSIBLE SPACES **	9 x 18	**
TOTAL SPACES		578±

* FINAL DESIGN MAY RESULT IN MINOR ADJUSTMENTS TO THE PARKING QUANTITY AND DISTRIBUTION.
 ** ACCESSIBLE SPACES WILL BE DETAILED IN FINAL DESIGN PLANS AND WILL BE PROVIDED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.



The Architectural Team, Inc.
 50 Commandant's Way at Admiral's Hill
 Chelsea MA 02150
 T 617.889.4402
 F 617.884.4329
 www.architecturalteam.com
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Consultant:

 101 Walnut Street
 PO Box 9151
 Watertown, MA 02471
 617.924.1770
 617.924.2286
 KAREN F. STAFFIER
 CIVIL
 No. 45865
 PROFESSIONAL ENGINEER
 Revision: 6/20/2016

Revision:

1	RESPONSE TO COMMENTS	June 20, 2016

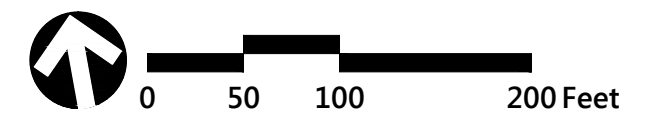
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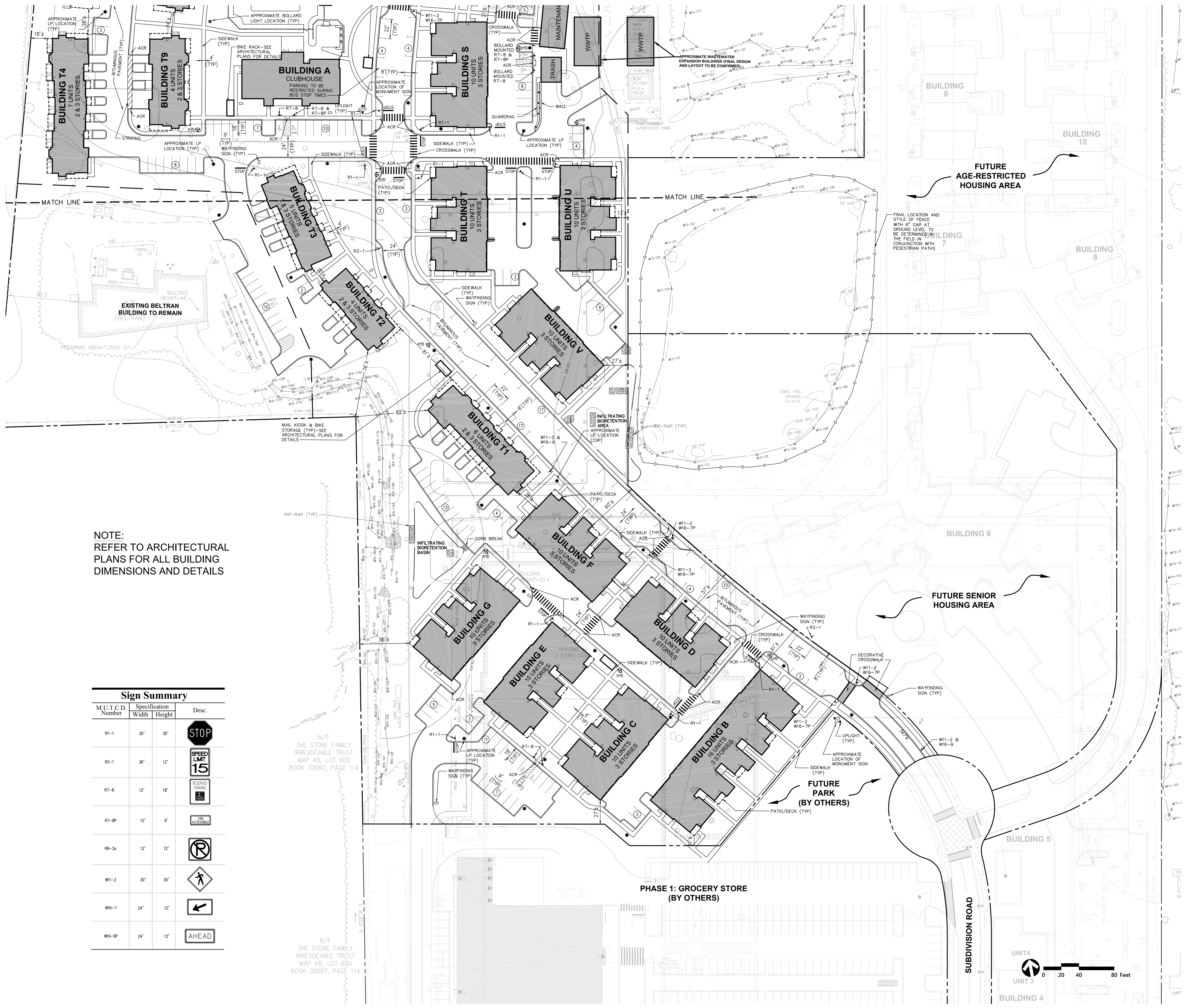
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 Key Plan: N/A

Project Name:
Avalon Sudbury

Sudbury, MA
 Sheet Name:
Overall Site Plan

Project Number:
 VHB: 13125.00, TAT: 14155
 Issue Date:
 January 20, 2016
 Sheet Number:
C-2





NOTE:
REFER TO ARCHITECTURAL
PLANS FOR ALL BUILDING
DIMENSIONS AND DETAILS

Sign Summary			
M.U.T.C.D. Number	Specification Width	Desc. Height	
R1-1	30"	30"	STOP
R2-1	36"	12"	SPEED LIMIT 15
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	UNACCESSIBLE
R8-3a	12"	12"	NO PARKING
W1-2	30"	30"	WALKING
W6-7	24"	12"	LEFT TURN
W6-9P	24"	12"	AHEAD

N/F
THE STONE FAMILY
IRREVOCABLE TRUST
MAP K6, LOT 600
BOOK 30097, PAGE 114

N/F
THE STONE FAMILY
IRREVOCABLE TRUST
MAP K6, LOT 600
BOOK 30097, PAGE 114

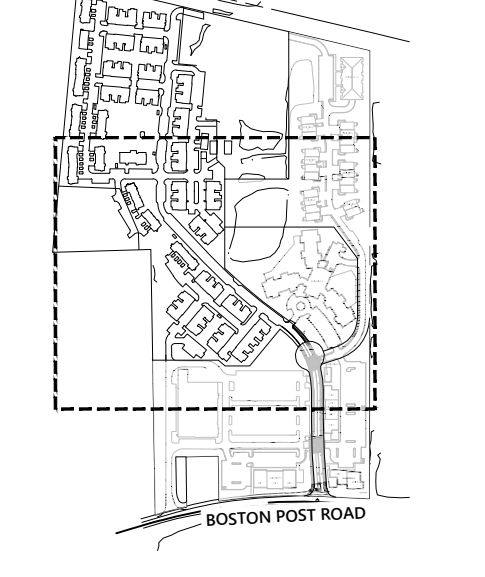
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50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Consultant:
vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770
617.924.2286
KAREN F. STAFFIER
CIVIL ENGINEER
No. 43865
Professional Engineer
Karin Staffier

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1 RESPONSE TO COMMENTS June 20, 2016

Architect of Record:
The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
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Key Plan:



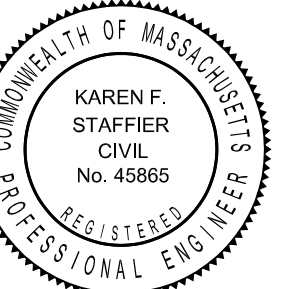
Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
Layout and Materials Plan

Project Number:
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F 617.884.4329
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Consultant:



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CIVIL ENGINEER
No. 45865

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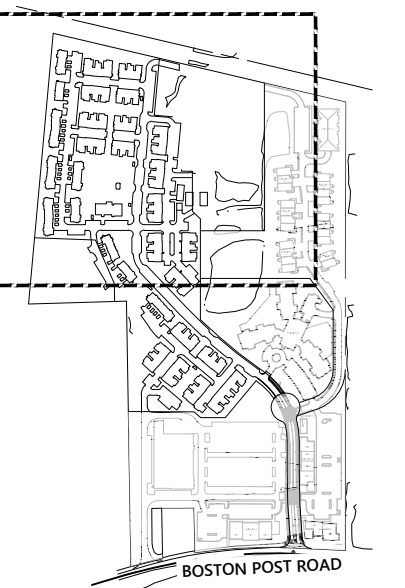
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Key Plan:



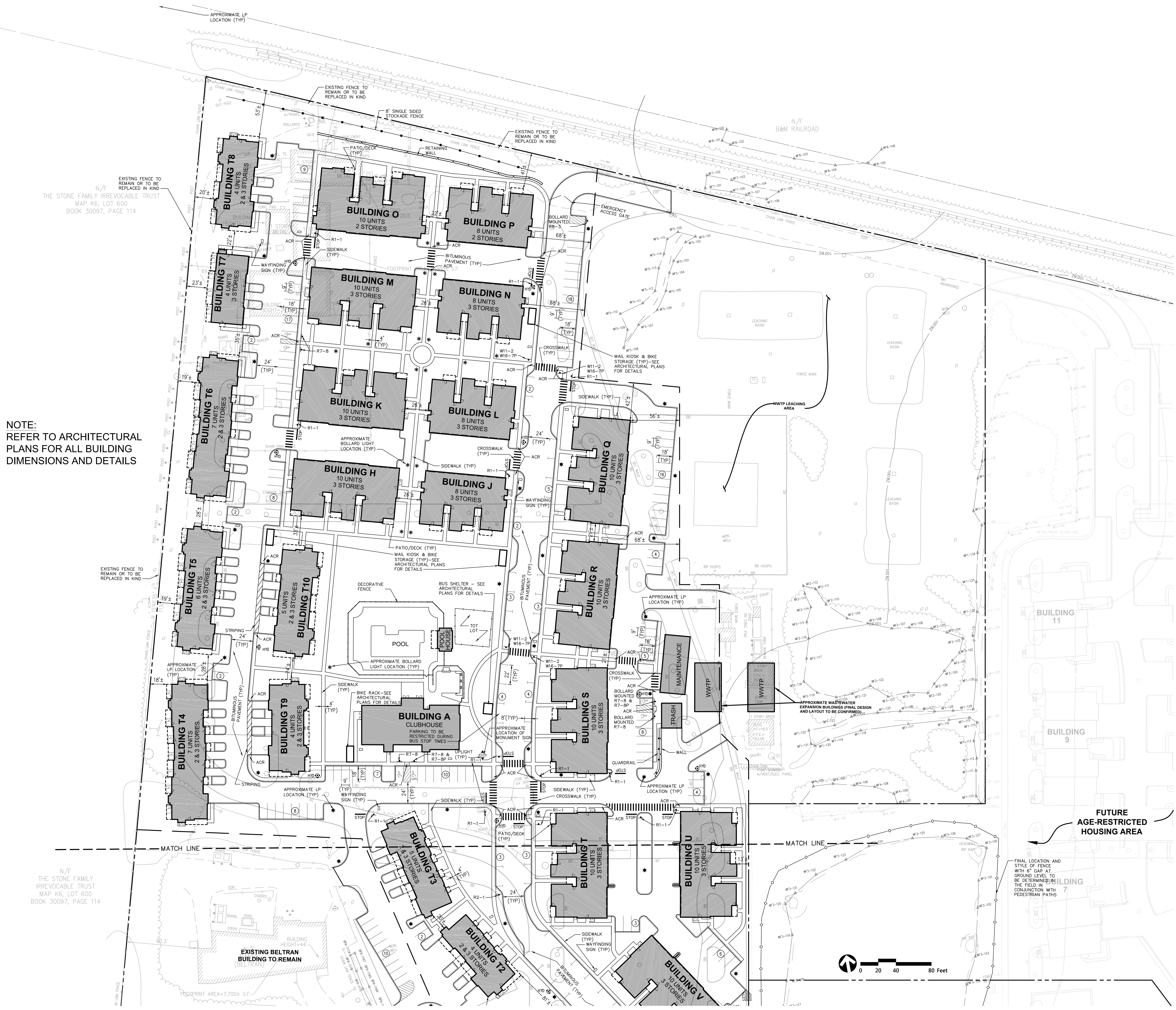
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Avalon Sudbury

Sudbury, MA
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Layout and Materials Plan

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Sheet Number:
C-3.2



NOTE:
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DIMENSIONS AND DETAILS

N/F
THE STONE FAMILY
IRREVOCABLE TRUST
MAP K6, LOT 600
BOOK 30097, PAGE 114

EXISTING BELTRAN
BUILDING TO REMAIN
(BELTRAN)

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
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Revision: 6/20/2016
1 STORMWATER DESIGN May 23, 2016
2 RESPONSE TO COMMENTS June 20, 2016

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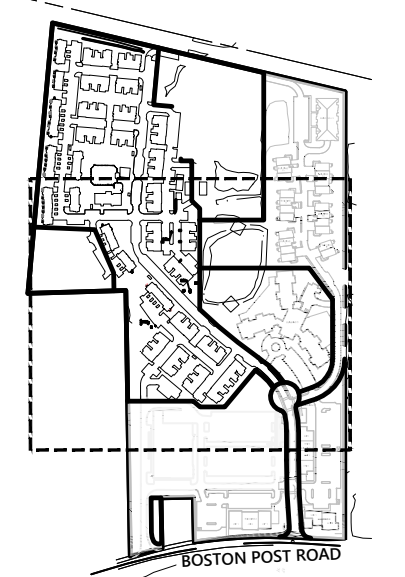
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Key Plan:



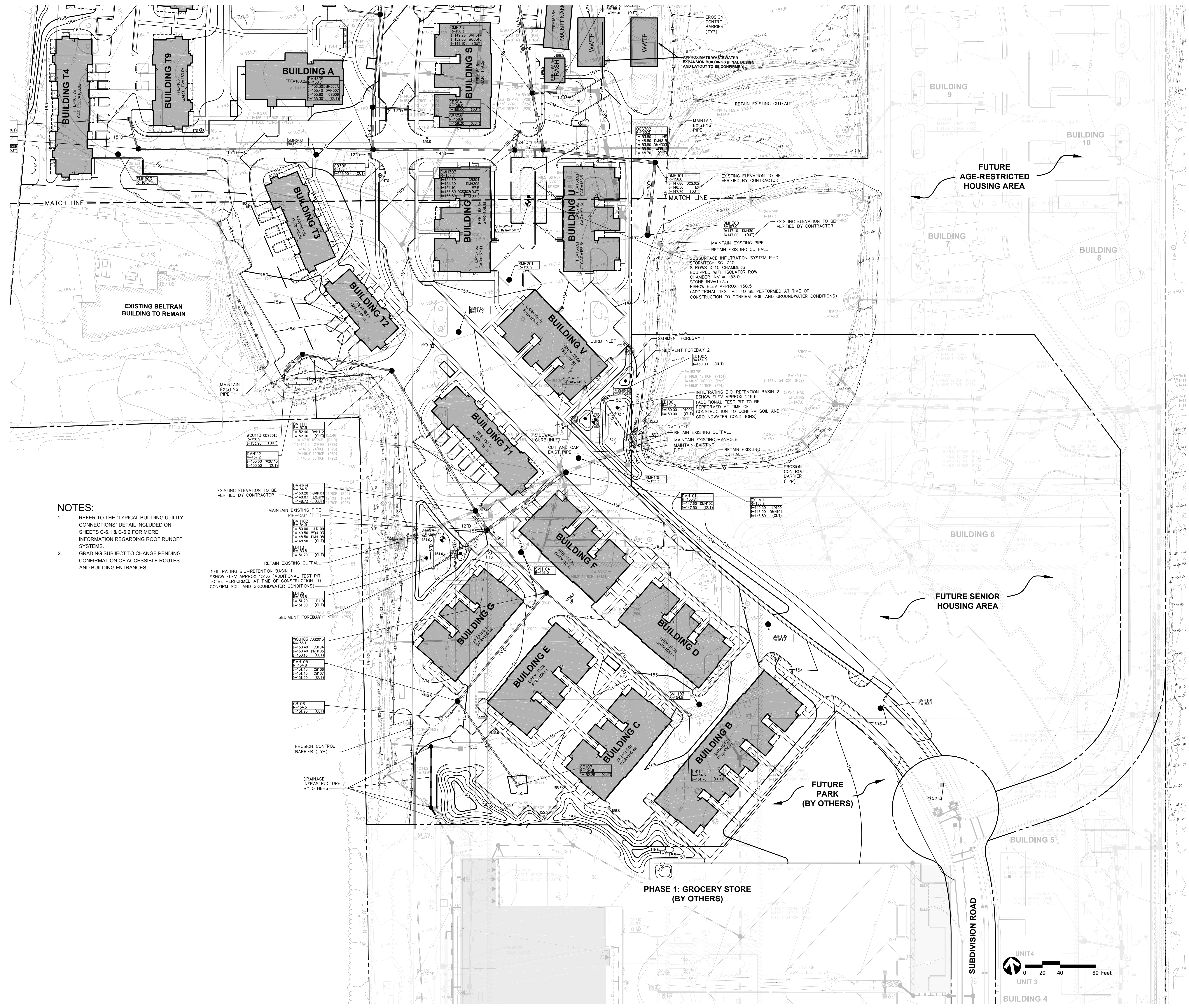
Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
**Grading,
Drainage, and
Erosion Control Plan**

Project Number:
VHB: 13125.00, TAT: 14155

Issue Date:
January 20, 2016

Sheet Number:
C-4.1



NOTES:

- REFER TO THE "TYPICAL BUILDING UTILITY CONNECTIONS" DETAIL INCLUDED ON SHEETS C-6.1 & C-6.2 FOR MORE INFORMATION REGARDING ROOF RUNOFF SYSTEMS.
- GRADING SUBJECT TO CHANGE PENDING CONFIRMATION OF ACCESSIBLE ROUTES AND BUILDING ENTRANCES.

EXISTING ELEVATION TO BE VERIFIED BY CONTRACTOR

MAINTAIN EXISTING PIPE
RIP-RAP (TYP)

RETAIN EXISTING OUTFALL

INFILTRATING BIO-RETENTION BASIN 1
ESHOW ELEV APPROX 151.6 (ADDITIONAL TEST PIT TO BE PERFORMED AT TIME OF CONSTRUCTION TO CONFIRM SOIL AND GROUNDWATER CONDITIONS)

SEDIMENT FOREBAY

EROSION CONTROL BARRIER (TYP)

DRAINAGE INFRASTRUCTURE BY OTHERS

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Consultant:



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770
617.924.2286



Karen F. Staffier

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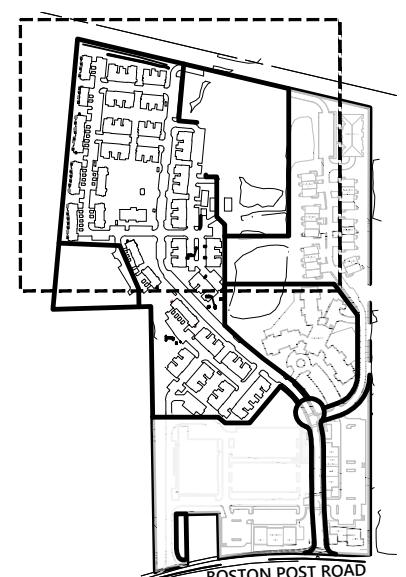
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Key Plan:



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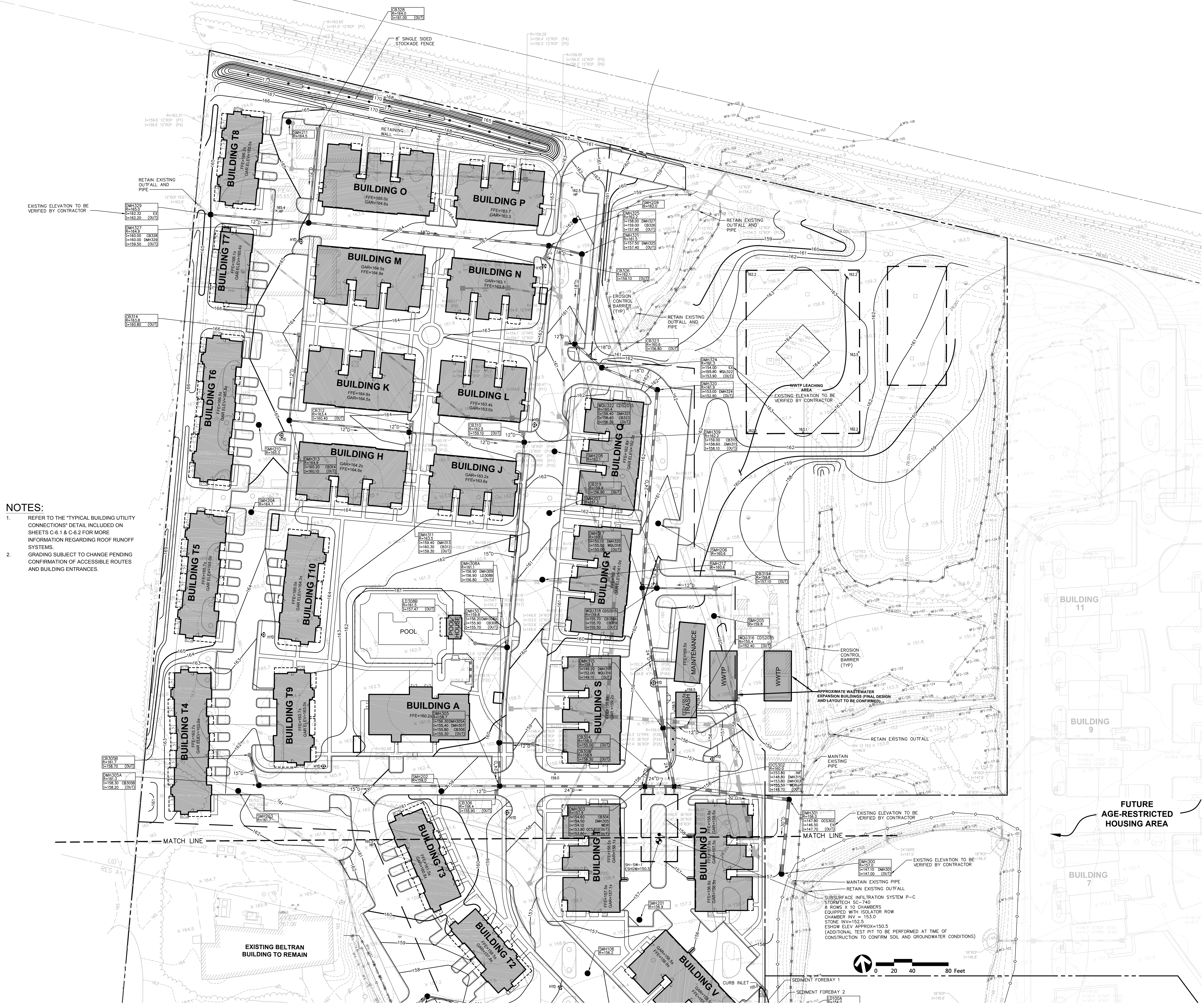
Sudbury, MA

Sheet Name:
**Grading,
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Project Number:
VHB: 13125.00, TAT: 14155

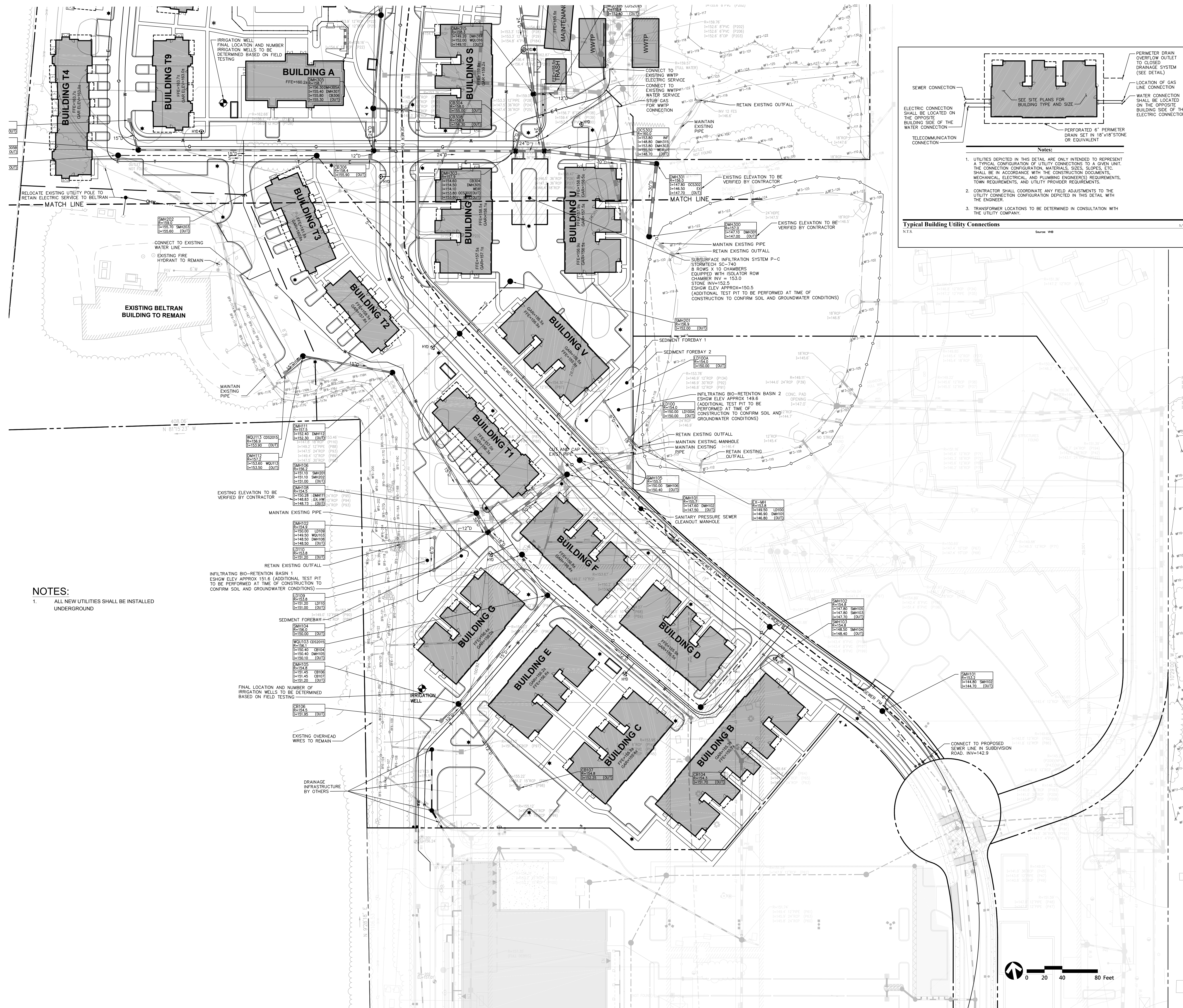
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Sheet Number:
C-4.2



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50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
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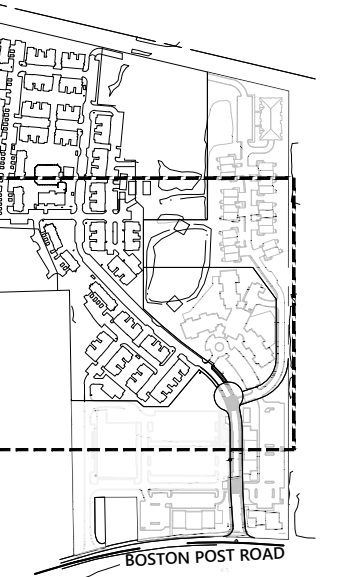
Karen Stappier

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1 RESPONSE TO COMMENTS June 20, 2016

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Key Plan:



Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
Utility Plan

Project Number:
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Issue Date:
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Sheet Number:

C-5.1

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T 617.889.4402
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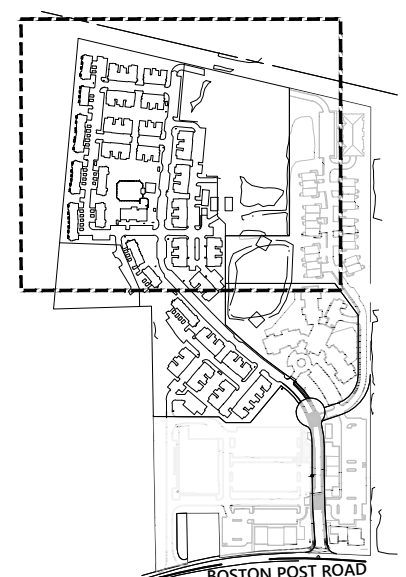
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Key Plan:



Project Name:

Avalon Sudbury

Sudbury, MA

Sheet Name:

Utility Plan

Project Number:

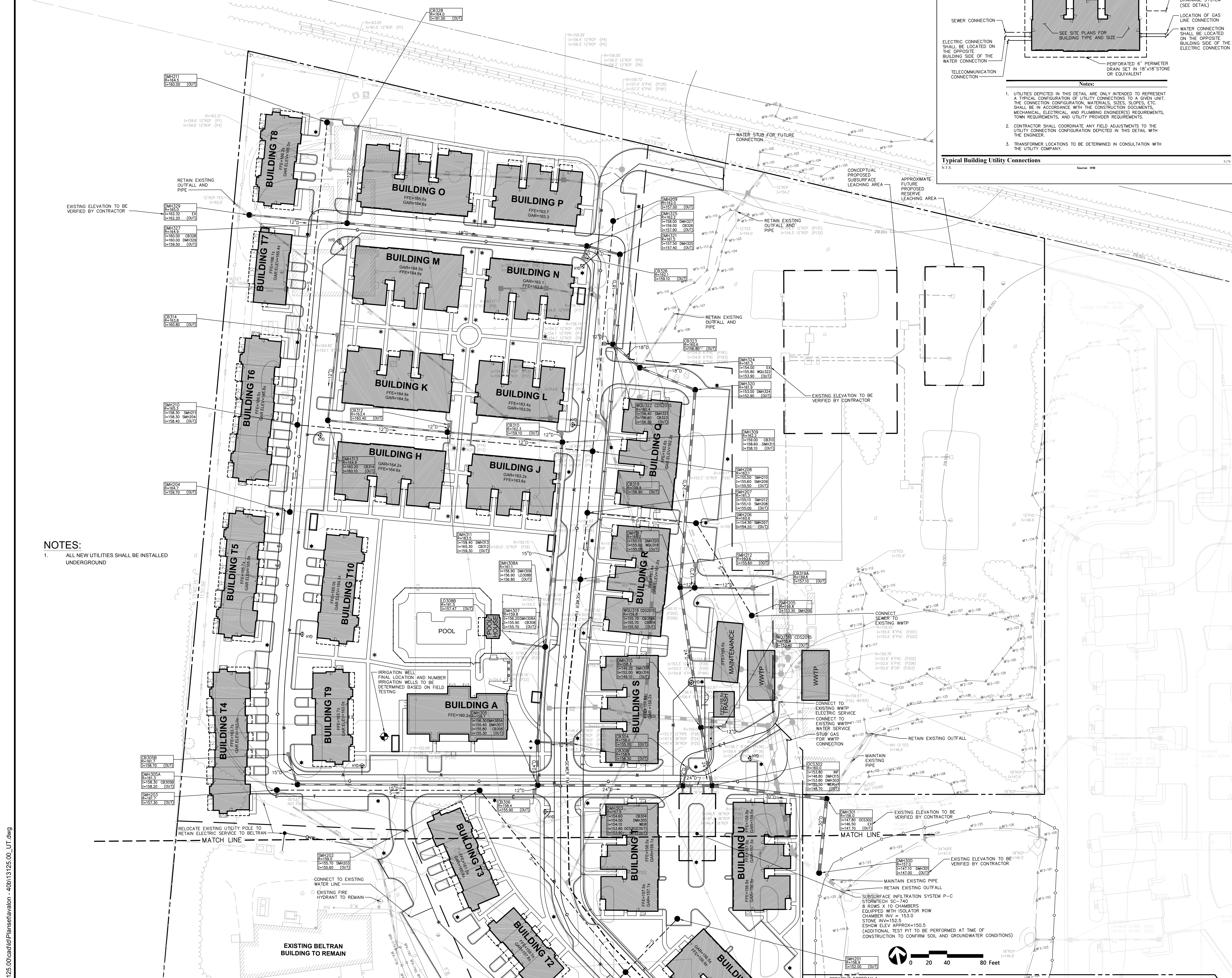
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Issue Date:

January 20, 2016

Sheet Number:

C-5.2



Notes:

- UTILITIES DEPICTED IN THIS DETAIL ARE ONLY INTENDED TO REPRESENT A TYPICAL CONFIGURATION OF UTILITY CONNECTIONS TO A GIVEN UNIT. THE CONNECTION CONFIGURATION, MATERIALS, SIZES, SLOPES, ETC. SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEER(S) REQUIREMENTS, TOWN REQUIREMENTS, AND UTILITY PROVIDER REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE ANY FIELD ADJUSTMENTS TO THE UTILITY CONNECTION CONFIGURATION DEPICTED IN THIS DETAIL WITH THE ENGINEER.
- TRANSFORMER LOCATIONS TO BE DETERMINED IN CONSULTATION WITH THE UTILITY COMPANY.

Typical Building Utility Connections

SEE SITE PLANS FOR BUILDING TYPE AND SIZE.

PERFORATED 6" PERIMETER DRAIN SET IN 18"x18" STONE OR EQUIVALENT

WATER CONNECTION SHALL BE LOCATED ON THE OPPOSITE BUILDING SIDE OF THE WATER CONNECTION

ELECTRIC CONNECTION SHALL BE LOCATED ON THE OPPOSITE BUILDING SIDE OF THE WATER CONNECTION

TELECOMMUNICATION CONNECTION

PERIMETER DRAIN OVERFLOW OUTLET TO CLOSED DRAINAGE SYSTEM (SEE DETAIL)

LOCATION OF GAS LINE CONNECTION SHALL BE LOCATED ON THE OPPOSITE BUILDING SIDE OF THE ELECTRIC CONNECTION

Source: VHB

NOTES:
1. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND

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The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturaltteam.com
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The Architectural Team, Inc.
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T 617.889.4402
F 617.884.4329
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Scale: AS NOTED
Key Plan: N/A

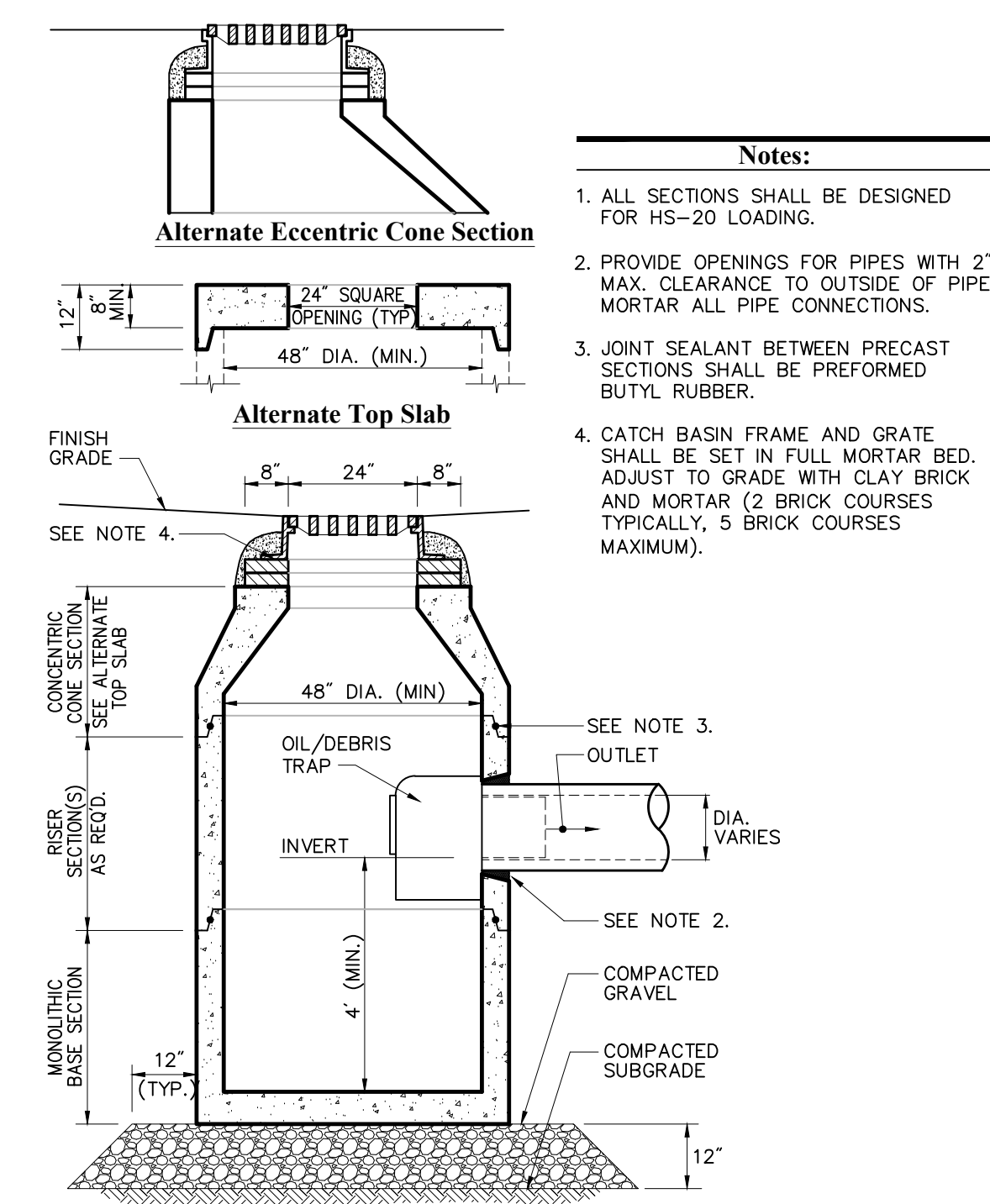
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Sudbury, MA
Sheet Name:
Site Details

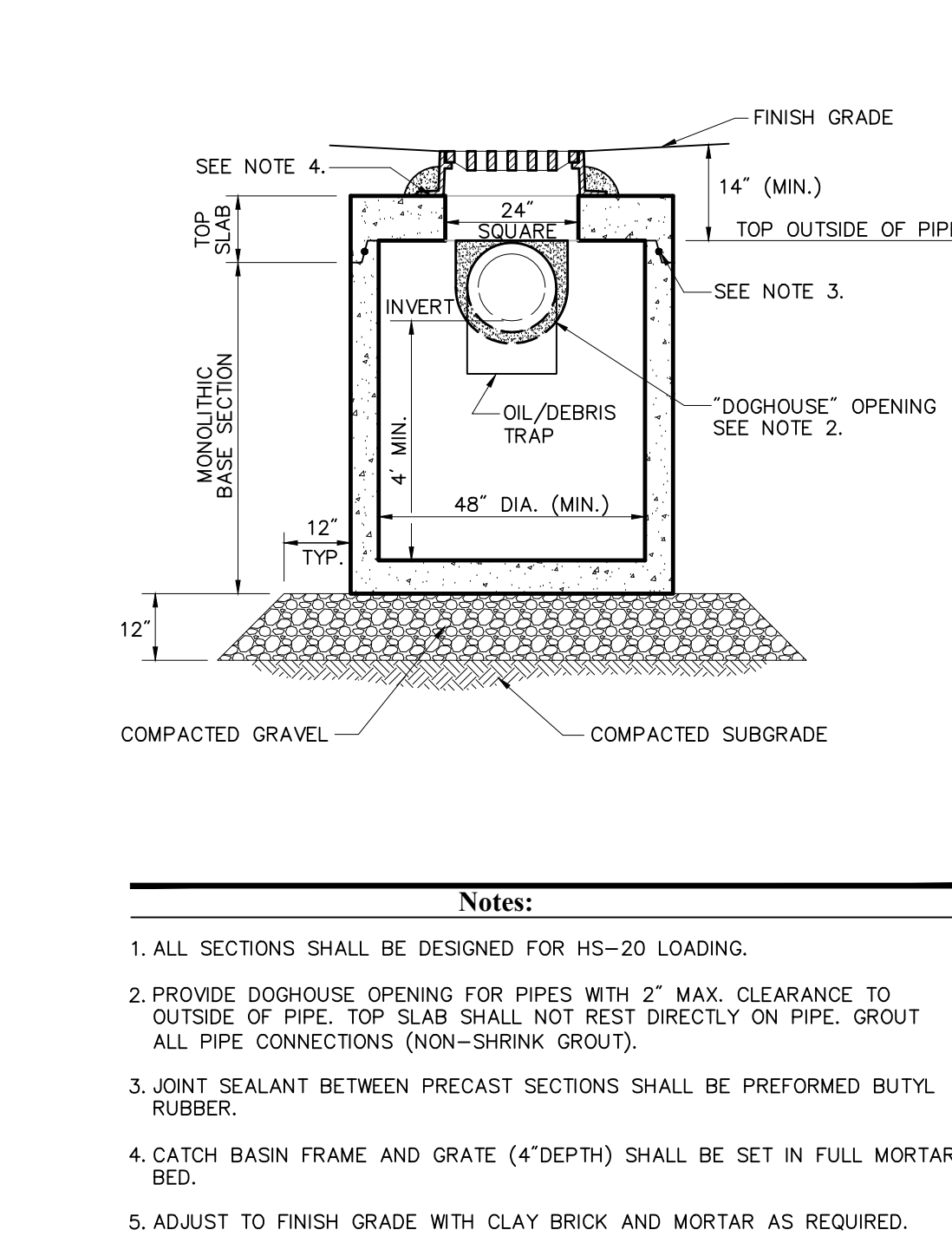
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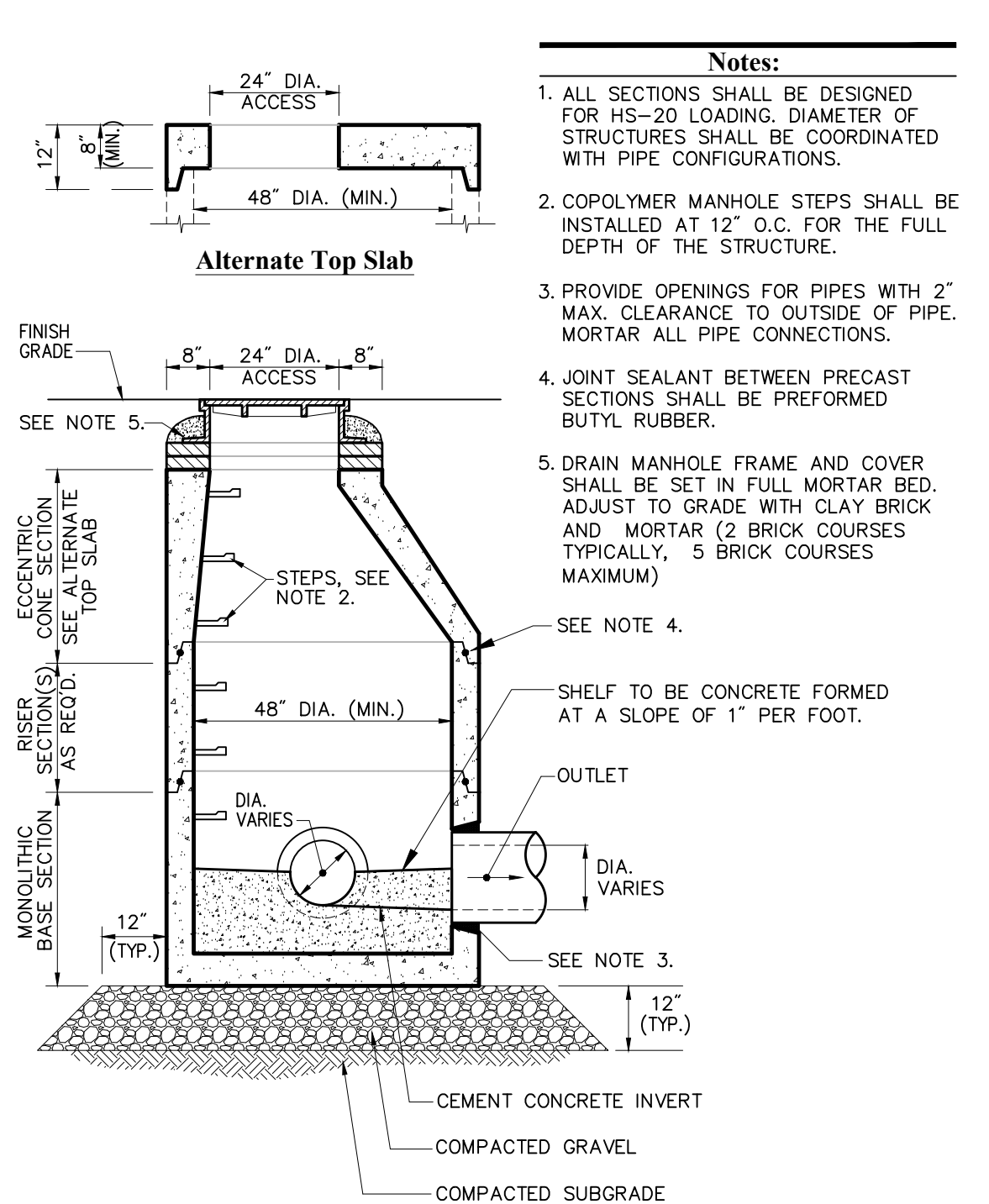
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C-6.1



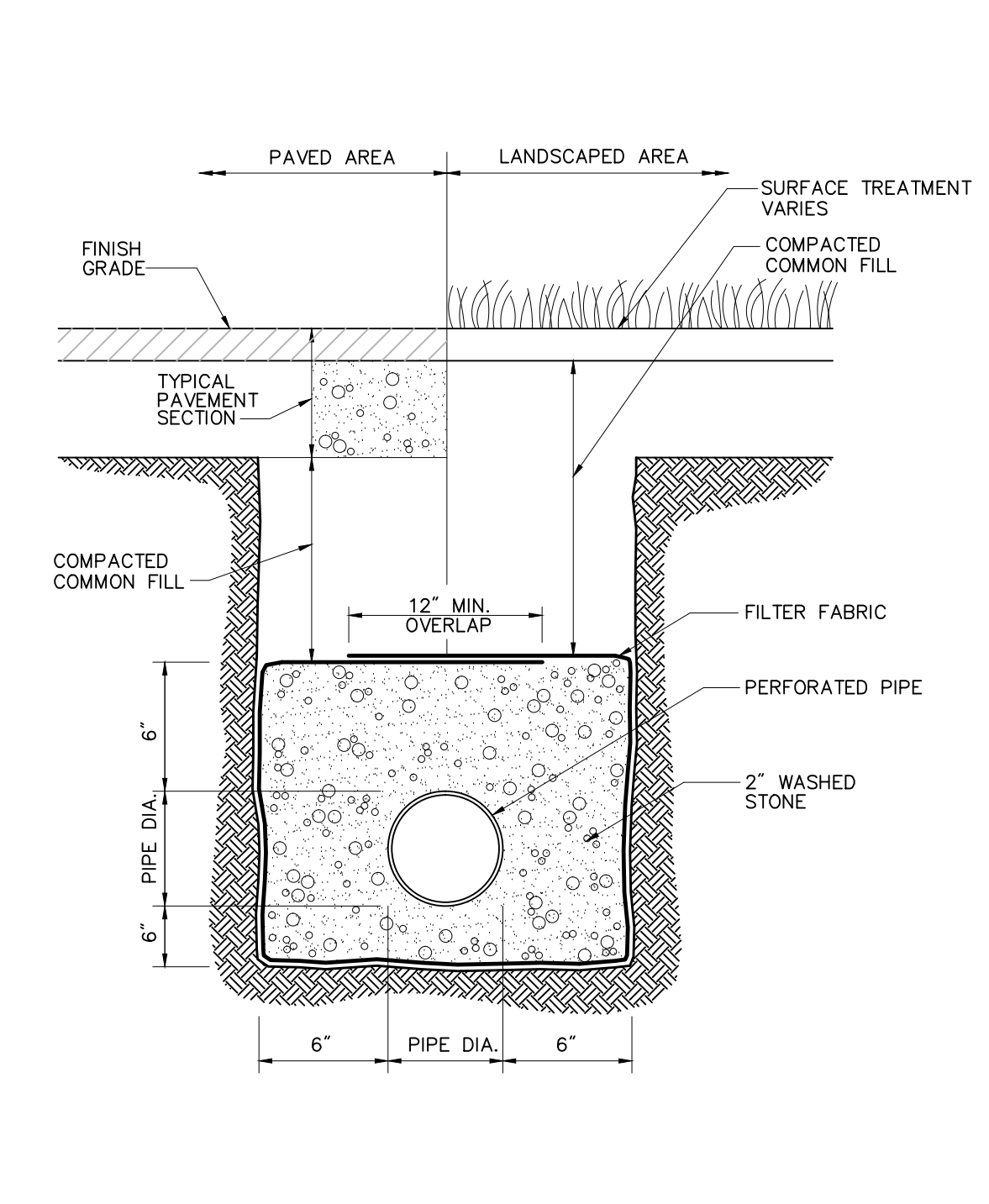
Catch Basin (CB) With Oil/Debris Trap 6/08
N.T.S. Source: VHB LD_101



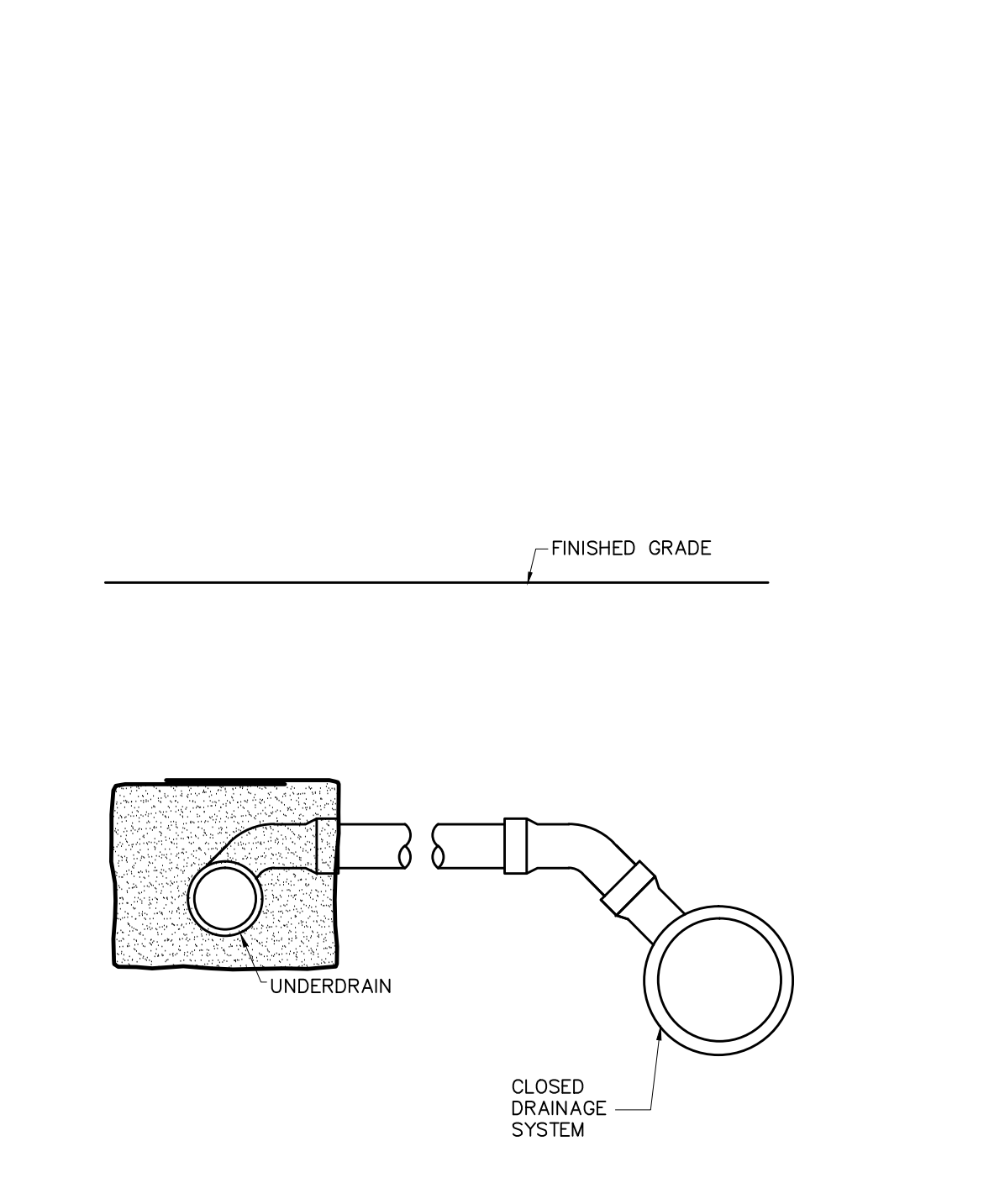
Catch Basin (CB) Shallow Cover with Oil/Debris Trap 6/08
N.T.S. Source: VHB LD_105



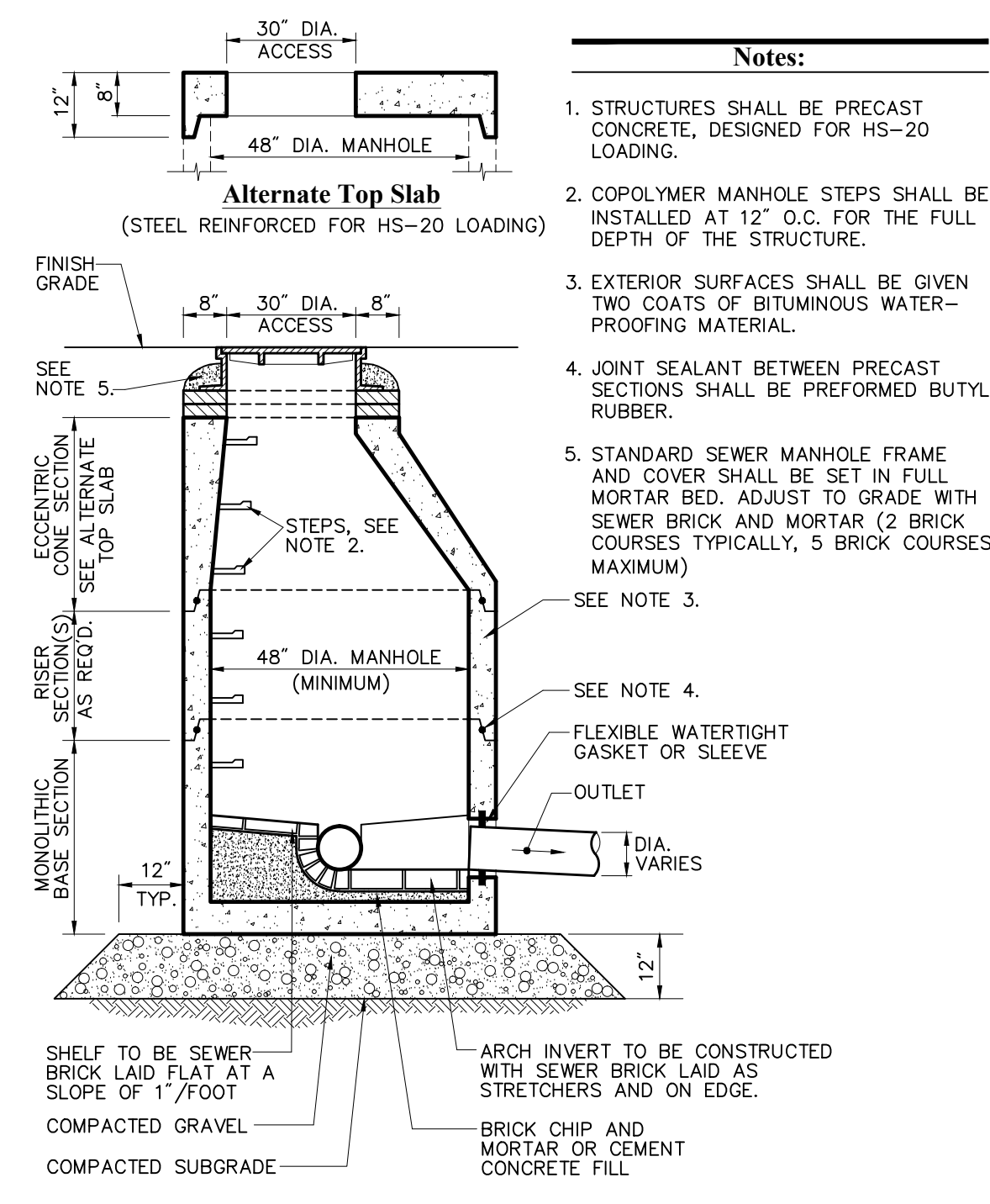
Drain Manhole (DMH) 4/11
N.T.S. Source: VHB LD_115



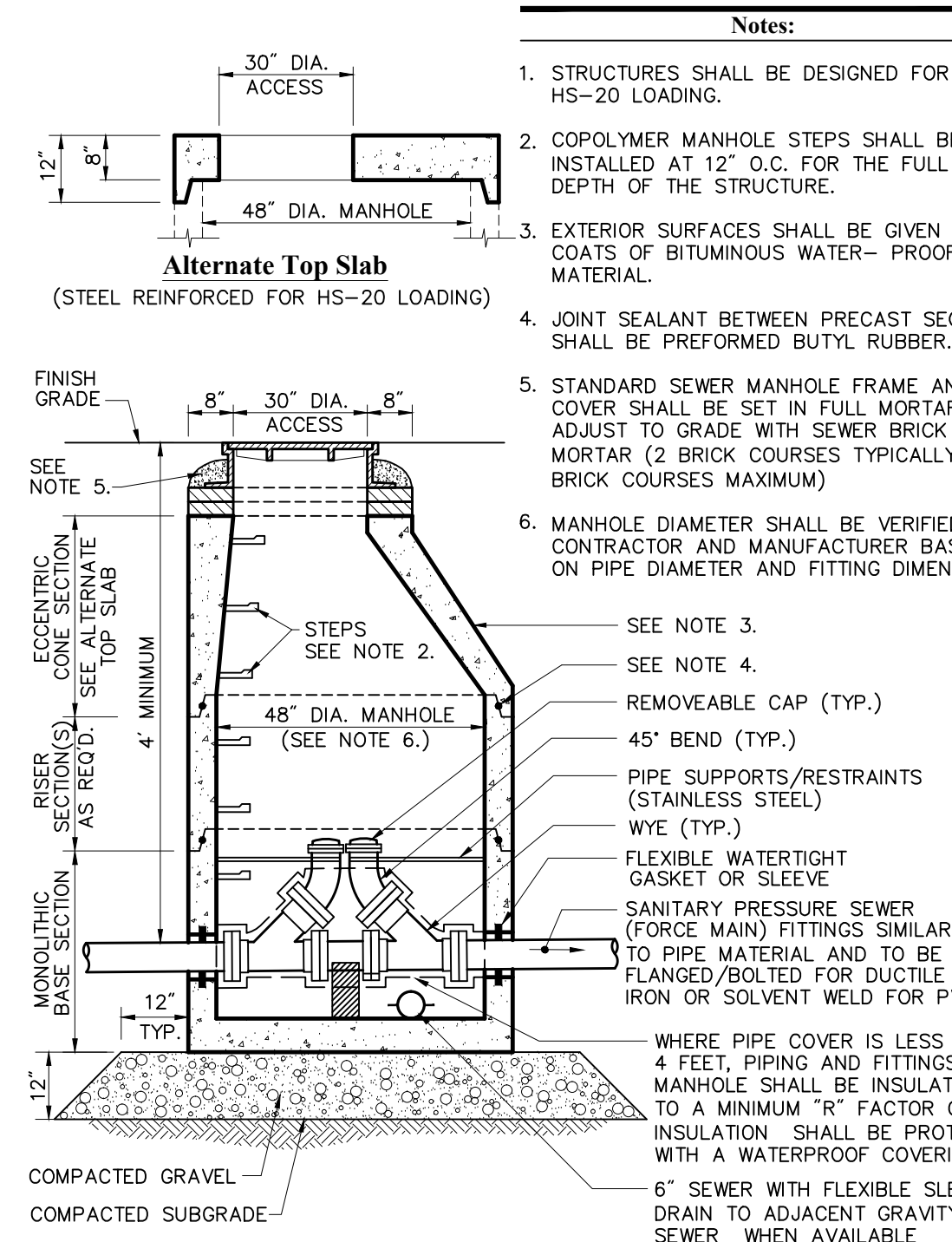
Underdrain (UD) 6/08
N.T.S. Source: VHB LD_184



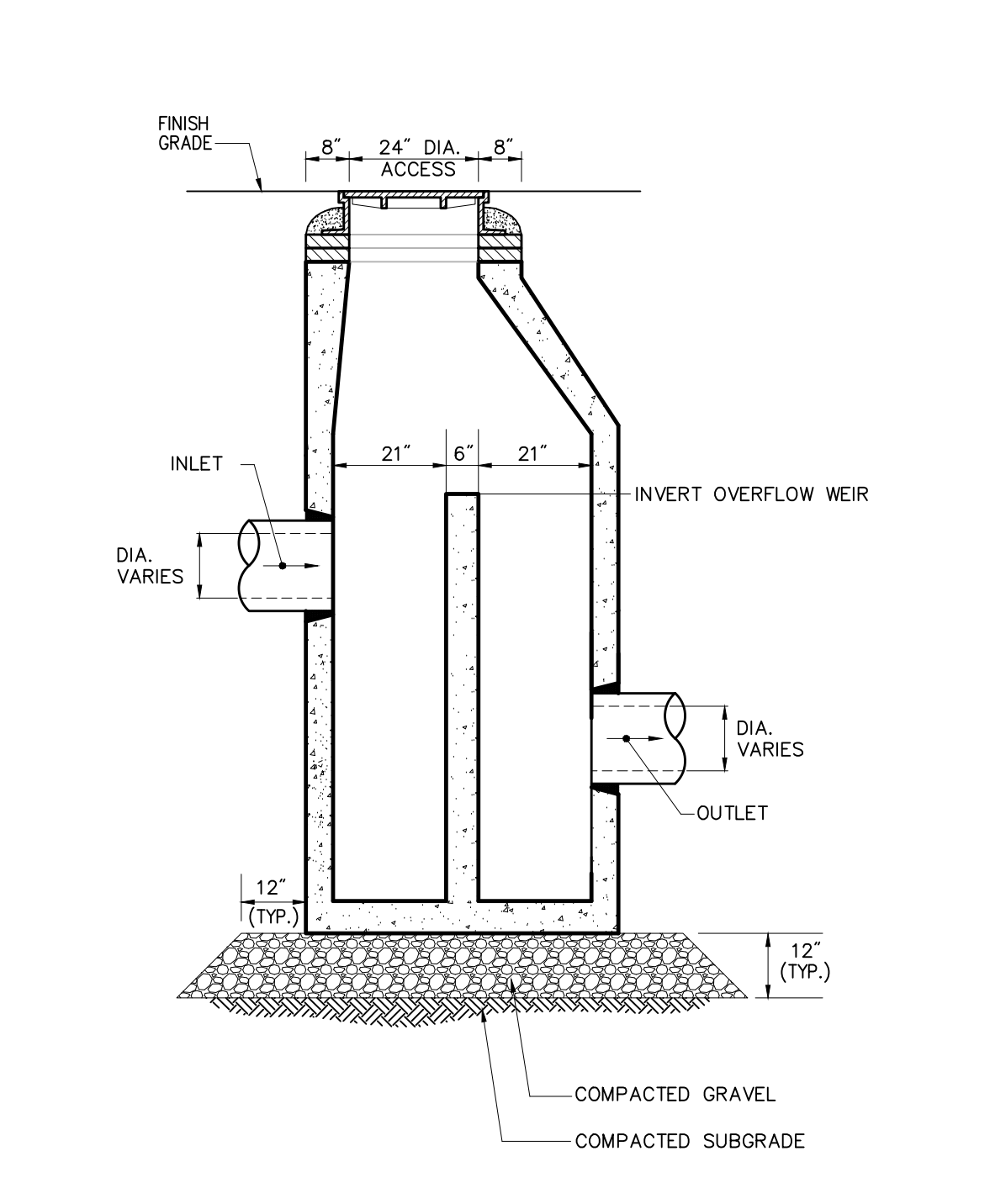
Roof Top Recharge System Overflow
N.T.S. Source: VHB



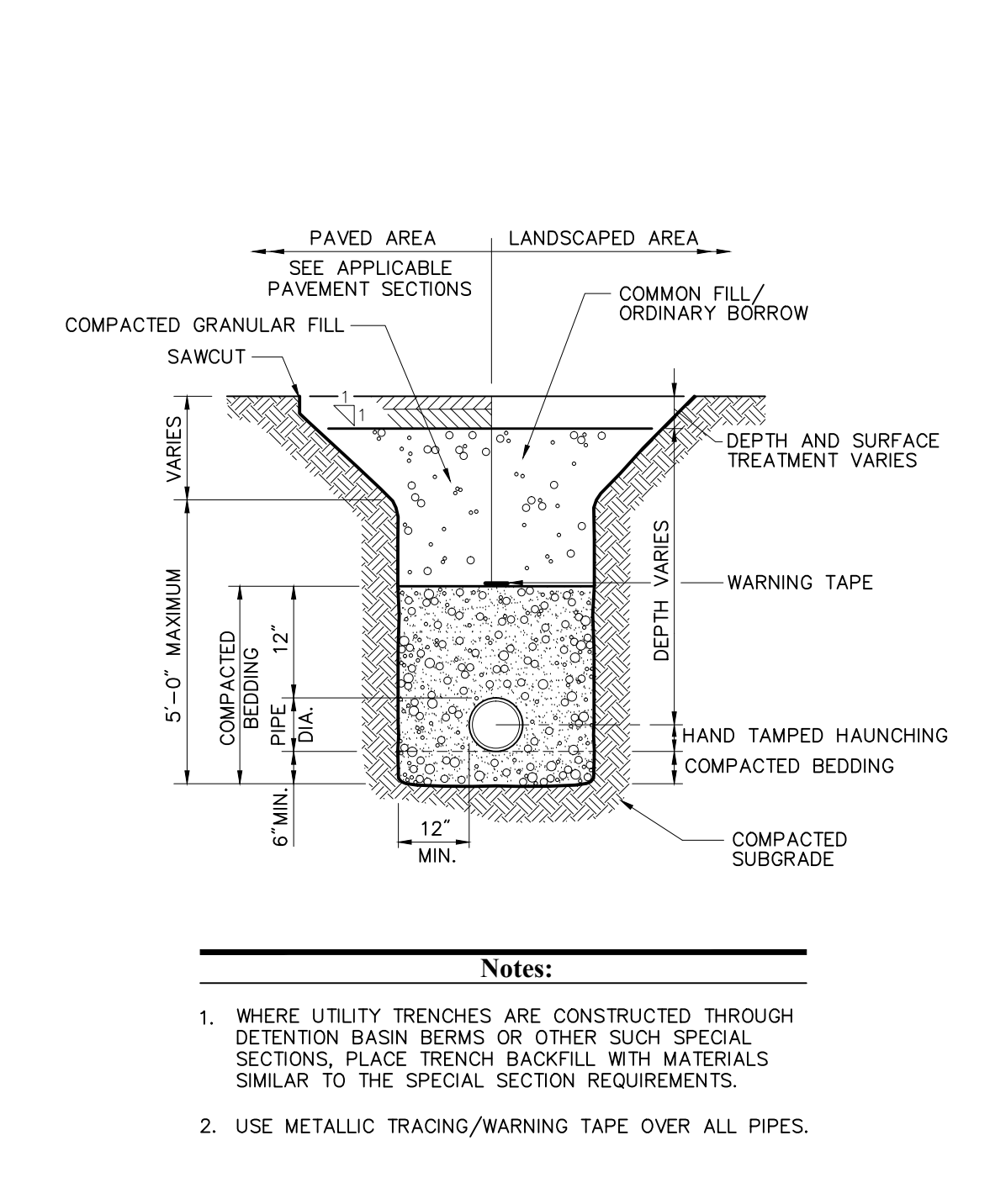
Sanitary Sewer Manhole (SMH) 6/08
N.T.S. Source: VHB LD_200



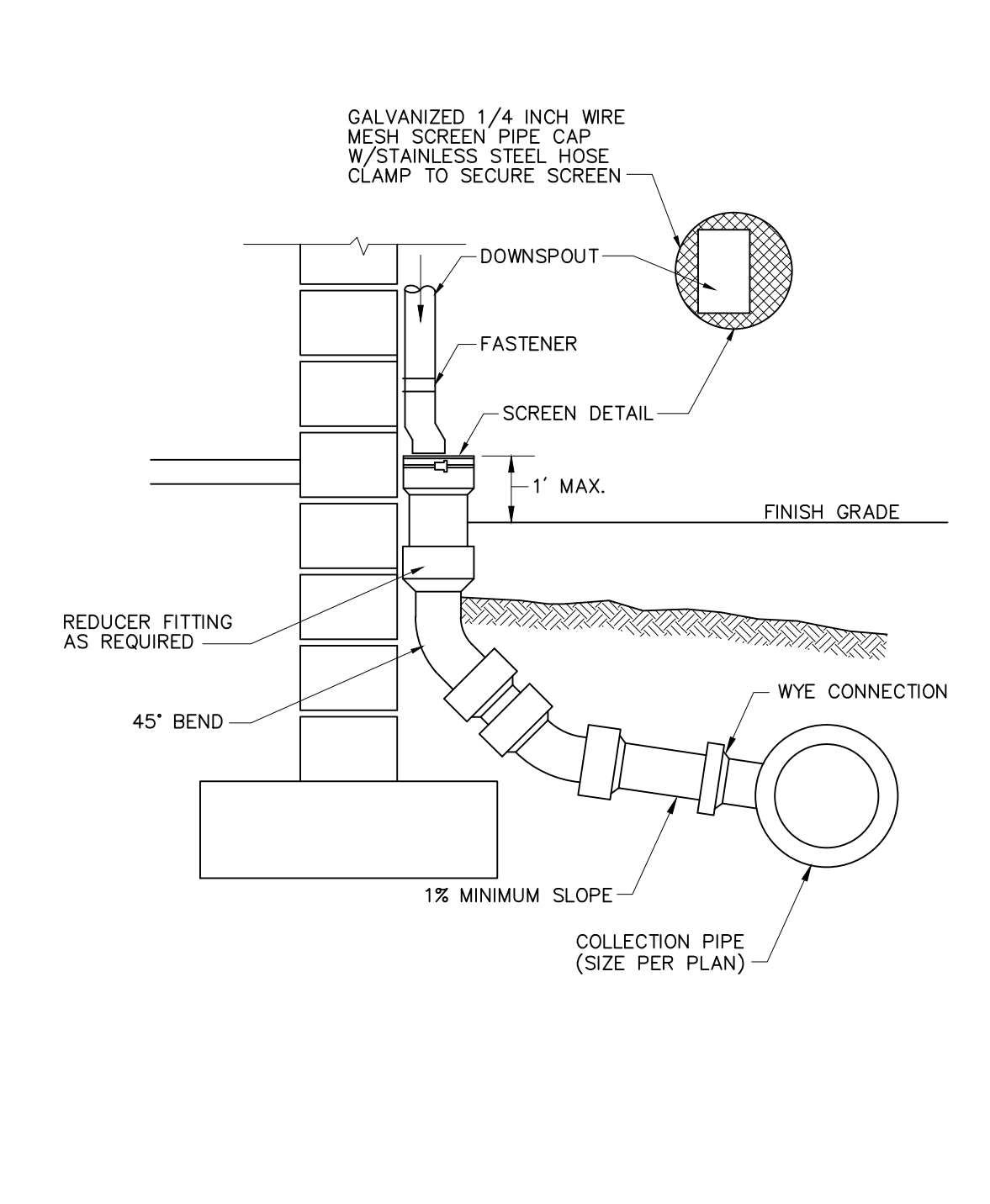
Sanitary Pressure Sewer Cleanout Manhole (SMH-CO) 6/08
N.T.S. Source: VHB LD_206



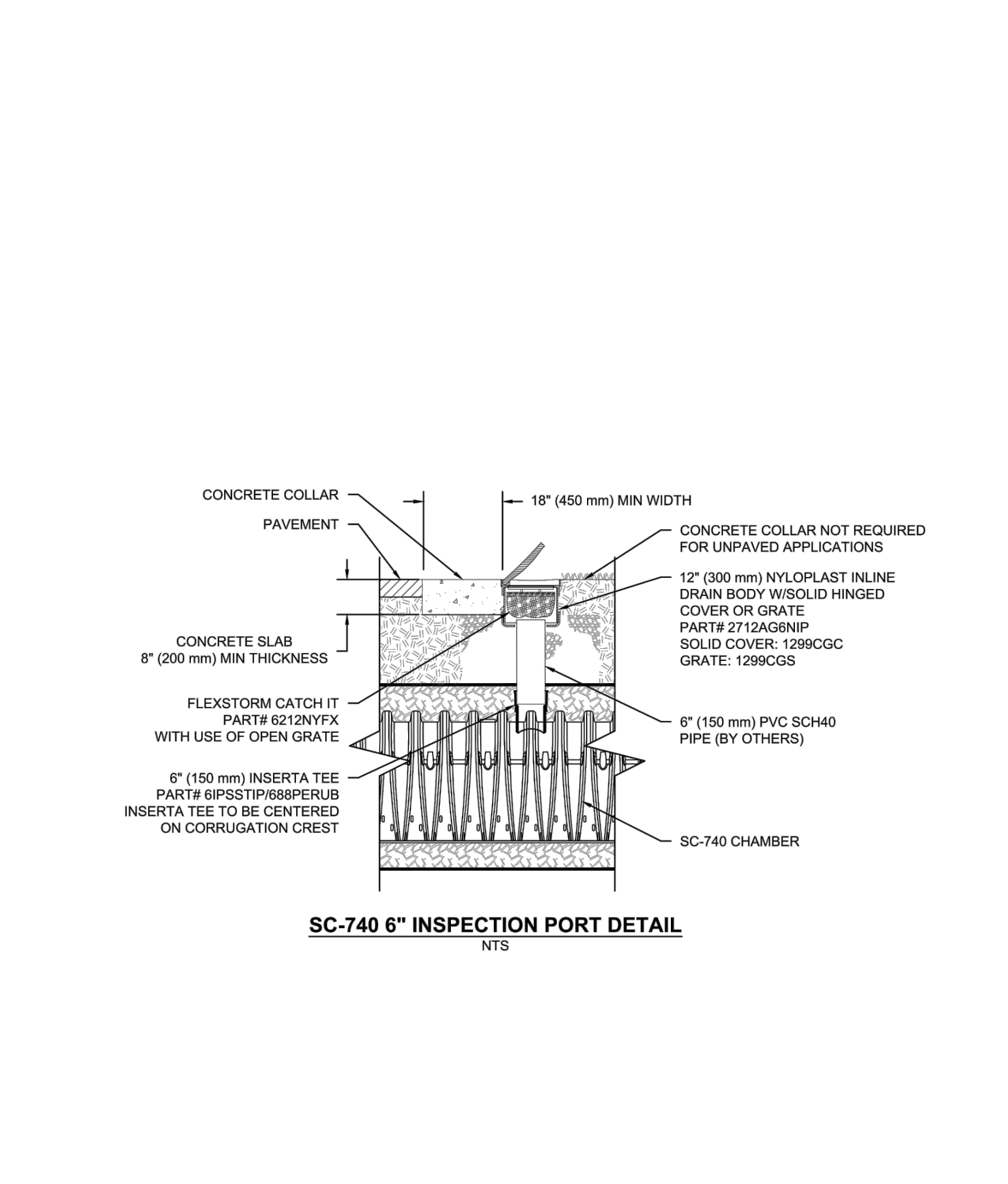
Outlet Control Structure (OCS) 6/08
N.T.S. Source: VHB LD_212



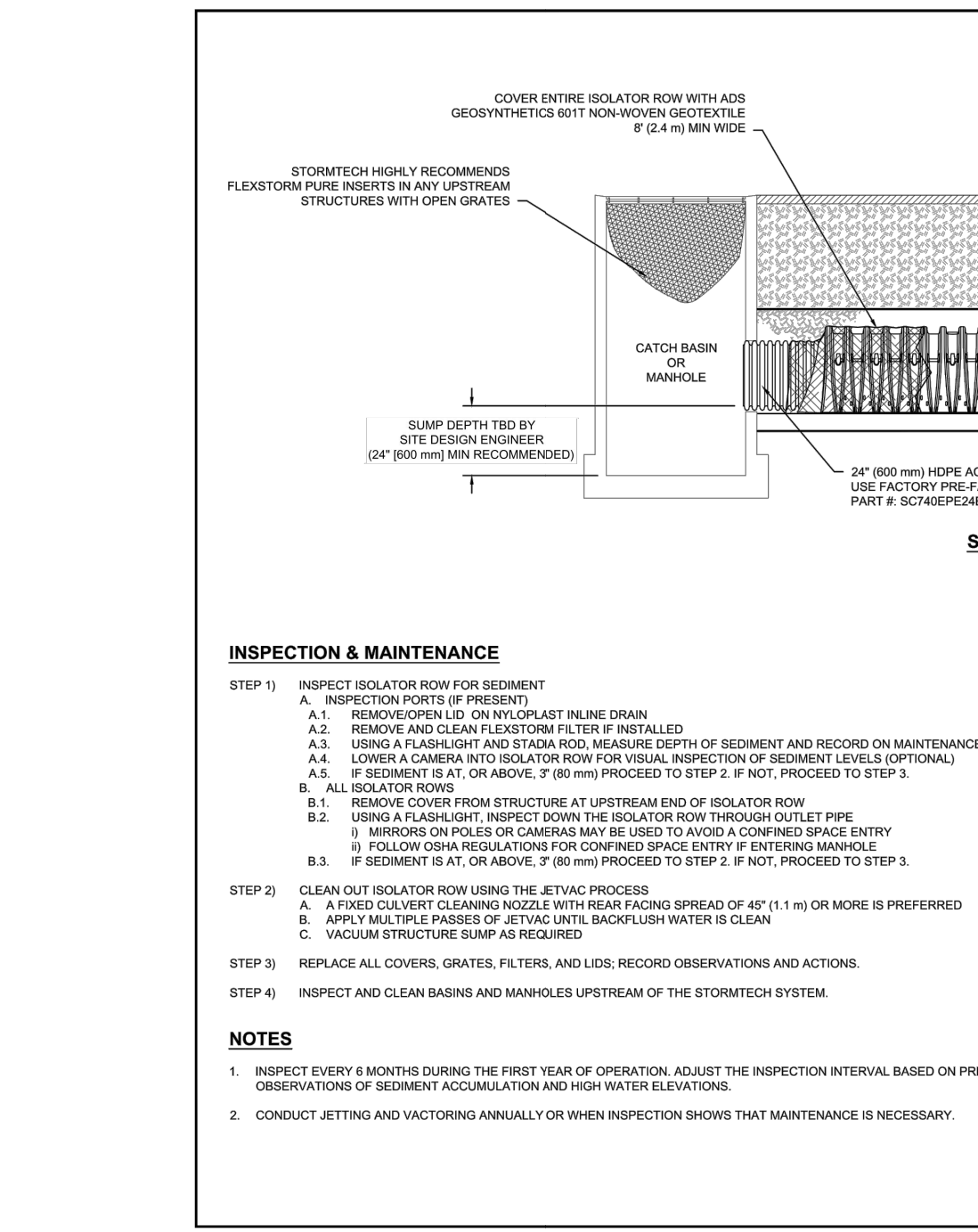
Utility Trench 6/11
N.T.S. Source: VHB LD_300



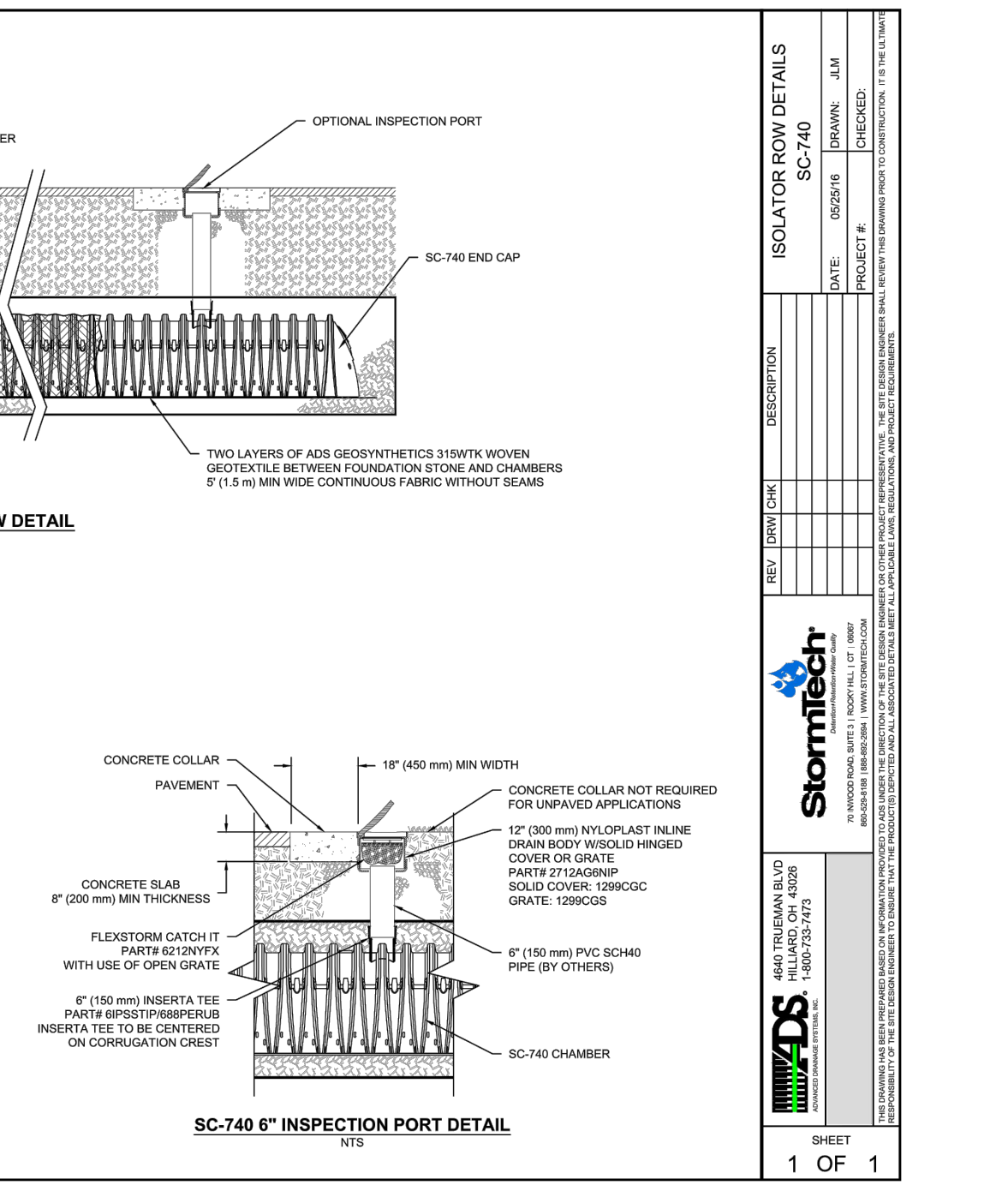
Downspout Rain Leader 6/08
N.T.S. Source: VHB LD_195



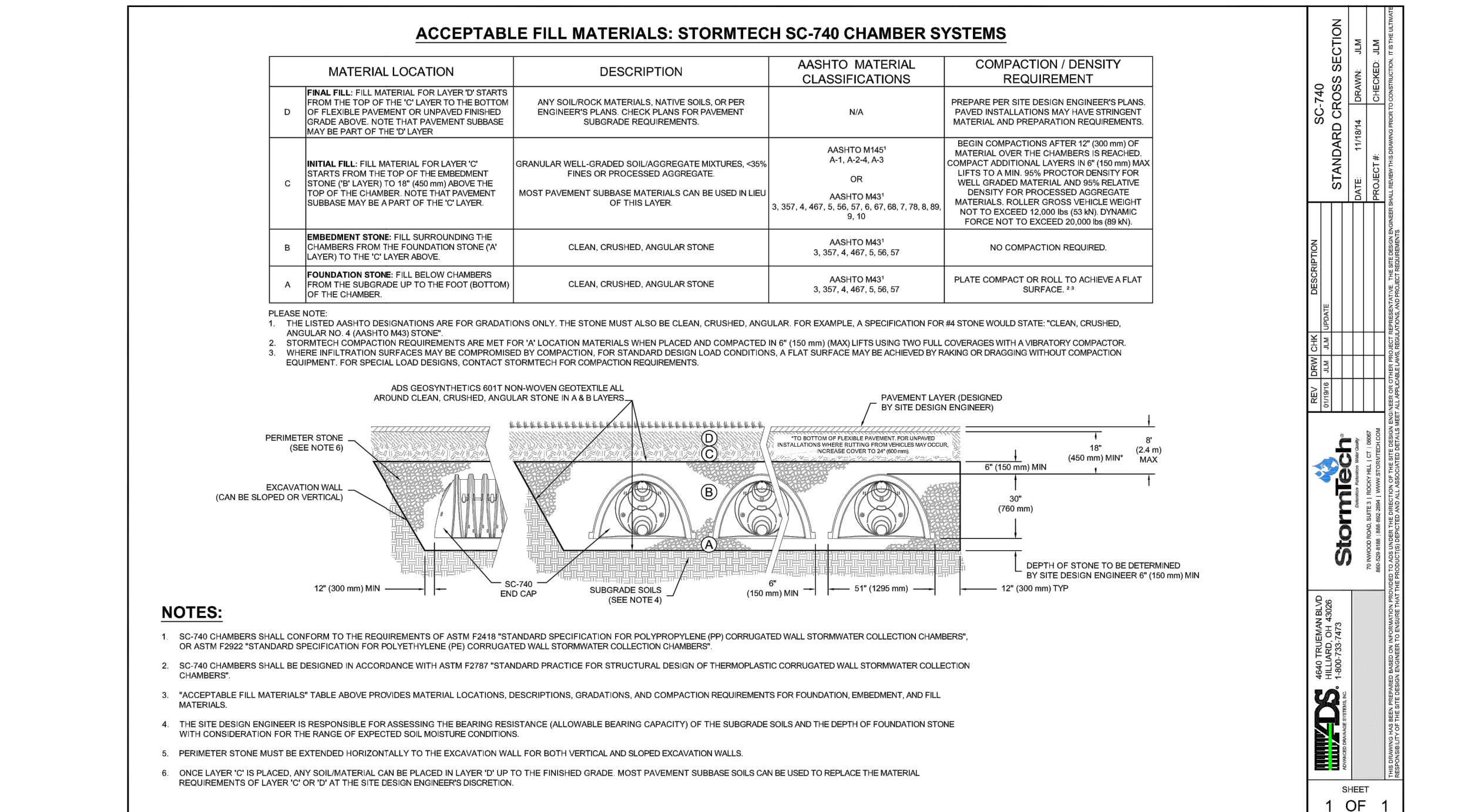
Inspection Port - Stormtech SC-740
N.T.S. Source: STORMTECH



Isolator Row - Stormtech SC-740
N.T.S. Source: STORMTECH

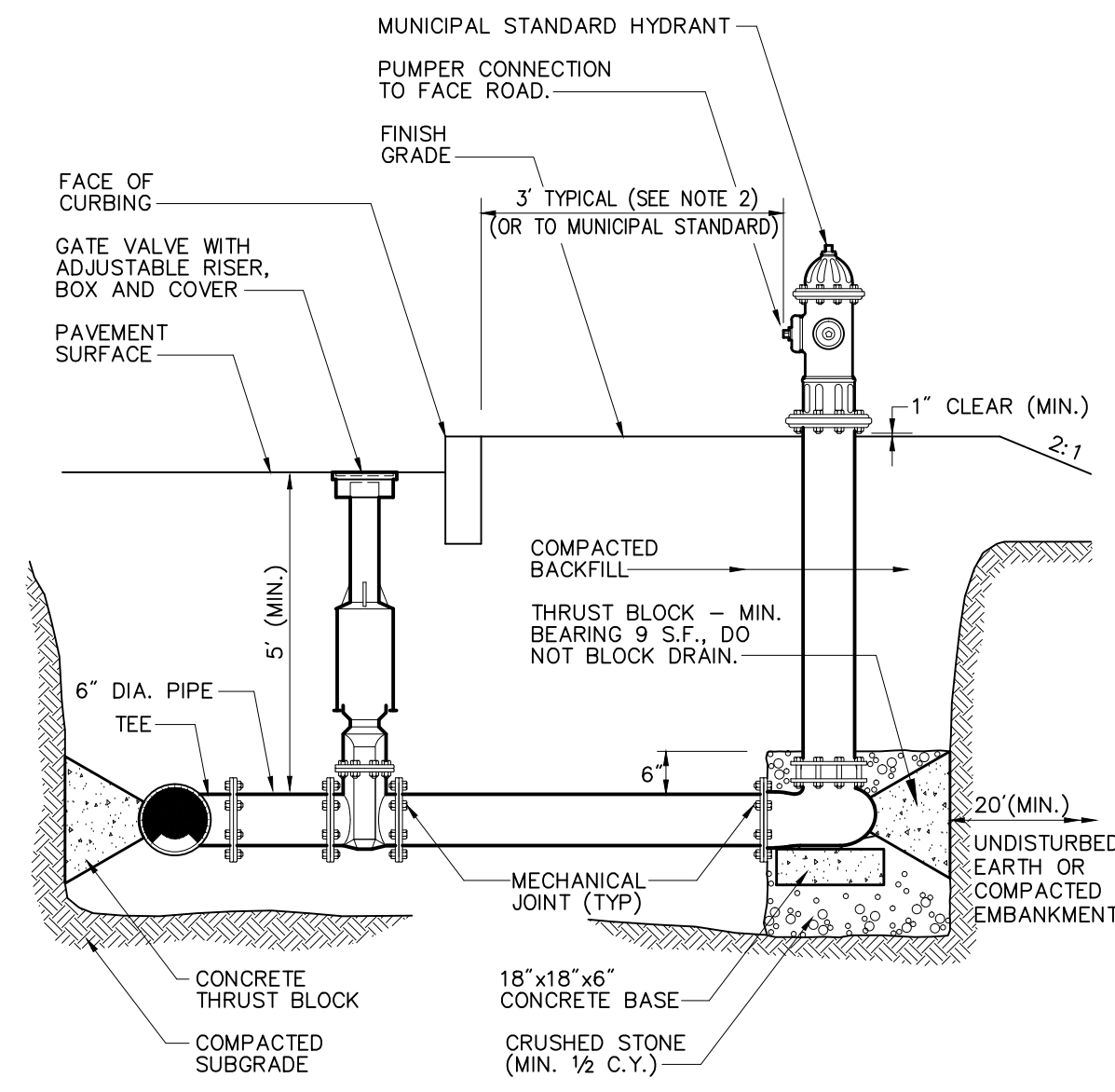


Standard Cross Section - Stormtech SC-740
N.T.S. Source: STORMTECH



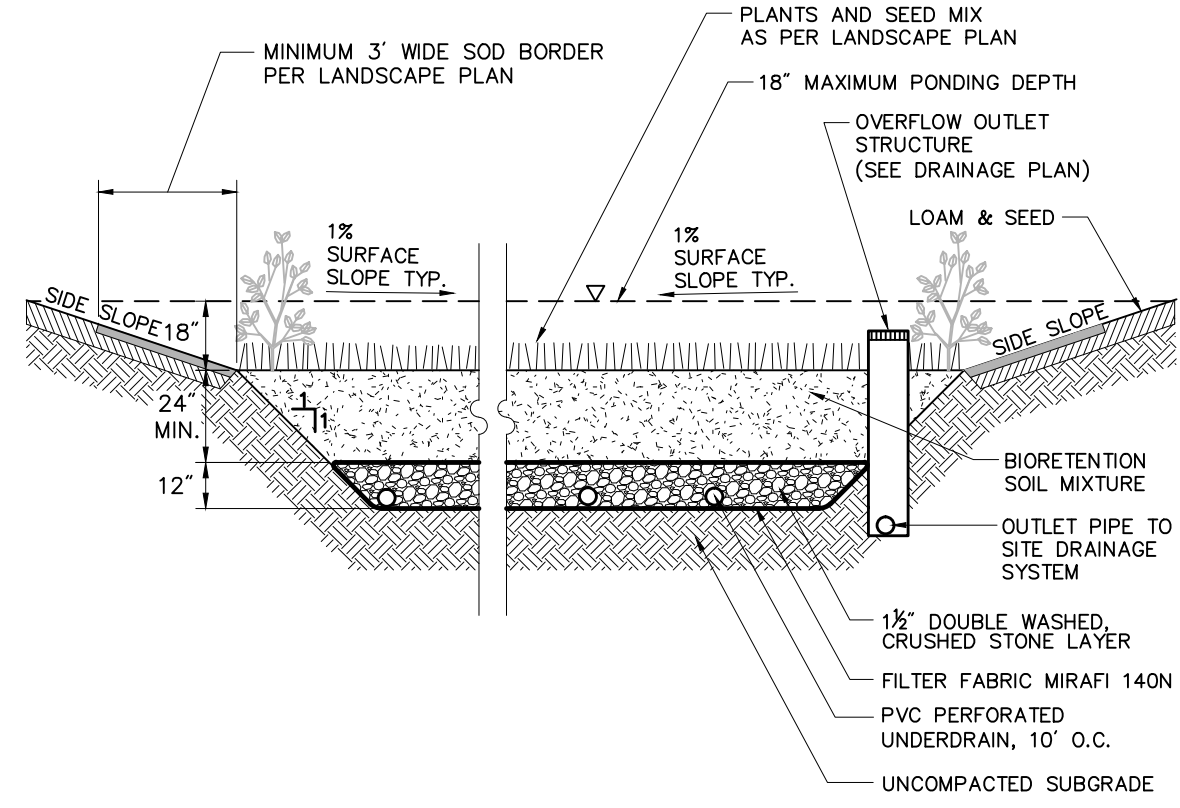
Standard Cross Section - Stormtech SC-740
N.T.S. Source: STORMTECH

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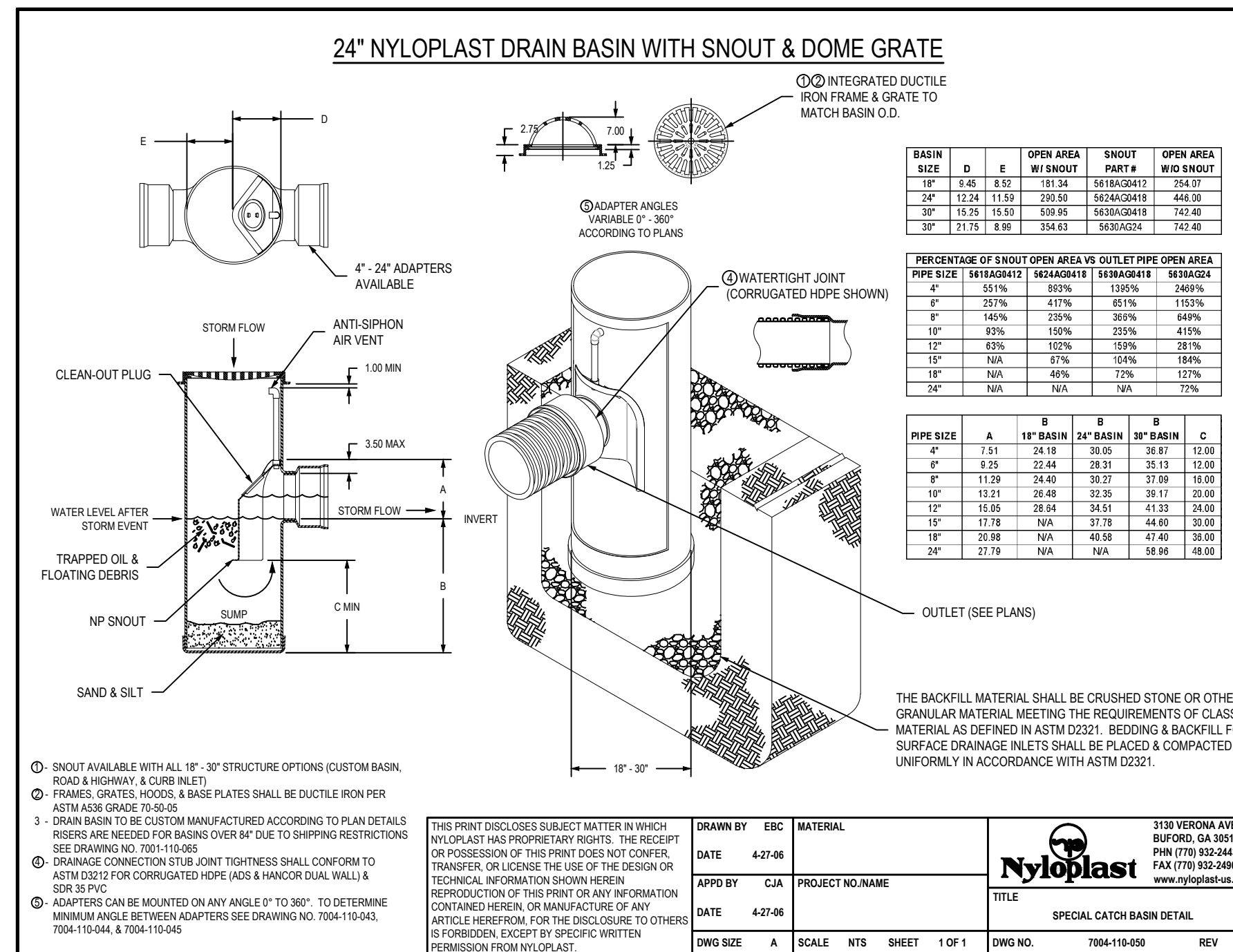
- Notes:**
1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
 2. HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.

Hydrant Construction 6/08
N.T.S. Source: VHB LD_250

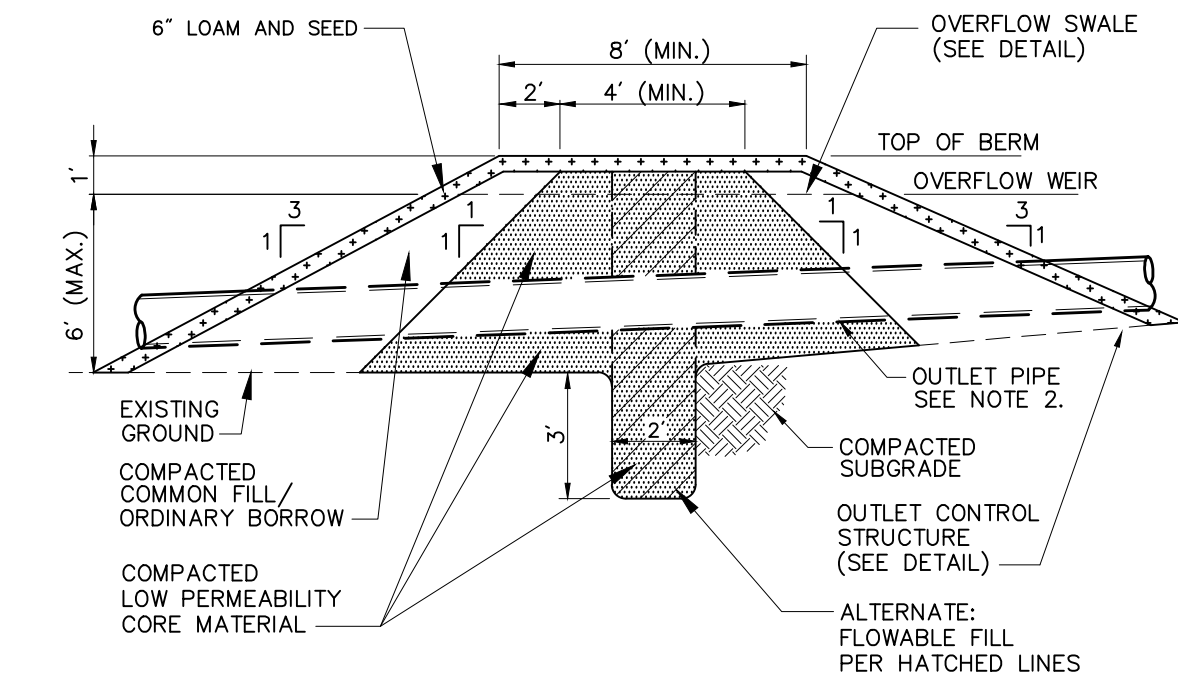


- Notes:**
1. INSTALL UNDERDRAINS AT 10 FEET ON CENTER, CONNECT TO DRAINS PER PLAN.
 2. SIDE SLOPES SHALL BE 3:1 MAX. 2 1/2\"/>

Bioretention Basin 6/08
N.T.S. Source: VHB LD_353

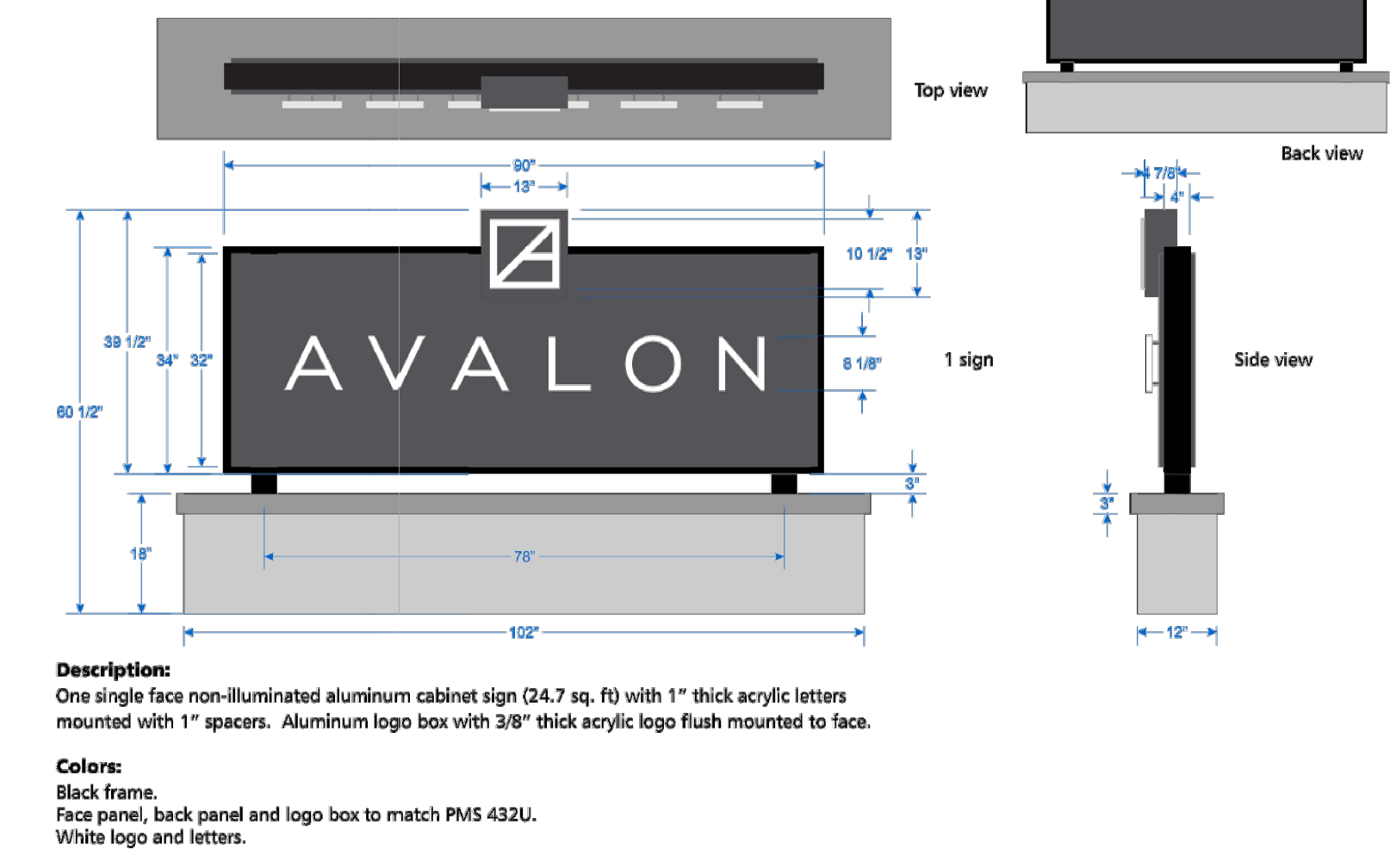
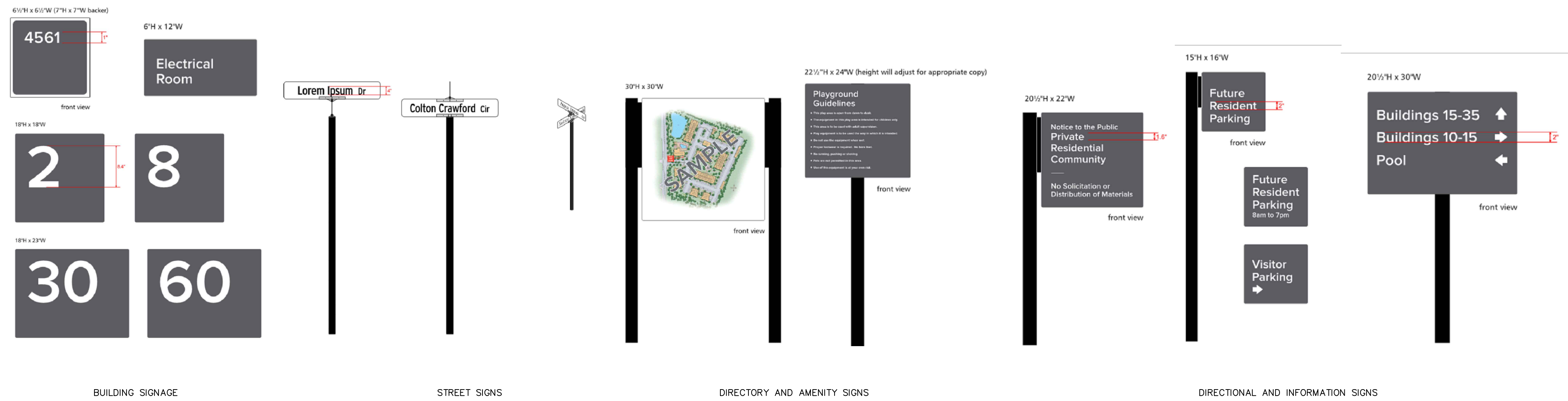


Landscape Drain (LD) 4/06
N.T.S. Source: NYLOPLAST



- Notes:**
1. LOW PERMEABILITY CORE MATERIAL IS CONTINUOUS FOR THE FULL LENGTH OF THE EMBANKMENT.
 2. WHERE PIPES PENETRATE THE LOW PERMEABILITY CORE, PIPE SHALL BE BEDDED IN THE LOW PERMEABILITY CORE MATERIAL.
 3. THE BERM SECTION IS SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

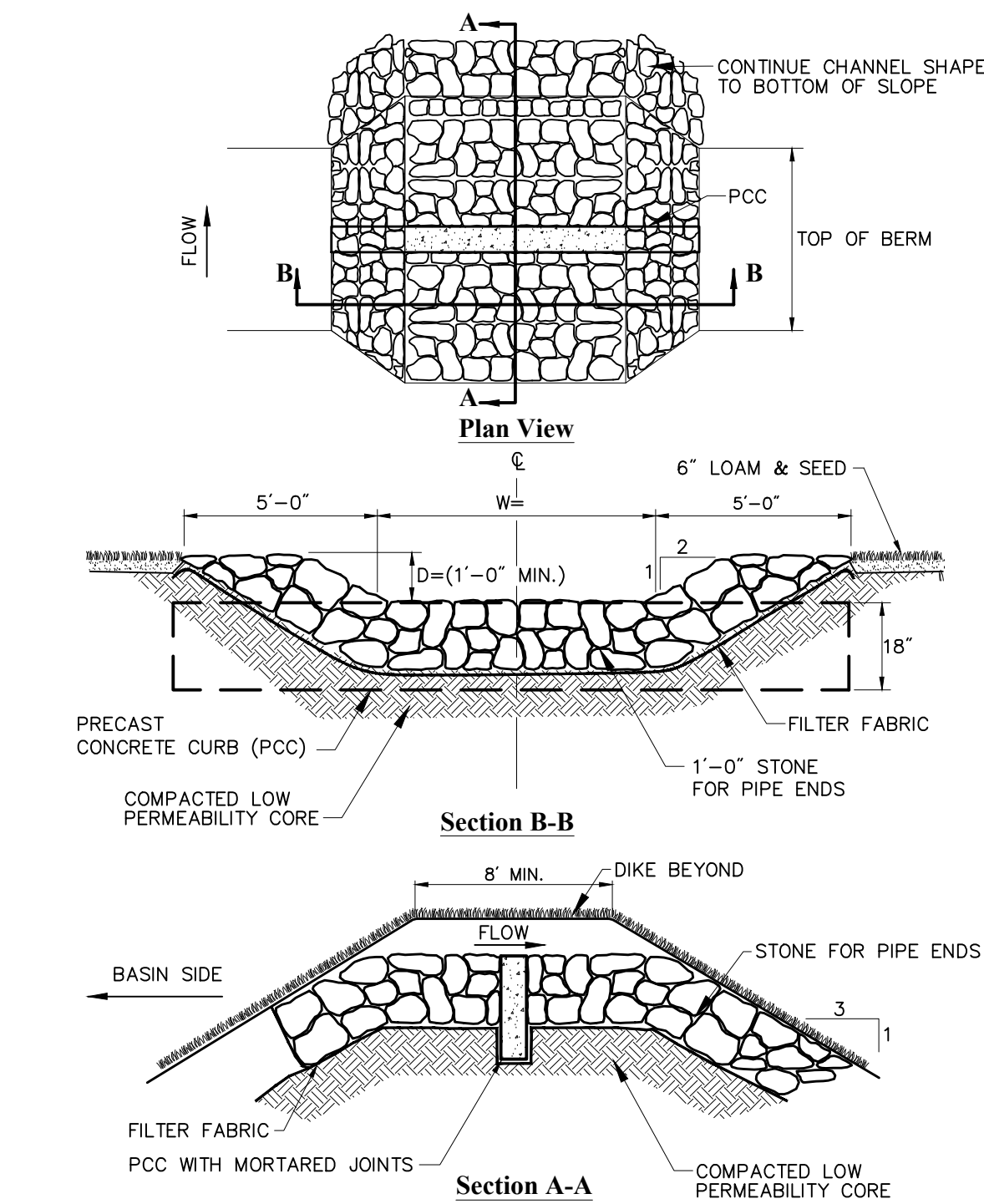
Detention Basin Berm Section 10/08
N.T.S. Source: VHB LD_160



Description:
One single face non-illuminated aluminum cabinet sign (24.7 sq. ft) with 1" thick acrylic letters mounted with 1" spacers. Aluminum logo box with 3/8" thick acrylic logo flush mounted to face.

Colors:
Black frame, face panel, back panel and logo box to match PMS 432U. White logo and letters.

Avalon Signage 01/16
N.T.S. Source: Avalon Bay



Overflow Stone Swale 6/08
N.T.S. Source: VHB LD_161

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturaltteam.com
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Consultant:
vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770
617.924.2286
KAREN F. STAFFIER
CIVIL ENGINEER
No. 48868
6/20/2016

Revision:
1 RESPONSE TO COMMENTS June 20, 2016

Architect of Record:
The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturaltteam.com
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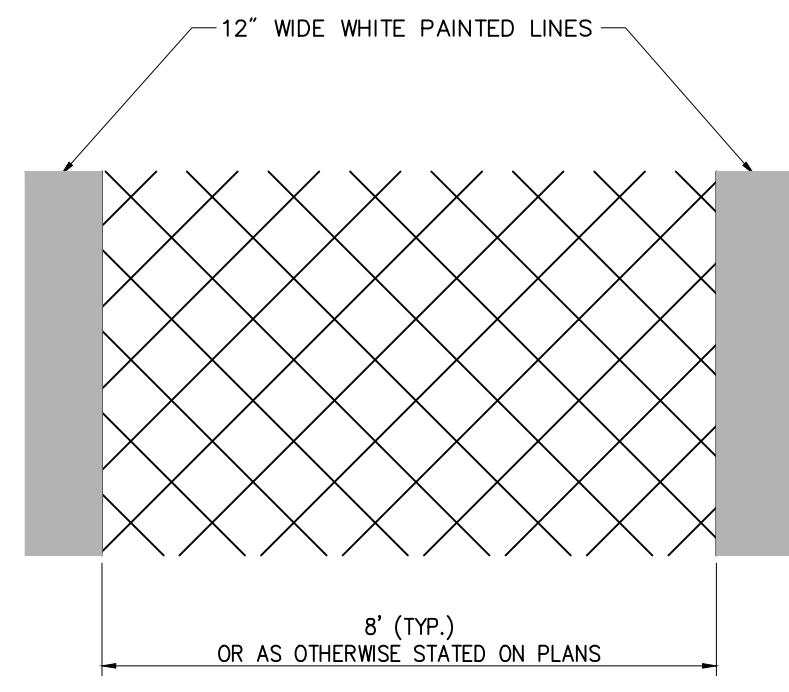
Drawn: BMG
Checked: RSH / KFS
Scale: AS NOTED
Key Plan: N/A

Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
Site Details

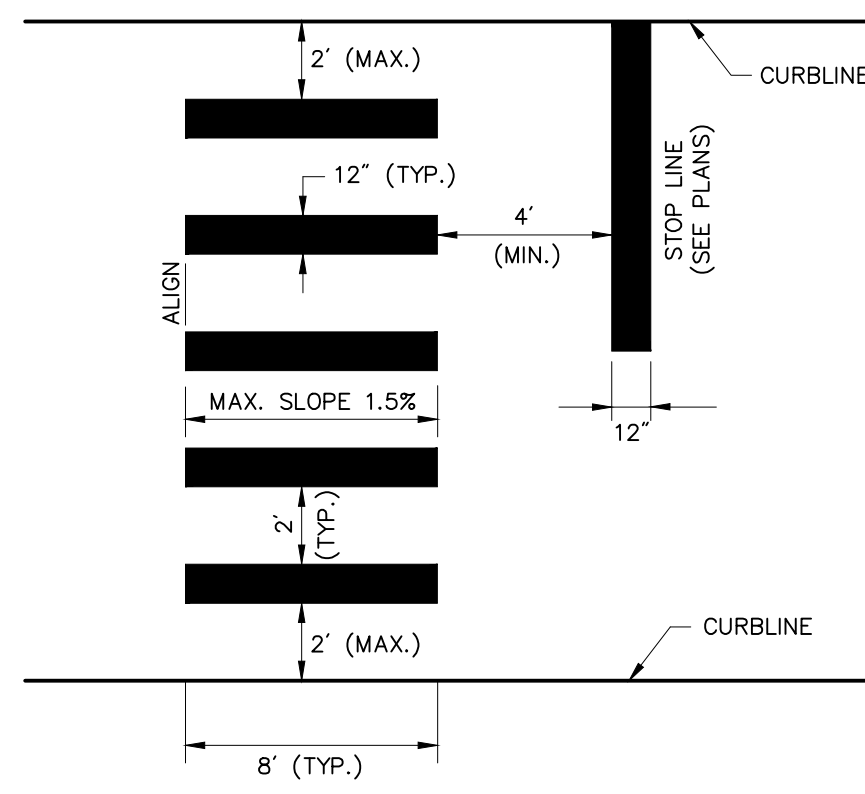
Project Number:
VHB: 13125.00, TAT: 14155
Issue Date:
January 20, 2016

Sheet Number:
C-6.2



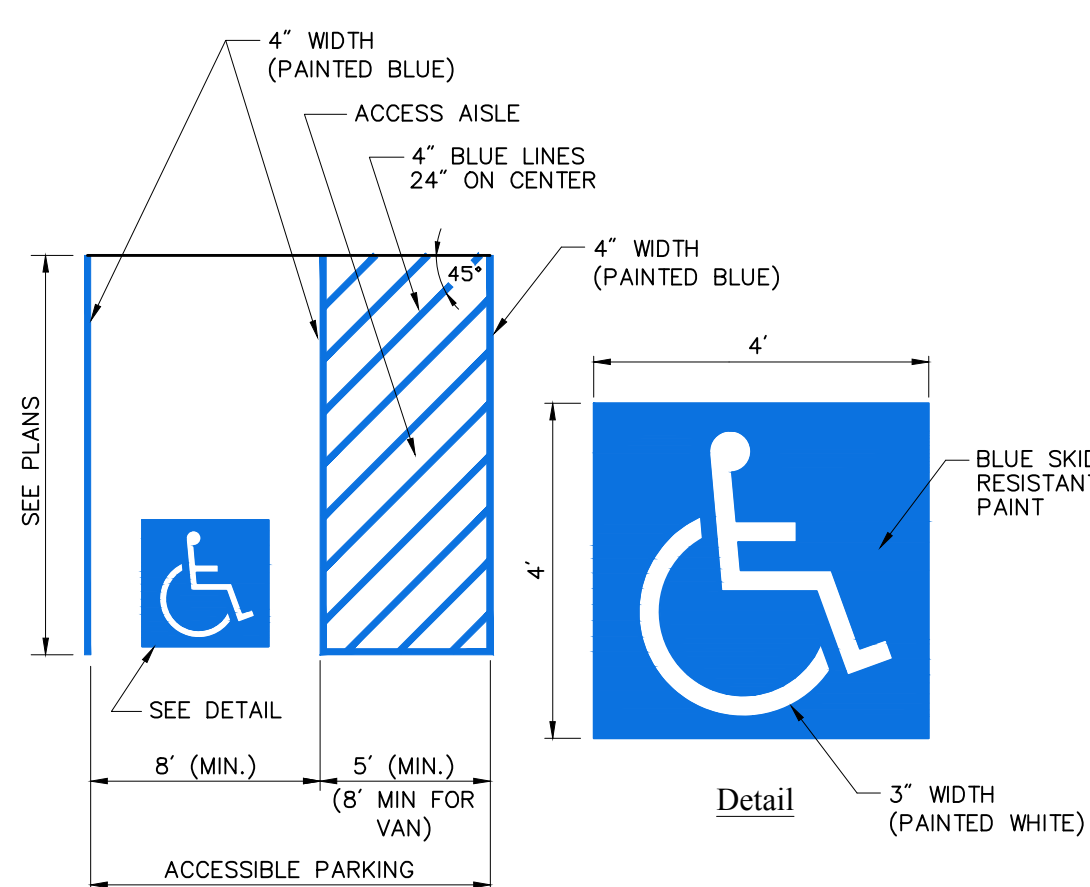
- Notes:**
- BRICK PATTERN TO BE STAMPED INTO MECHANICALLY HEATED BITUMINOUS CONCRETE SURFACE WITH VIBRATORY PLATE COMPACTOR APPLIED TO STEEL BRICK FORM.
 - BRICK AREA TO BE PAINTED WITH "BRICK RED" COLOR PAINT.

Decorative Crosswalk Detail 6/08
N.T.S. Source: VHB LD_425



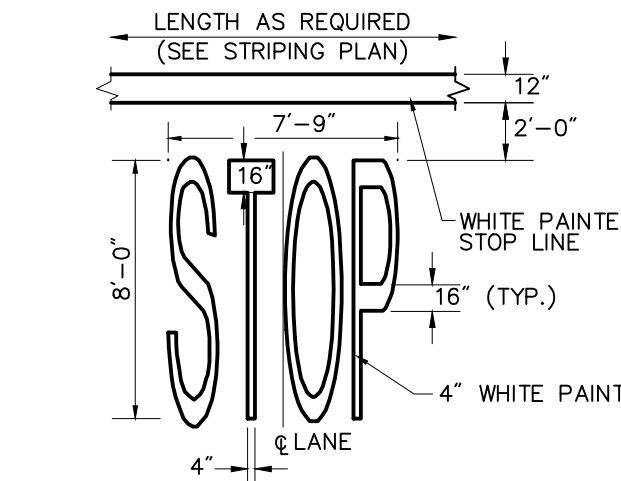
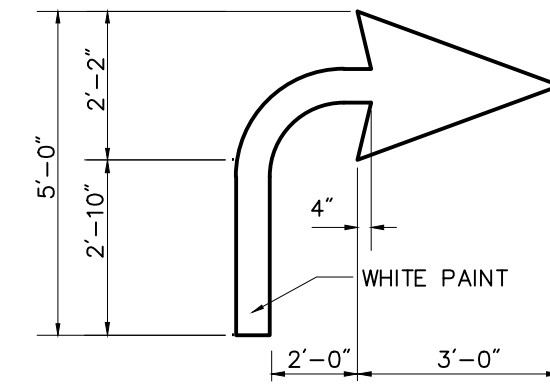
- Notes:**
- TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
 - LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
 - ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
 - CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Crosswalk 6/08
N.T.S. Source: VHB LD_553



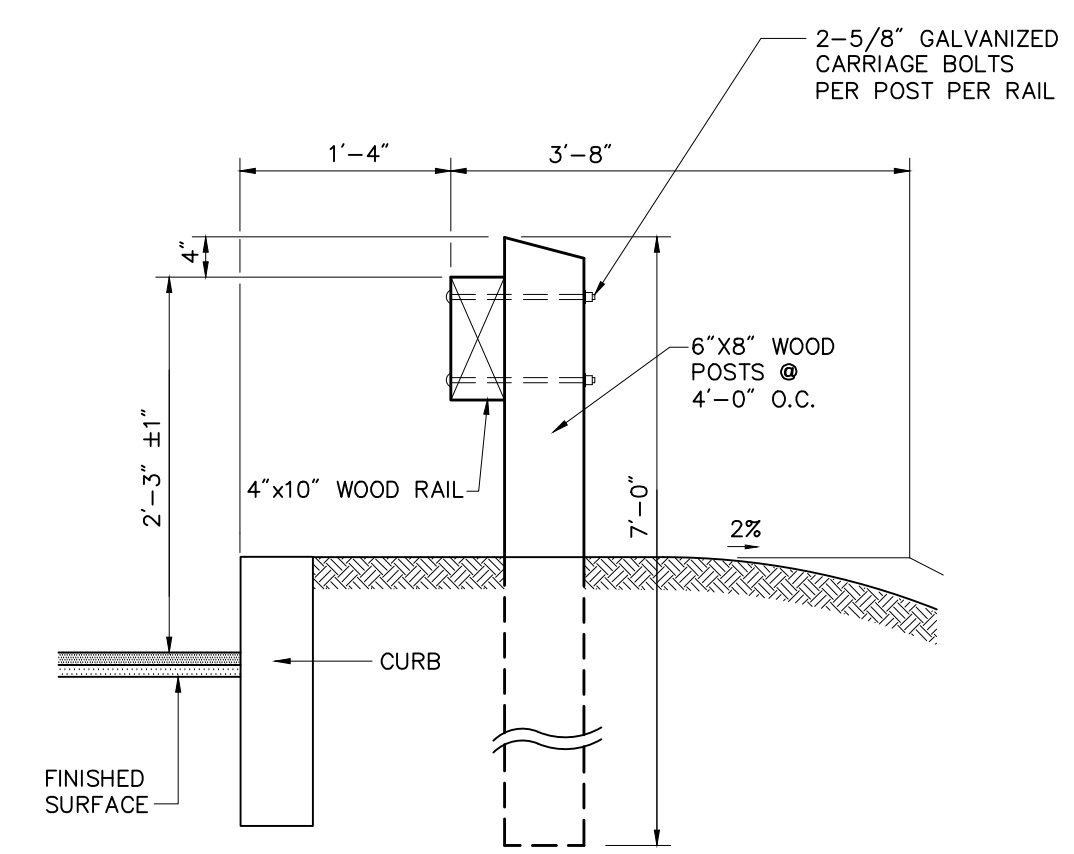
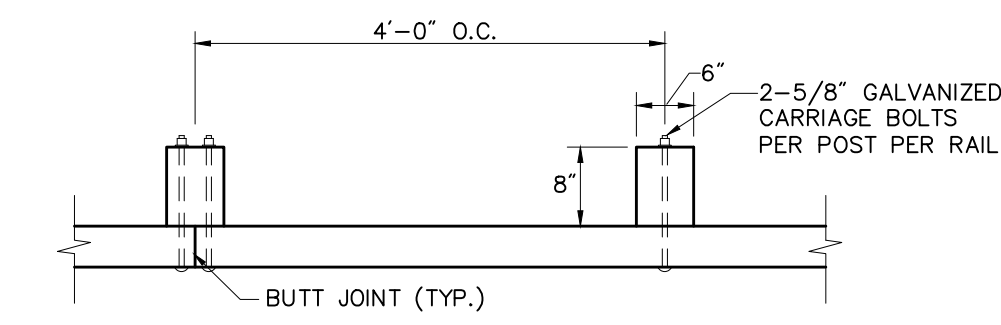
- Notes:**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
 - 8" STALL WIDTH REFERS TO 8" CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
 - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
 - ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

Accessible Parking Space 12/14
N.T.S. Source: VHB LD_552b

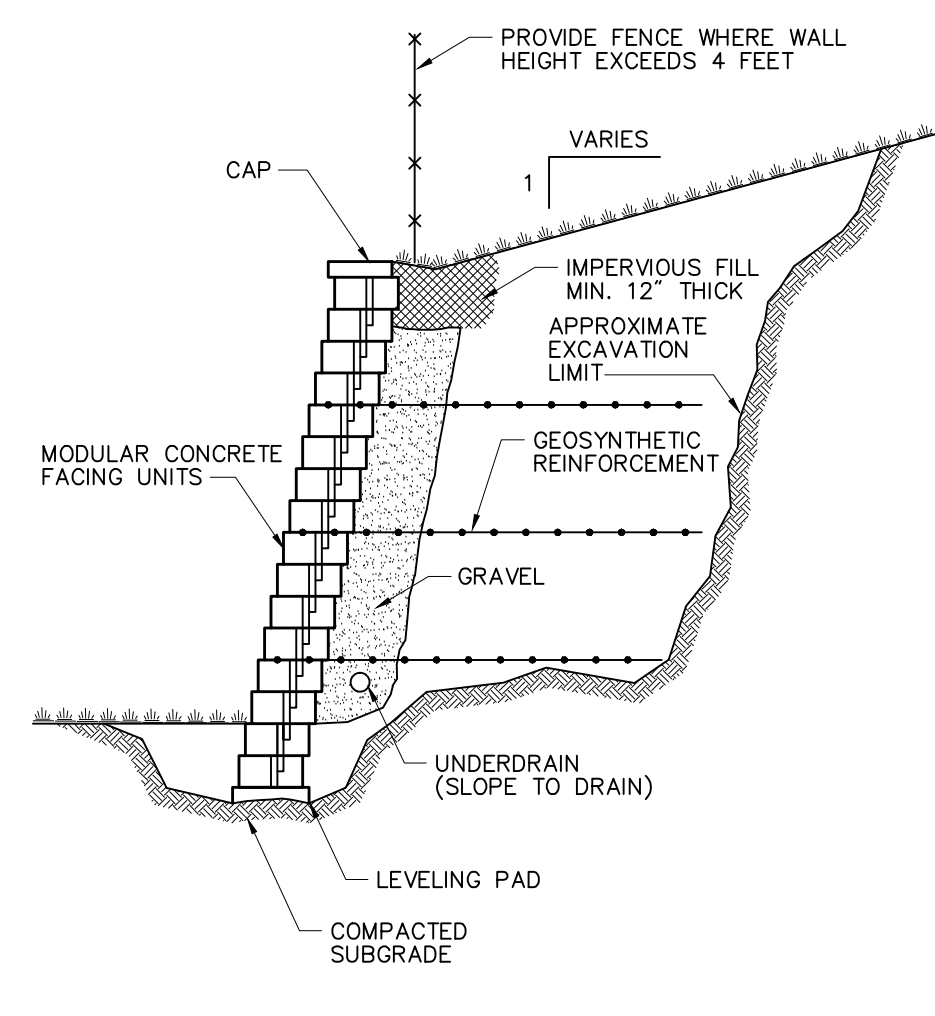


- Notes:**
- PAVEMENT MARKINGS TO BE INSTALLED FOR ON-SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site 6/08
N.T.S. Source: VHB LD_554

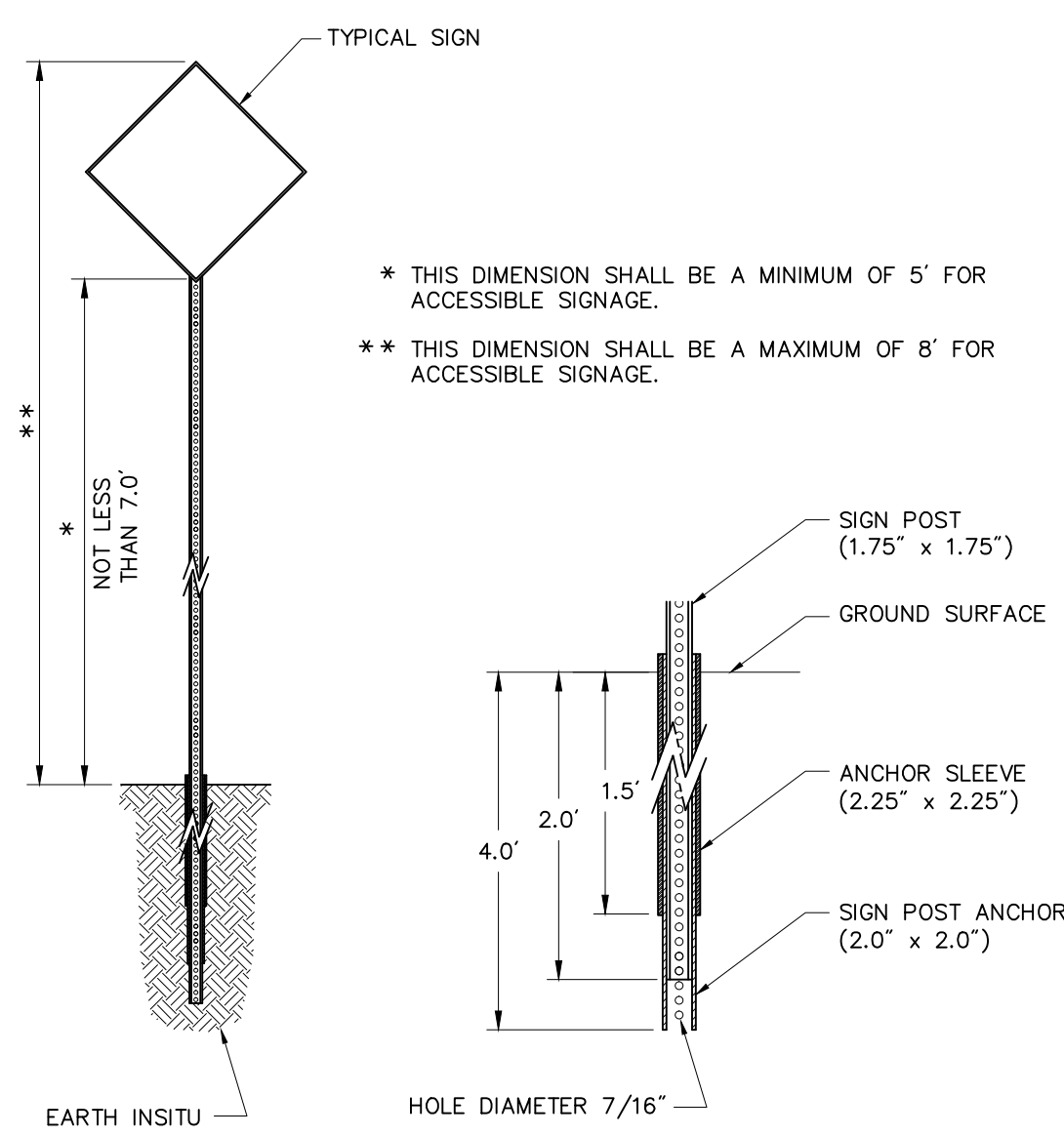


Wood Guardrail 6/08
N.T.S. Source: VHB LD_450



Note:
DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY WALL MANUFACTURER BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

Modular Retaining Wall 6/08
N.T.S. Source: VHB LD_750



Sign Post - Type 'B' 12/12
N.T.S. Source: VHB LD_702

PROGRESS COMMERCIAL LIGHTING

PCBO SERIES Walkway Lighting

Specifications:

- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.

Images:

Dimensions & Mounting:

Electrical:

Low voltage (120V/277V) down to 120V minimum, using temperature rated LED.

Standard LED assembly adjustment for ideal placement and aiming of symmetric light pattern.

24 High Intensity LEDs at 500 mA deliver symmetric distribution at 40 Watts.

12 High Intensity LEDs at 500 mA deliver symmetric distribution at 30 Watts.

Listing/Certification:

The luminaire is listed to UL 1598 for use in wet locations.

Catalog number:

Series	Distribution	Finish	Square	1.67m x .437m	6.07' x 1.72'	41 lbs	
PCBO-R	Recessed Round	AS7 - 12 LEDs @ 511°	R2 - Bronze	Round	1.77m x .437m	6.07' x 1.72' <td>41 lbs</td>	41 lbs
PCBO-S	Recessed Square	50W - 24LED @ 511°	R2 - Bronze	Round	1.77m x .437m	6.07' x 1.72' <td>41 lbs</td>	41 lbs

Photometry:

Warranty:

5 year limited warranty for LED driver.

For more information visit our website: www.progresslighting.com

Typical Light Pole 2 (or equivalent) (By Others) 12/14
N.T.S. Source: PROGRESS COMMERCIAL LIGHTING

PROGRESS COMMERCIAL LIGHTING

PCPTD SERIES LED Post Top Designer

Specifications:

- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.
- Extruded aluminum square or round housing, with longer recessed luminaire. Fit for in-lane. Single row series for lighting.

Images:

Dimensions & Mounting:

Electrical:

Low voltage (120V/277V) down to 120V minimum, using temperature rated LED.

Standard LED assembly adjustment for ideal placement and aiming of symmetric light pattern.

24 High Intensity LEDs at 500 mA deliver symmetric distribution at 40 Watts.

12 High Intensity LEDs at 500 mA deliver symmetric distribution at 30 Watts.

Listing/Certification:

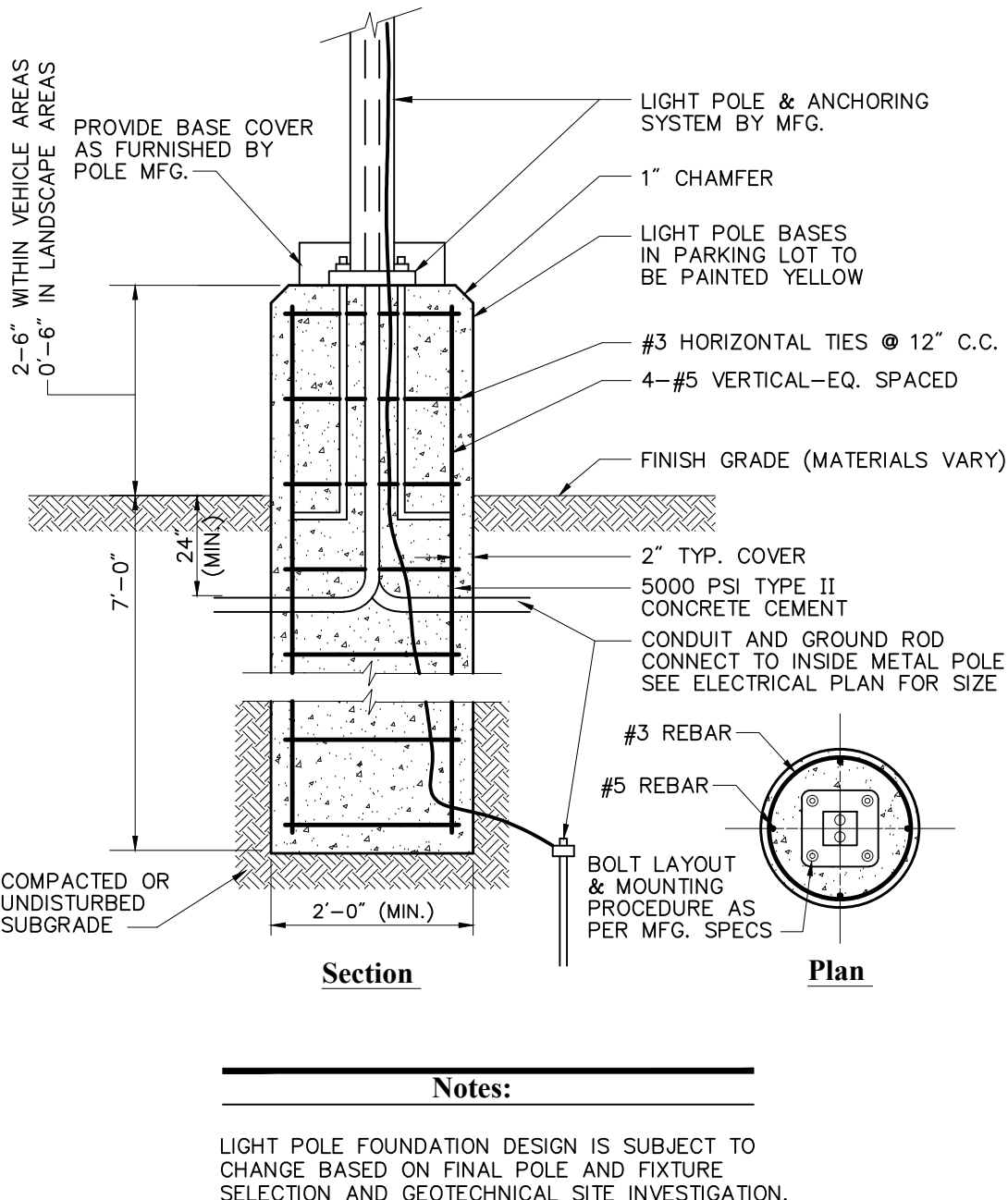
The luminaire is listed to UL 1598 for use in wet locations.

Warranty:

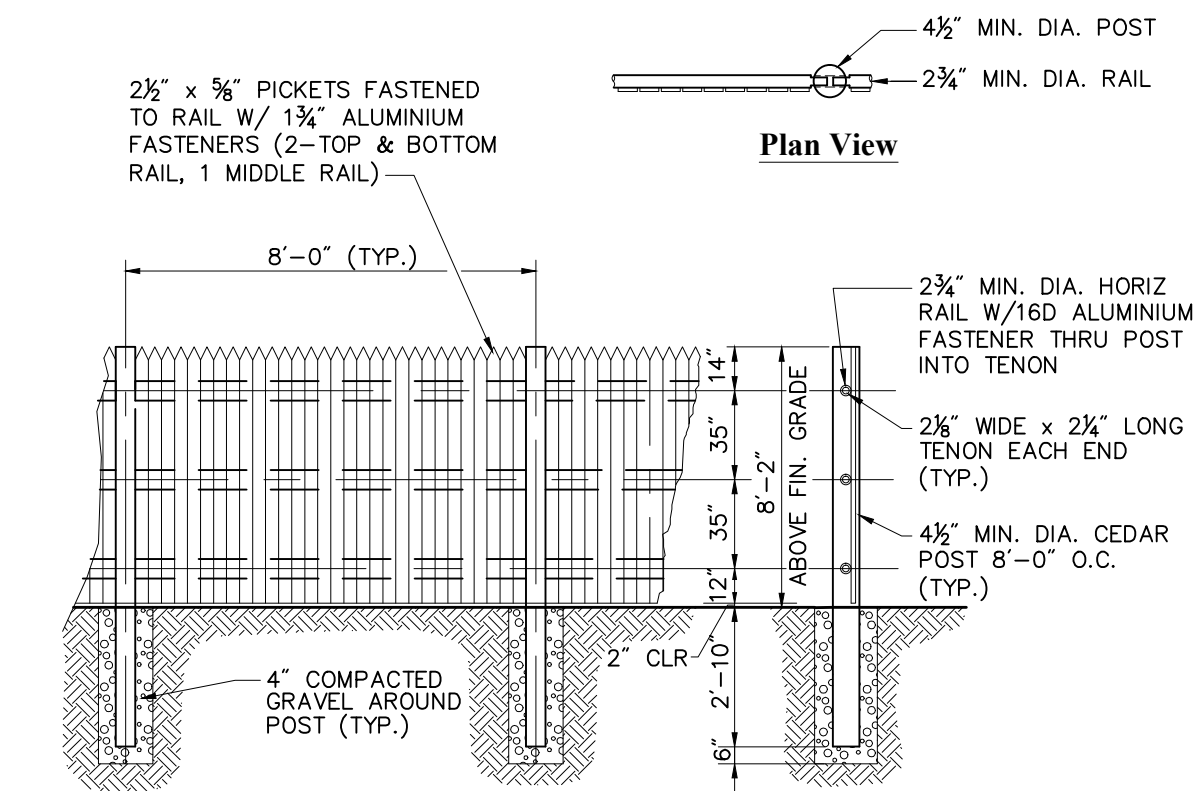
5 year limited warranty for LED driver.

For more information visit our website: www.progresslighting.com

Typical Light Pole 1 (or equivalent) (By Others) 12/14
N.T.S. Source: PROGRESS COMMERCIAL LIGHTING



Light Pole Foundation Detail (Up to 40' Pole) 2/11
N.T.S. Source: VHB LD_310



- Notes:**
- ALL FENCING MATERIAL SHALL BE NORTHERN WHITE CEDAR, SAWN TO THE DIMENSIONS SHOWN ON THE DRAWING.
 - ALL FENCE POSTS SHALL BE TREATED WITH PRESERVATIVE PER MANUFACTURER'S RECOMMENDATION ON ALL SIDES FOR A DIMENSION OF 3'-0" FROM BUTT OF POST.
 - POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
 - LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.
 - GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED. THE CONTRACTOR SHALL SUBMIT GATE AND FENCE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW.

8' Single Sided Stockade Fence 6/08
N.T.S. Source: VHB LD_472

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Consultant:

vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770
617.924.2286

KAREN F. STAFFIER
CIVIL
No. 45865
PROFESSIONAL ENGINEER

Revision: 6/20/2016
1 RESPONSE TO COMMENTS June 20, 2016

Architect of Record:

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Drawn: BMG
Checked: RSH / KFS
Scale: AS NOTED
Key Plan: N/A

Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
Site Details

Project Number:
VHB: 13125.00, TAT: 14155
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January 20, 2016
Sheet Number:
C-6.3

Consultant:



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1 RESPONSE TO COMMENTS June 20, 2016

Architect of Record:

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
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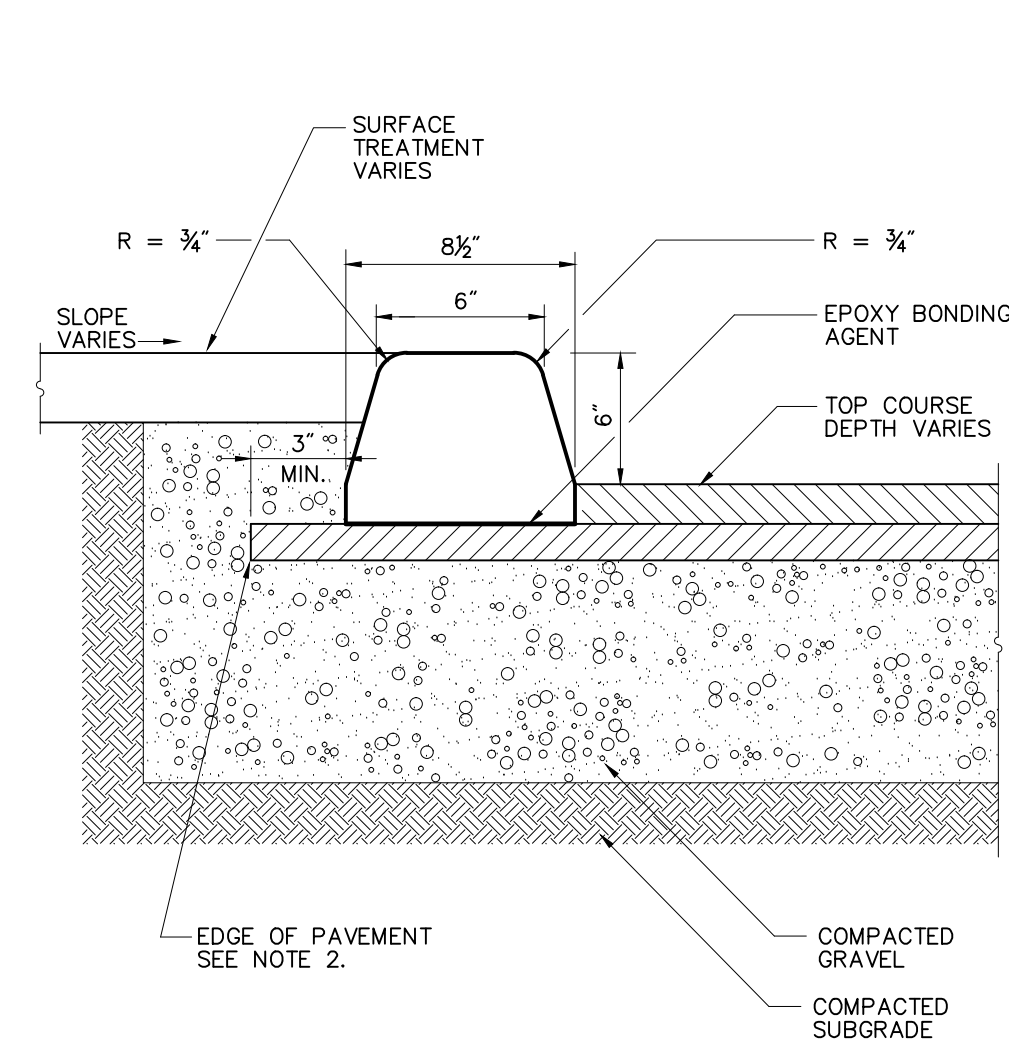
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Scale: AS NOTED
Key Plan: N/A

Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
Site Details

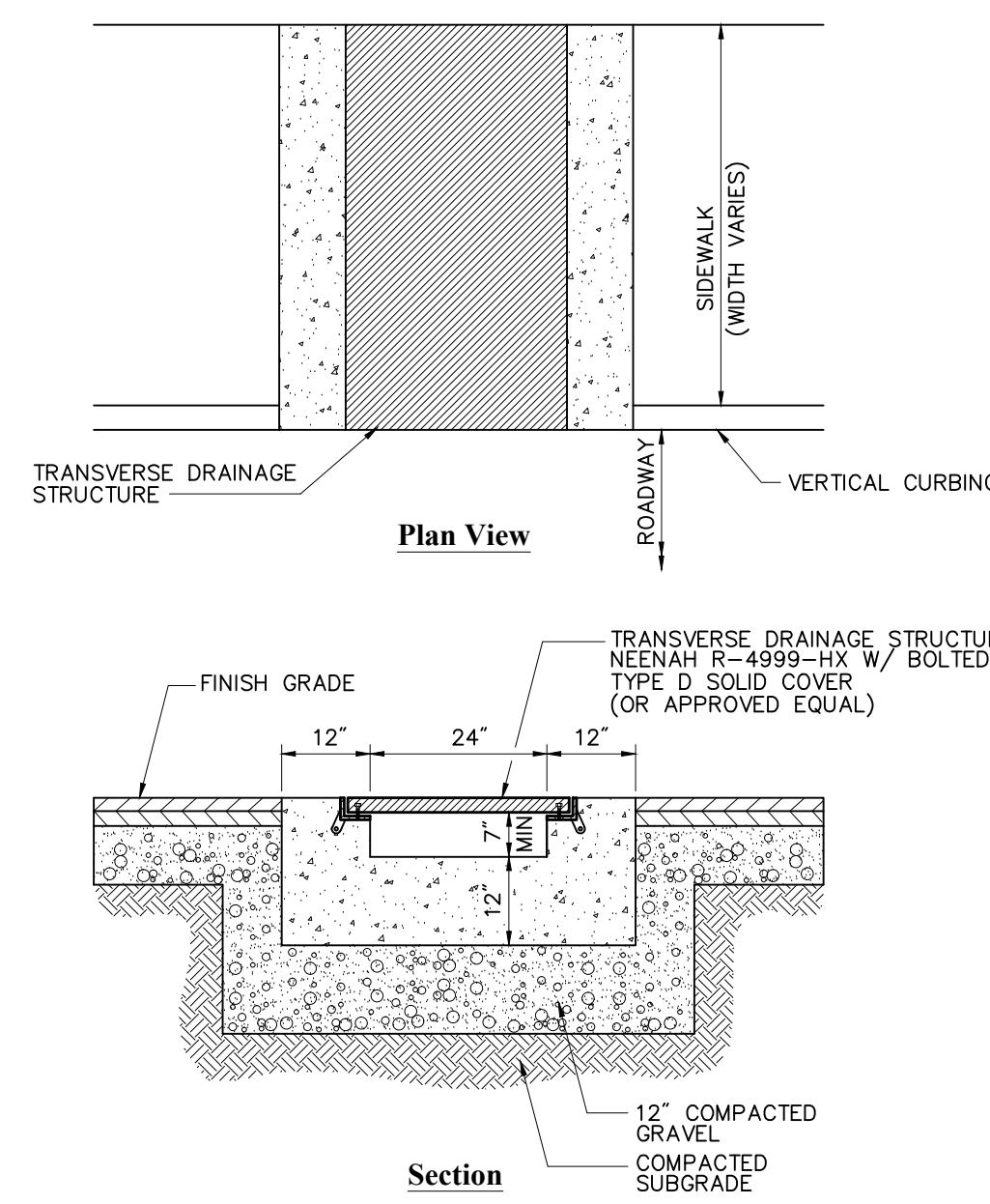
Project Number:
VHB: 13125.00, TAT: 14155
Issue Date:
January 20, 2016
Sheet Number:

C-6.4



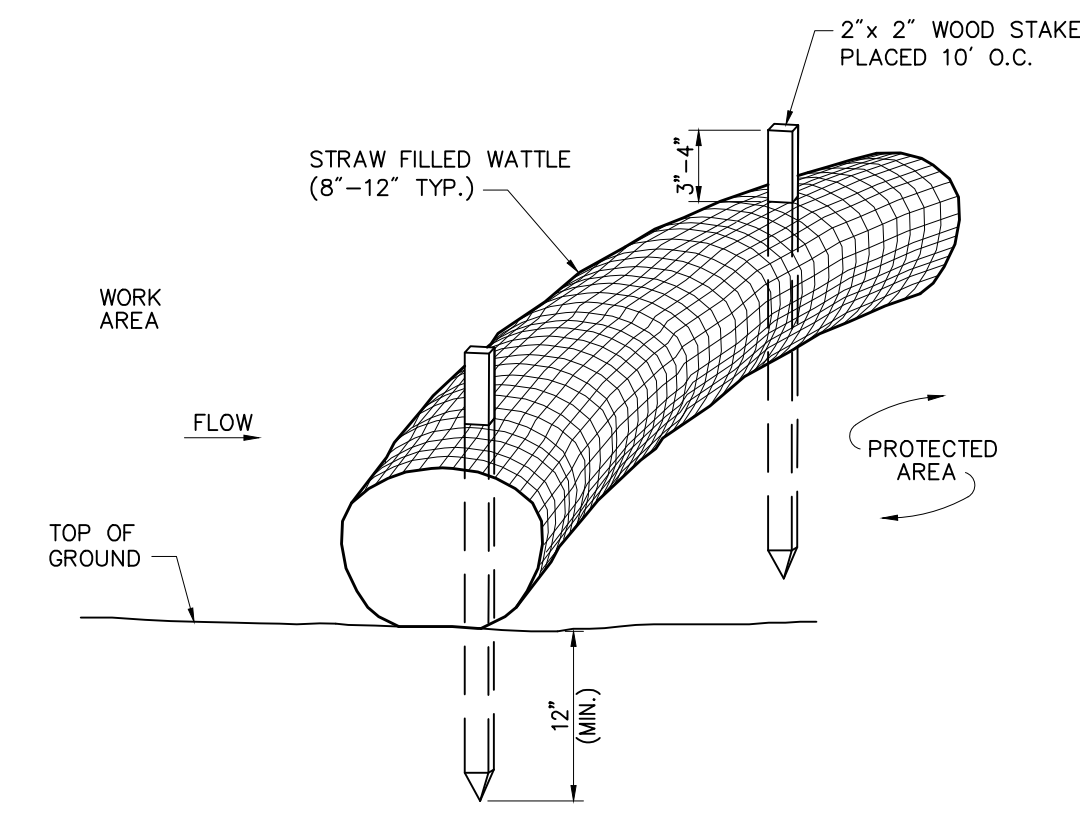
- Notes:**
- ECC REFERS TO EXTRUDED CONCRETE CURB WHICH IS CAST-IN-PLACE IN THE FIELD.
 - WHEN ECC IS USED, CONTRACTOR IS TO DETERMINE THE EXTENDED LAYOUT DIMENSIONS OF THE BASE COURSE IN ORDER TO ACCOMMODATE PLACEMENT OF THE ECC.

Extruded Concrete Curb (ECC) 12/11
N.T.S. Source: VHB LD_408



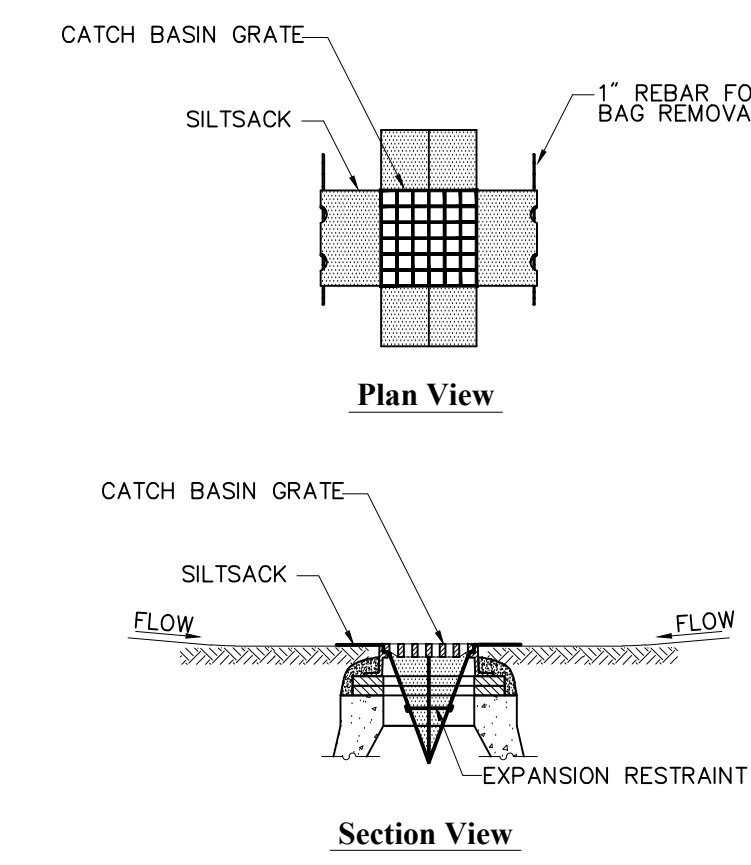
- Notes:**
- CONSTRUCT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - INVERT SLOPE SHALL BE SET TO SLOPE AT 1% AWAY FROM ROADWAY

Sidewalk Curb Inlet 3/11
N.T.S. Source: VHB LD_192



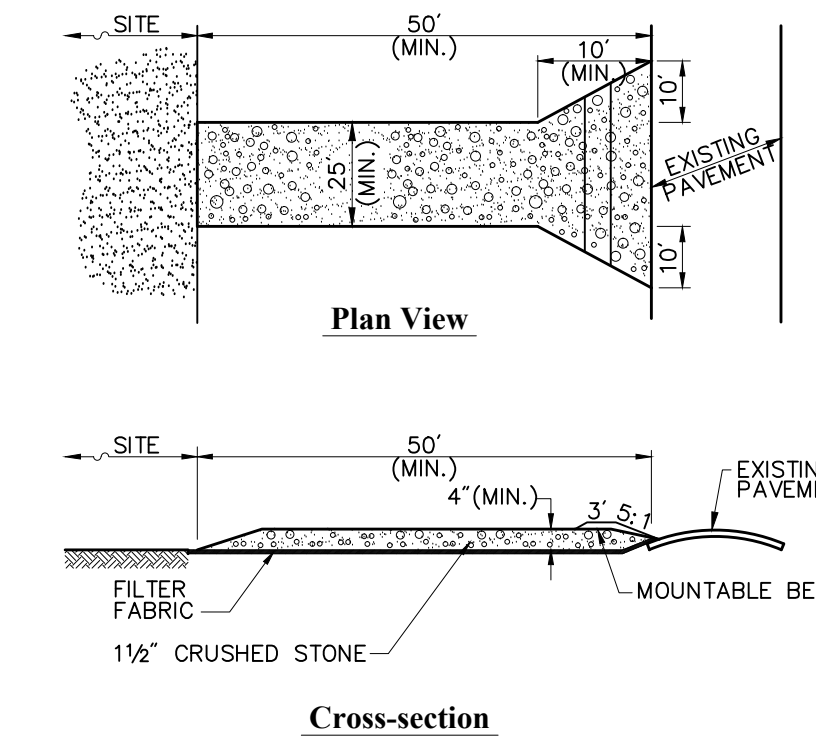
- Notes:**
- STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
 - STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
 - STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 - TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
 - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Straw Wattle - Erosion Control Barrier 8/12
N.T.S. Source: VHB LD_659



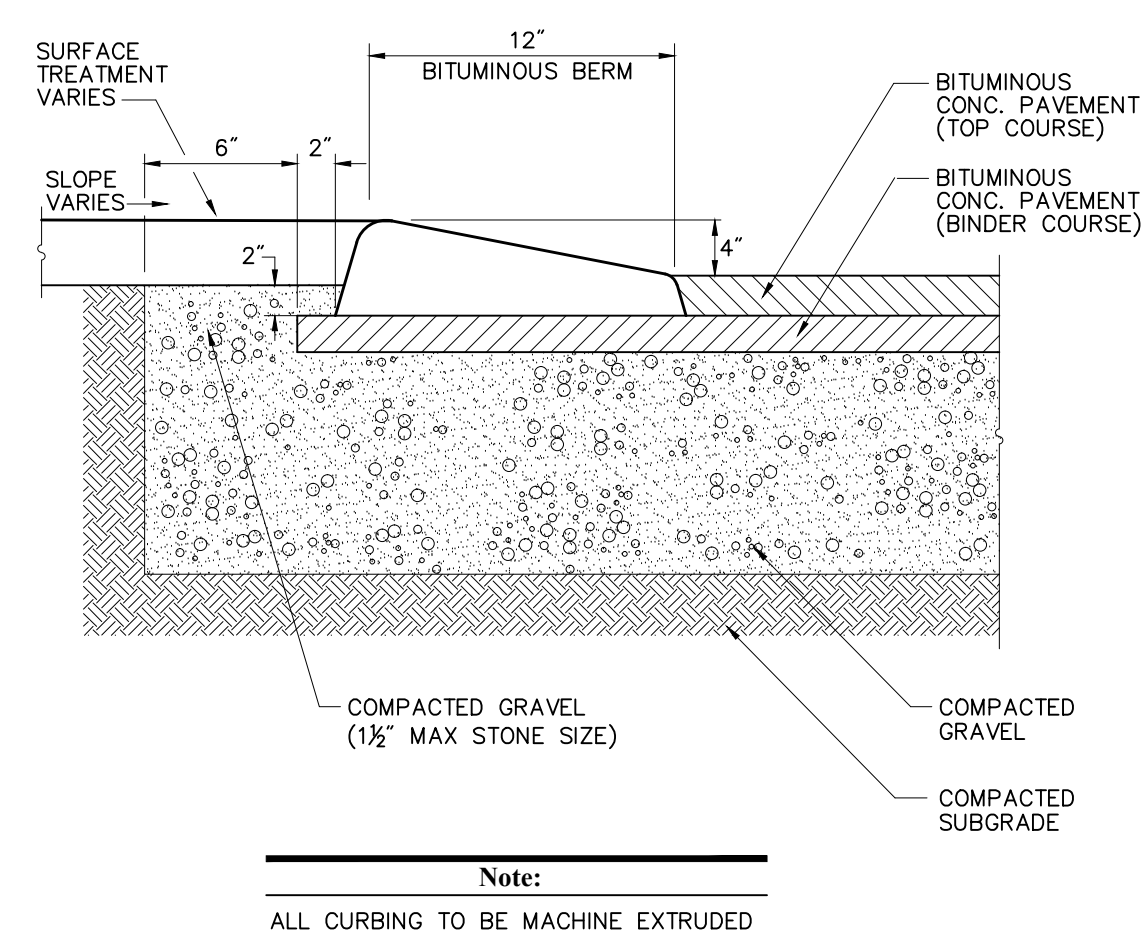
- Notes:**
- INSTALL SILTSACK IN ALL EXISTING AND PROPOSED CATCH BASINS BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND SILT FENCE HAS BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILTSACK.
 - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsack Sediment Trap 6/08
N.T.S. Source: VHB LD_674



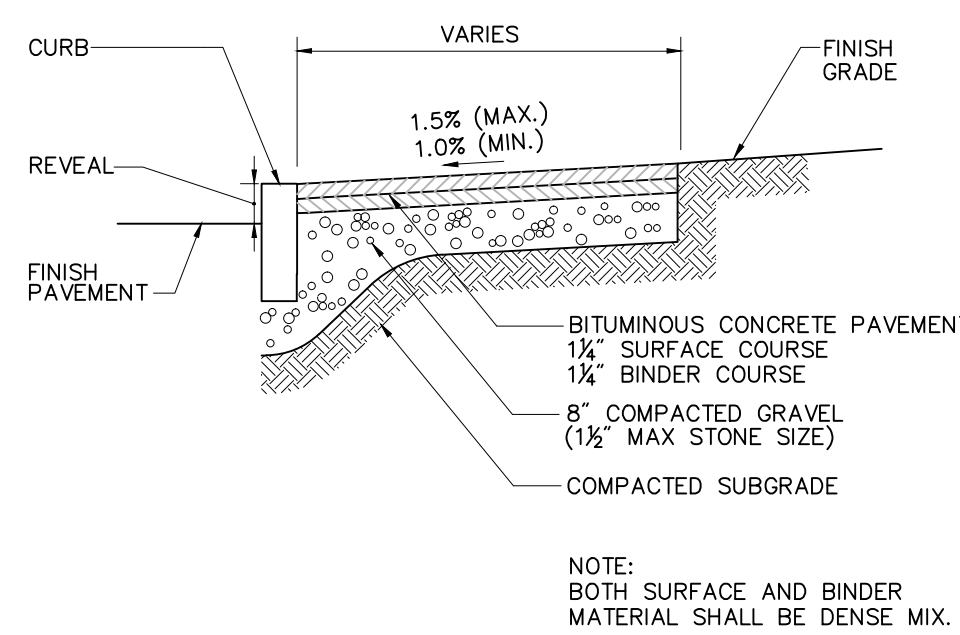
- Notes:**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 6/08
N.T.S. Source: VHB LD_682



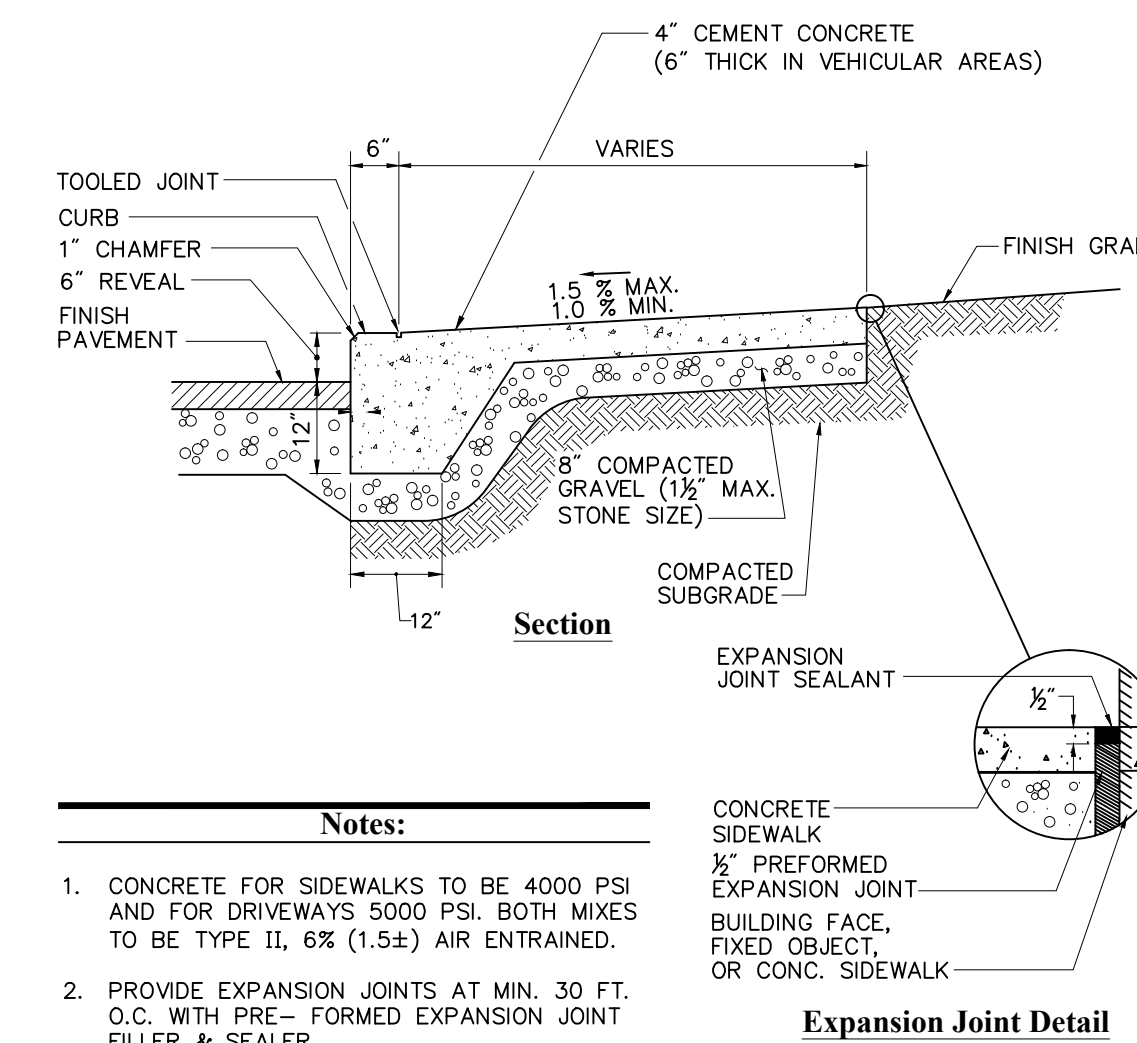
Note:
ALL CURBING TO BE MACHINE EXTRUDED

Bituminous Berm (BB) 6/08
N.T.S. Source: VHB LD_407



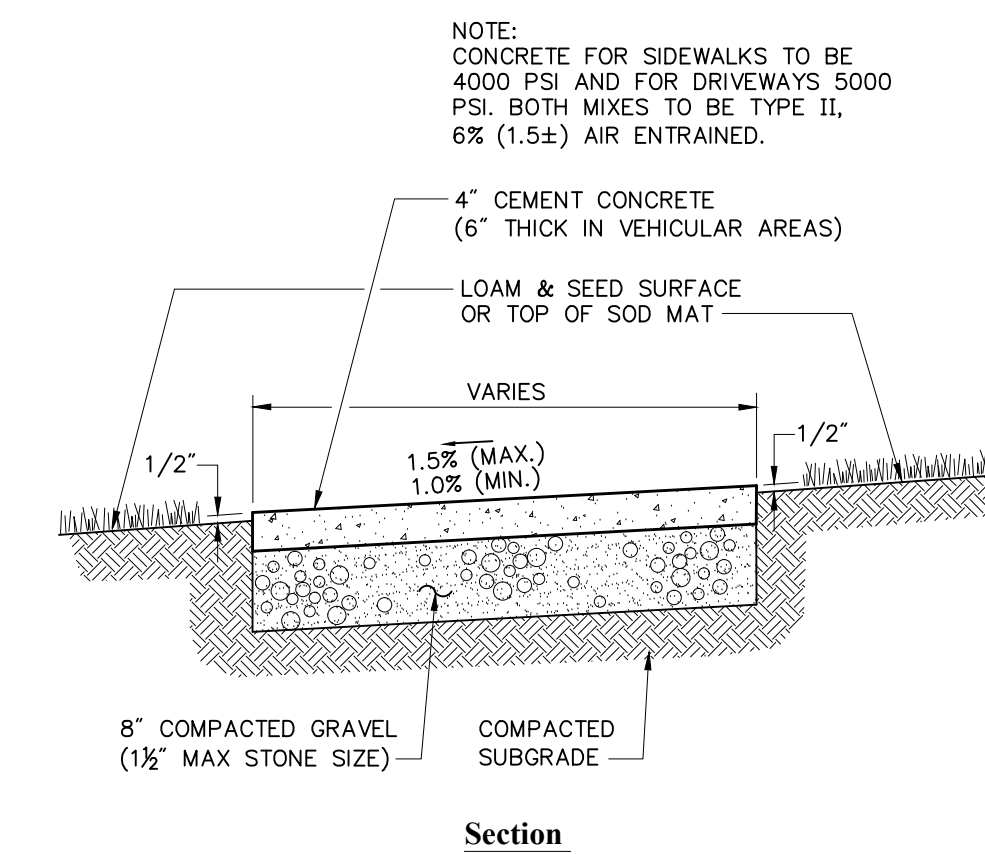
Note:
BOTH SURFACE AND BINDER MATERIAL SHALL BE DENSE MIX.

Bituminous Concrete Sidewalk 8/11
N.T.S. Source: VHB LD_422



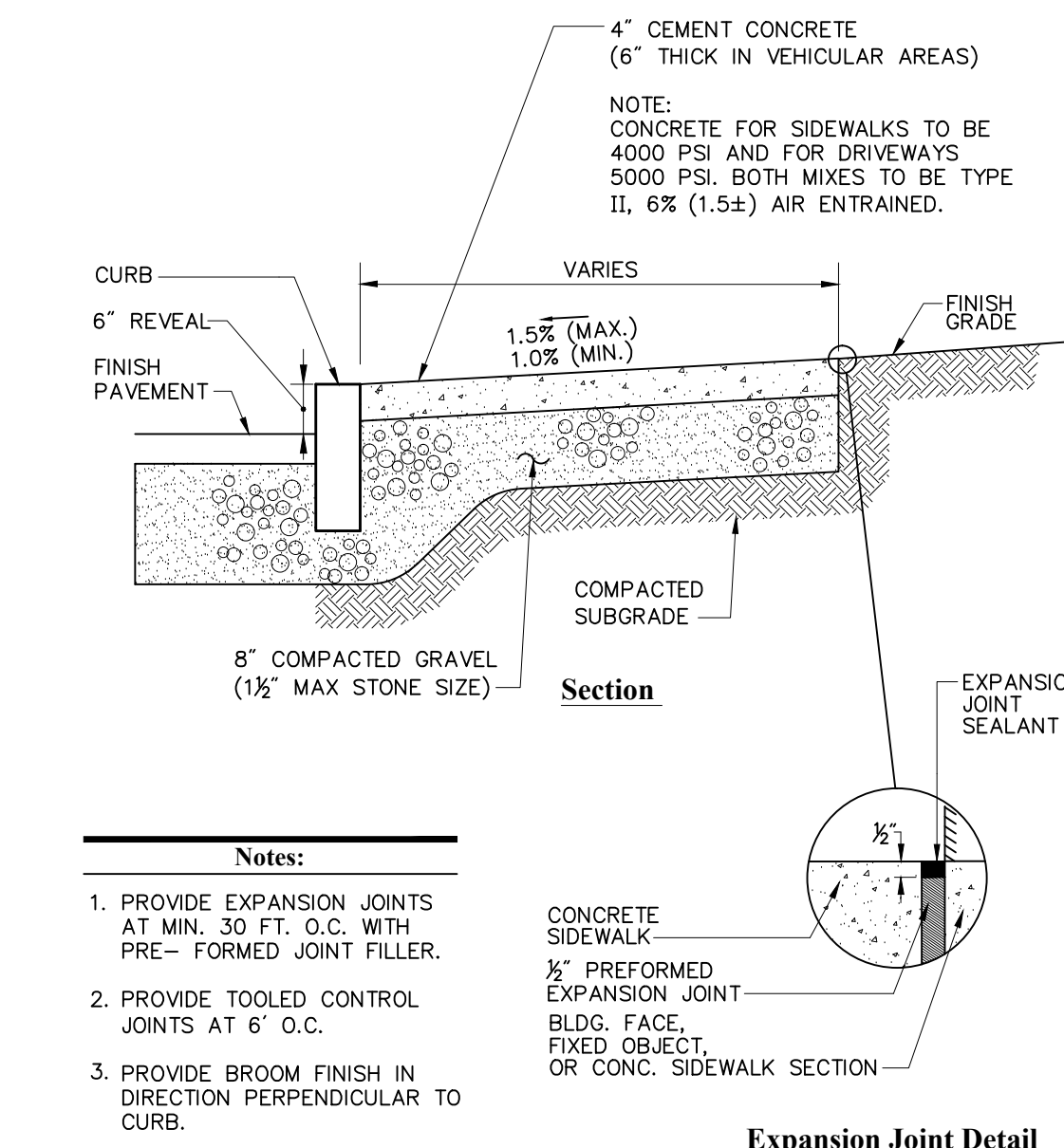
- Notes:**
- CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5%) AIR ENTRAINED.
 - PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER & SEALER.
 - PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

Monolithic Concrete Curb (MCC) & Sidewalk 12/11
N.T.S. Source: VHB LD_421



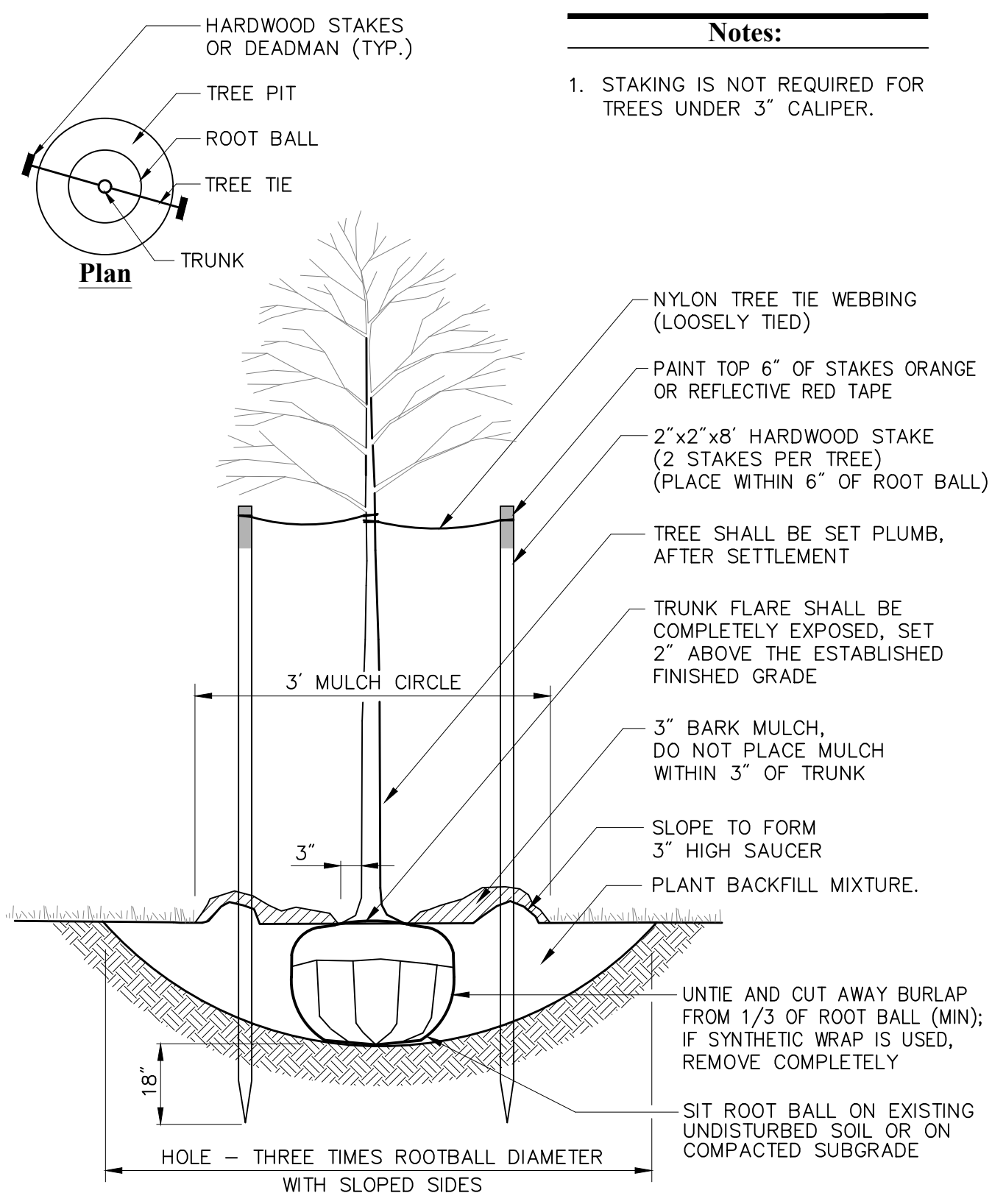
- Notes:**
- PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 - PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO SIDEWALK DIRECTION.

Concrete Sidewalk in Landscape Area 11/12
N.T.S. Source: VHB LD_426

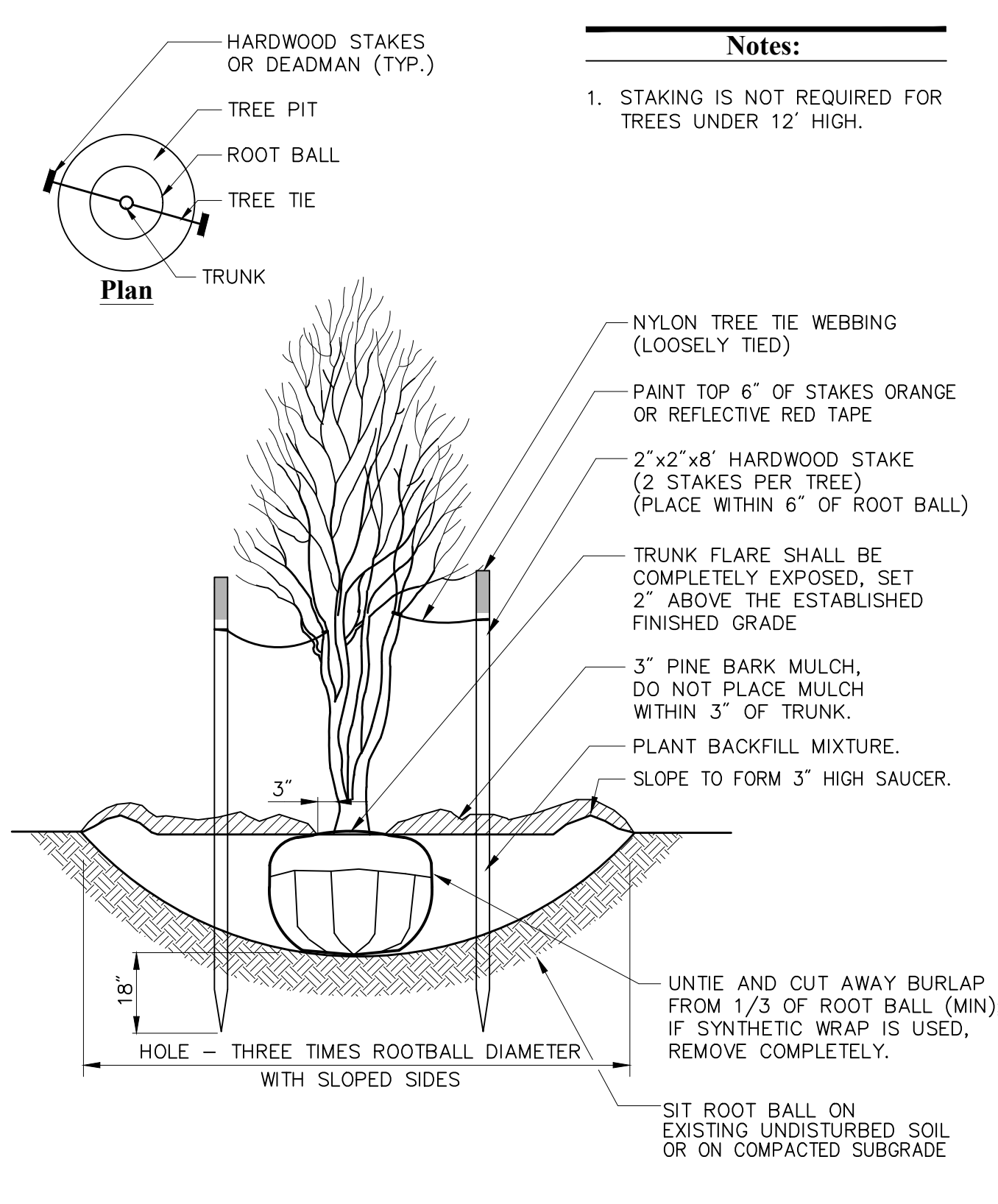


- Notes:**
- PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 - PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

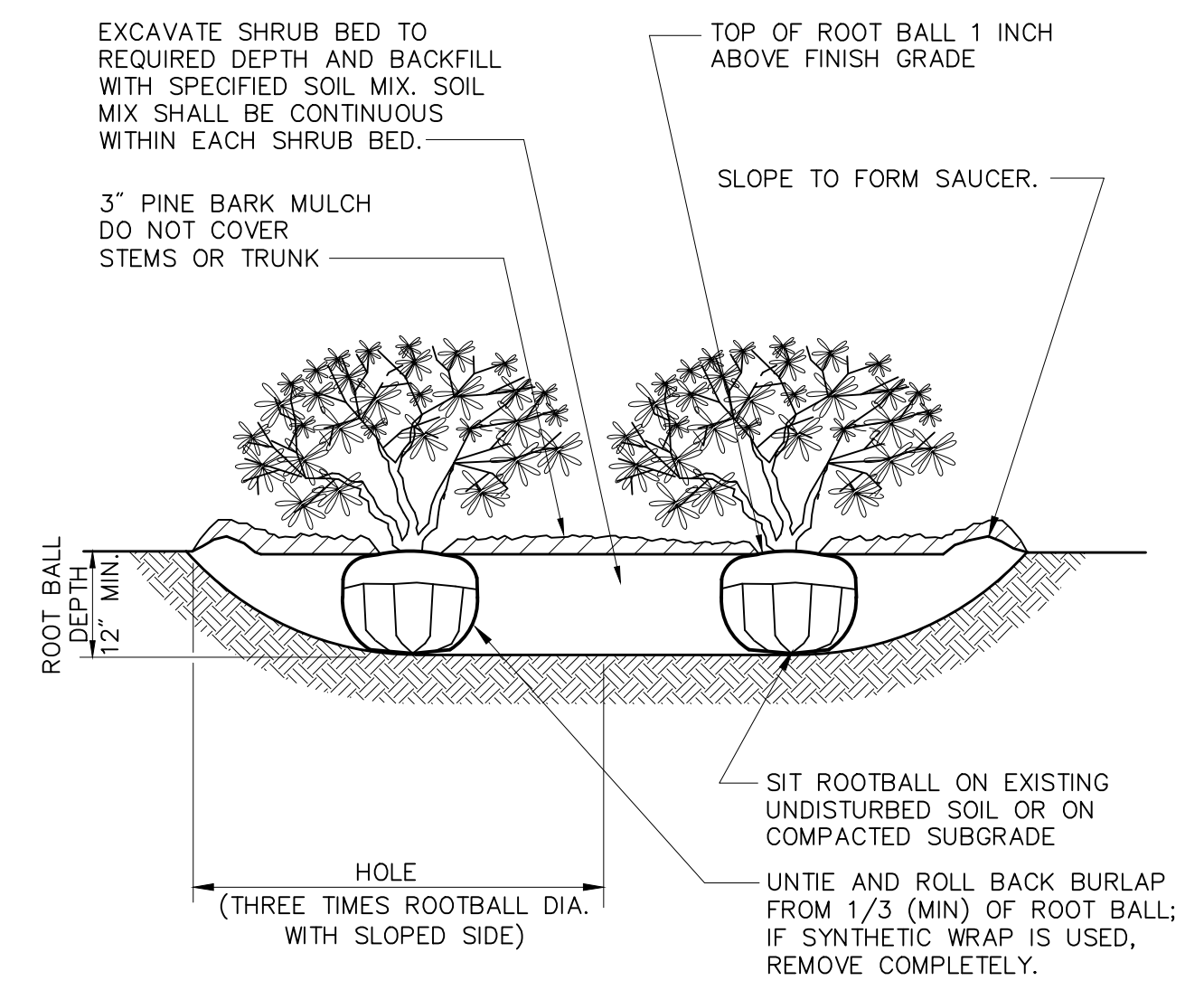
Concrete Sidewalk 4/11
N.T.S. Source: VHB LD_420



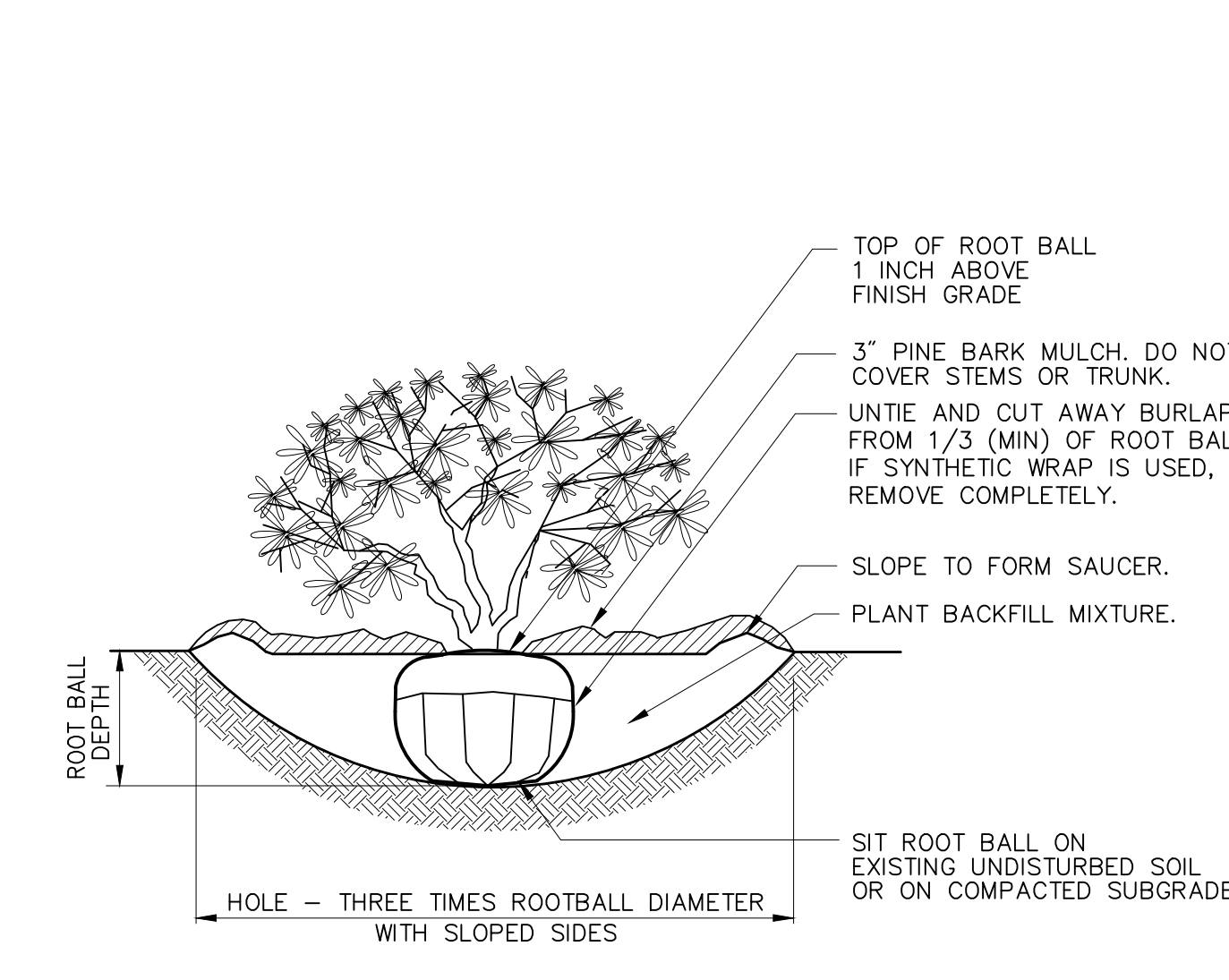
Tree Planting (For Trees Under 4" Caliper) 6/15
N.T.S. Source: VHB LD_602



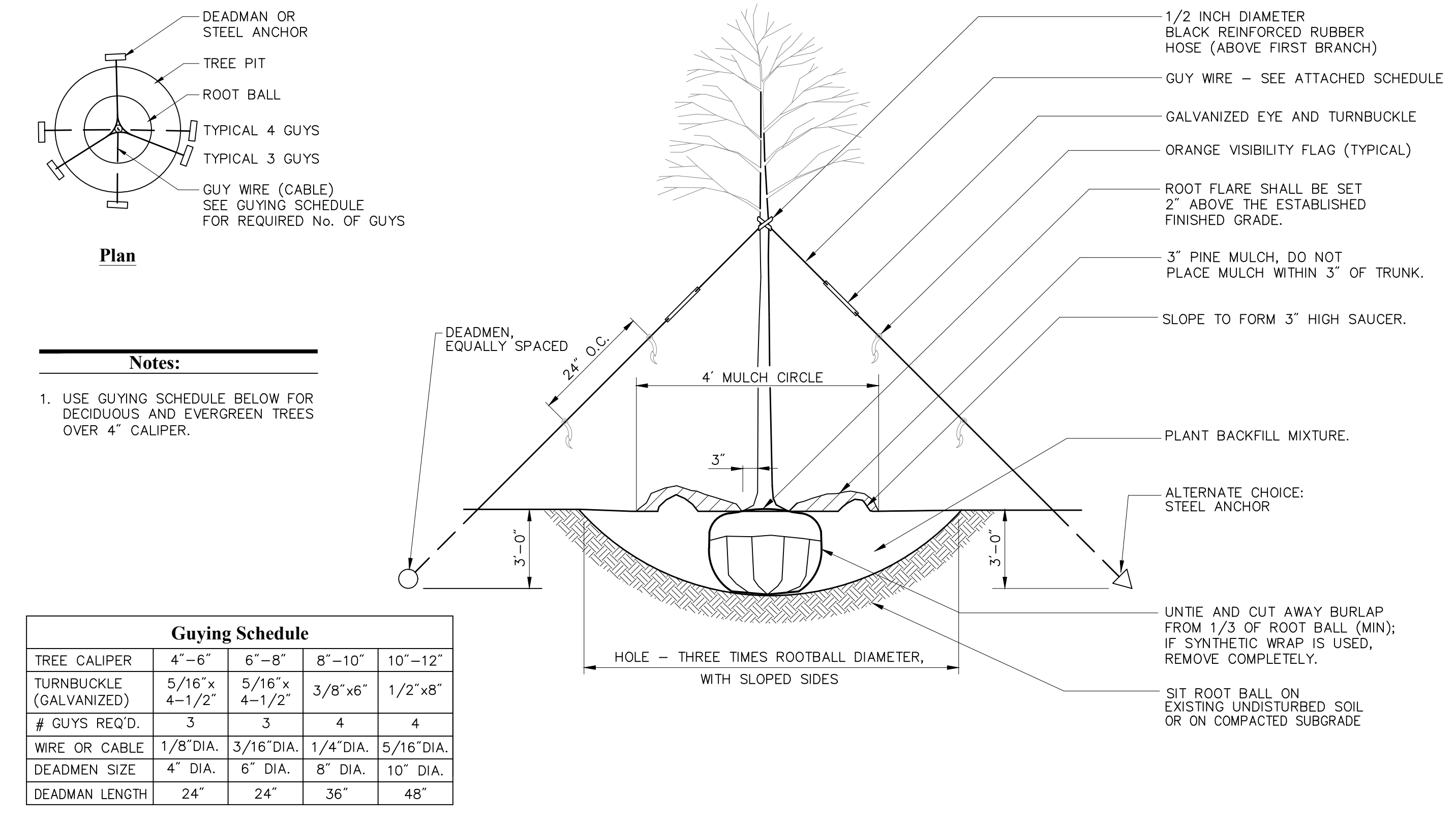
Multistem Tree Planting 6/15
N.T.S. Source: VHB LD_606



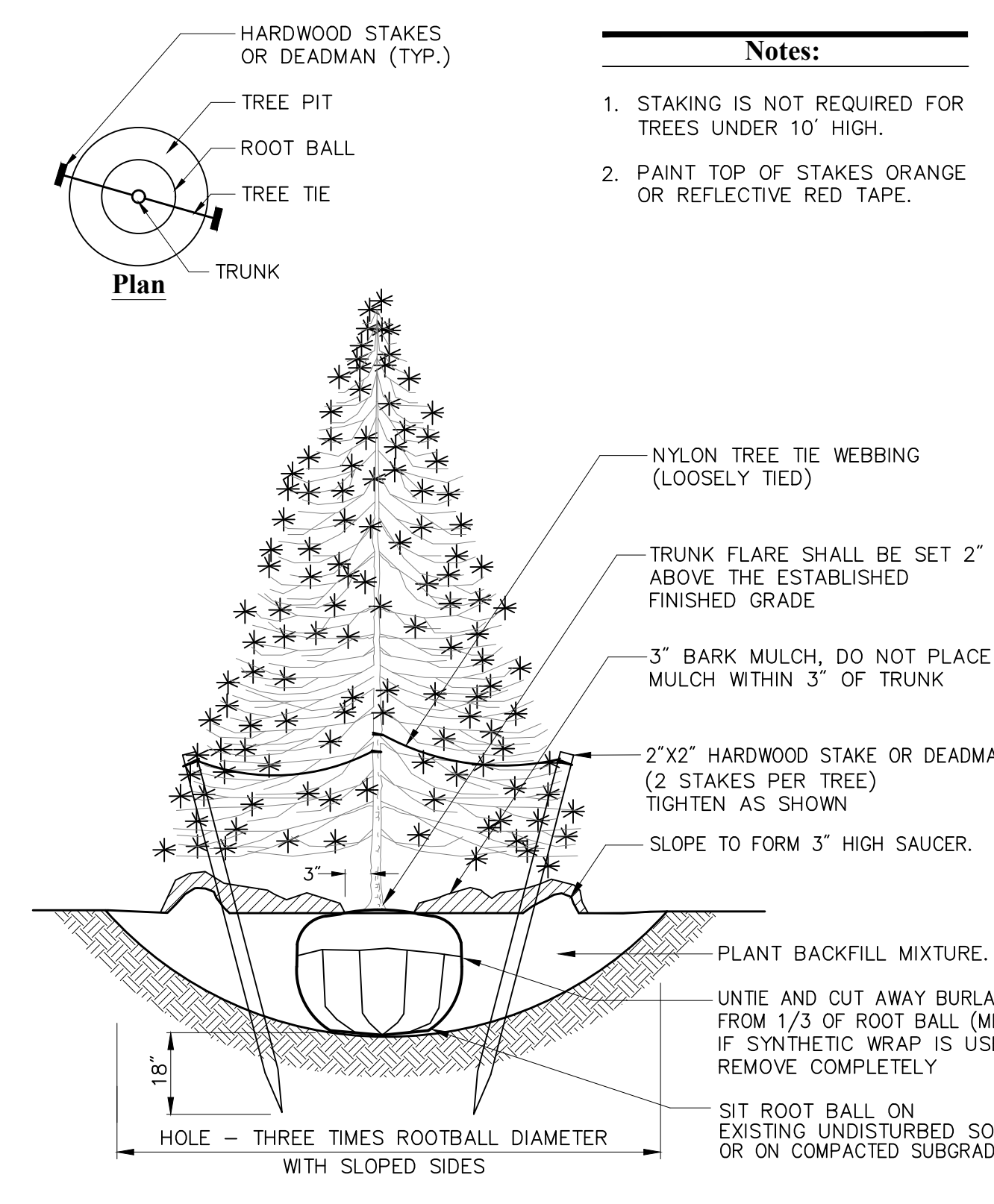
Shrub Bed Planting 6/08
N.T.S. Source: VHB LD_601



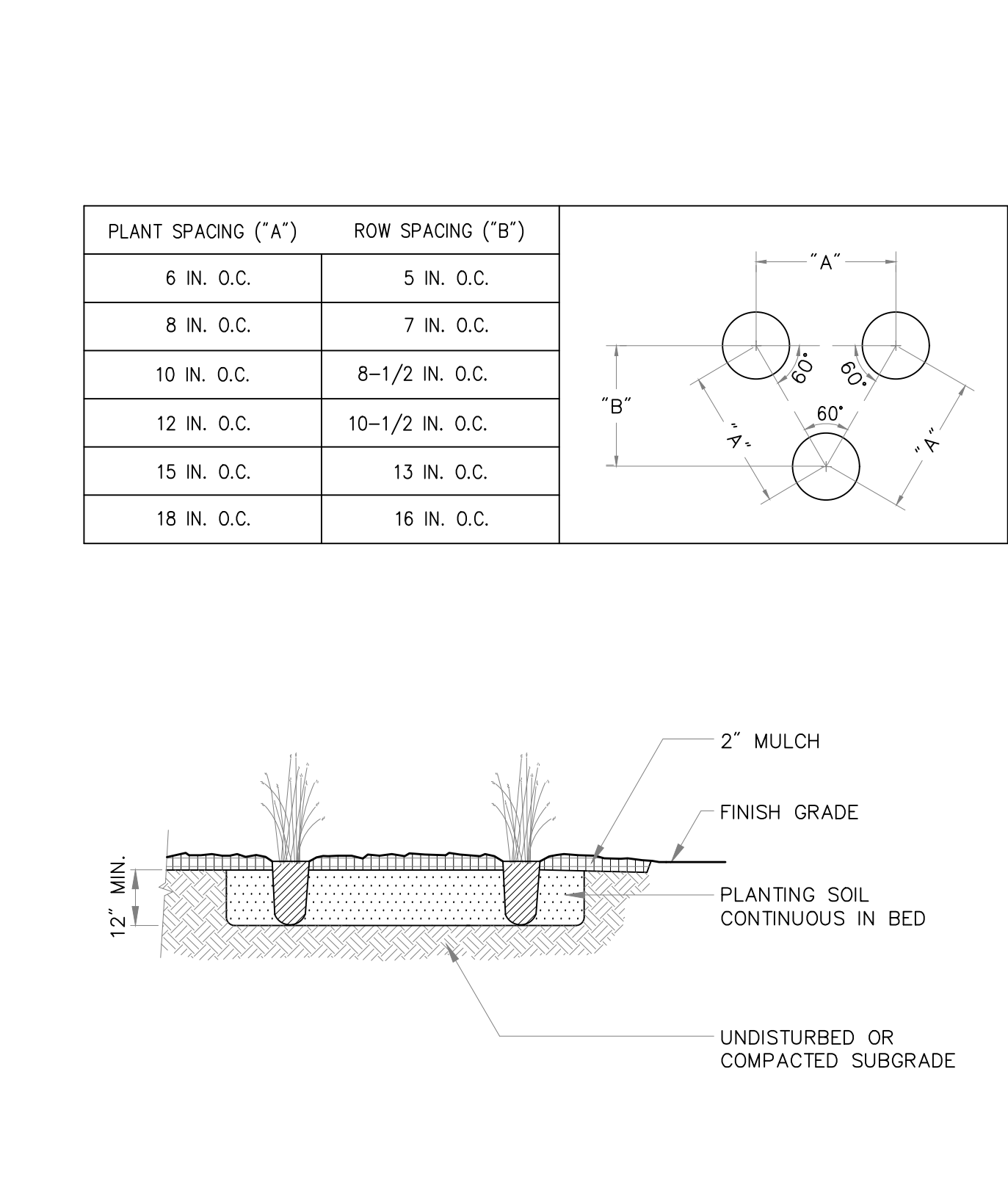
Shrub Planting 6/08
N.T.S. Source: VHB LD_600



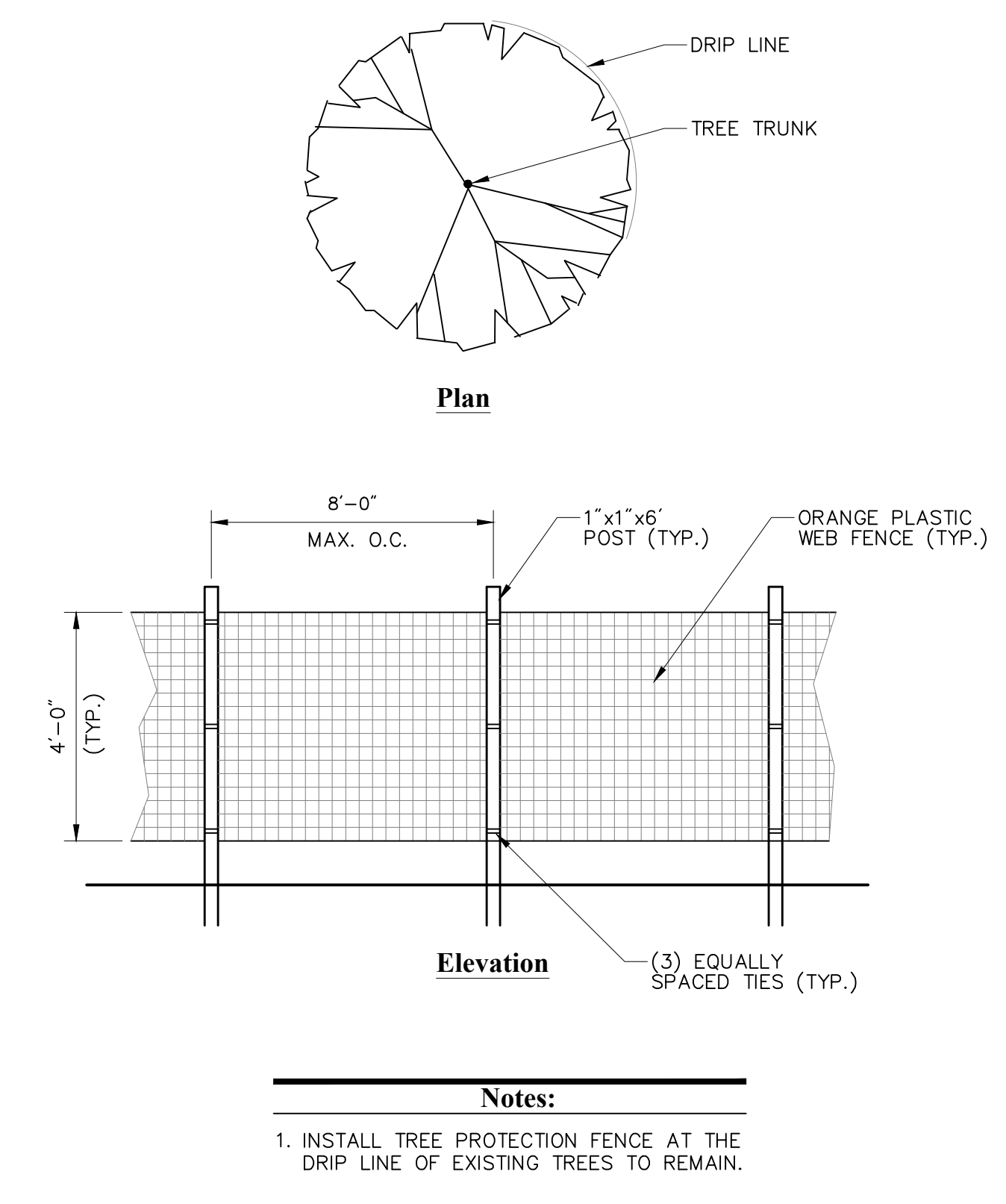
Tree Planting (For Trees Over 4" Caliper) 1/10
N.T.S. Source: VHB LD_603



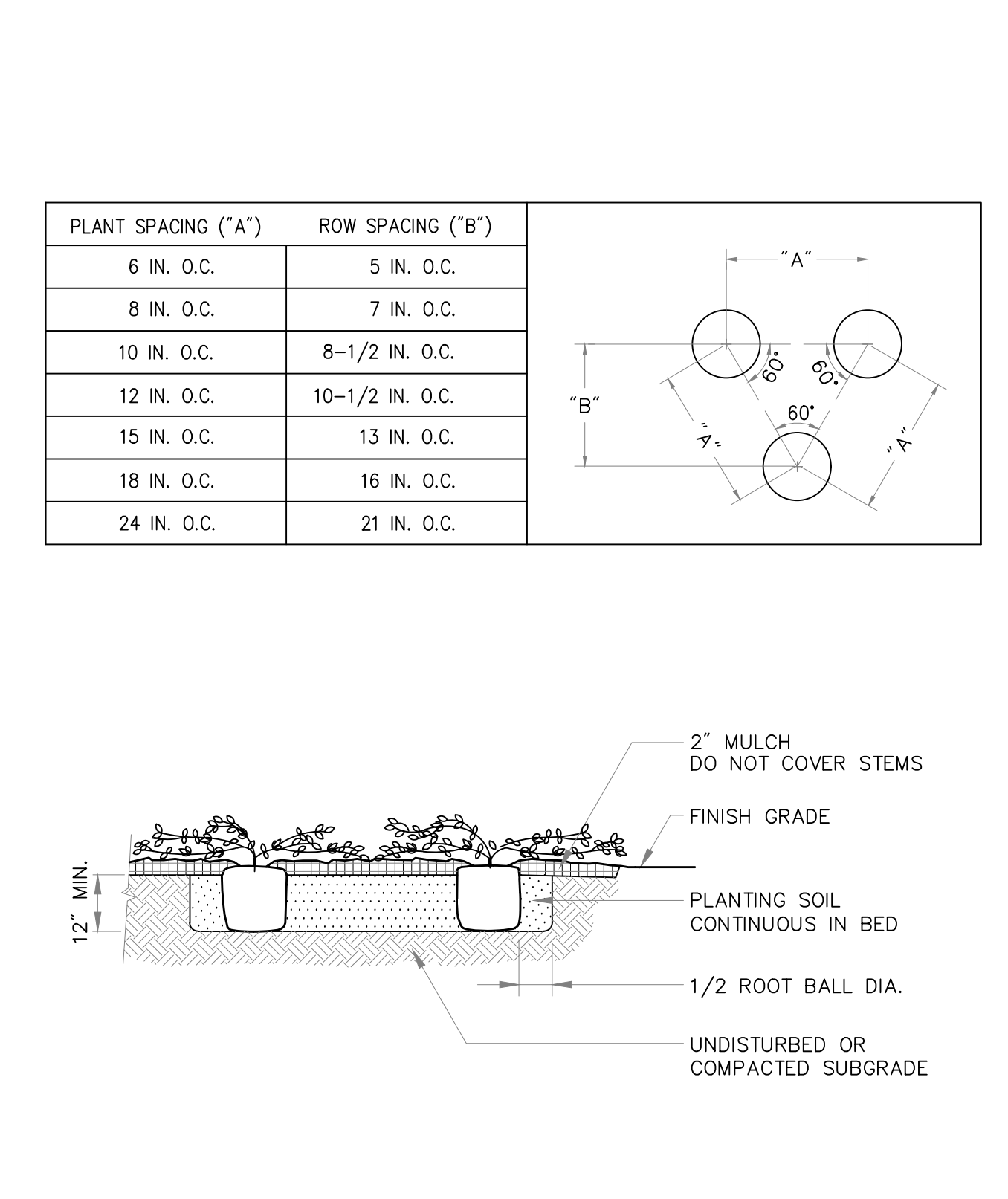
Evergreen Tree Planting 6/15
N.T.S. Source: VHB LD_604



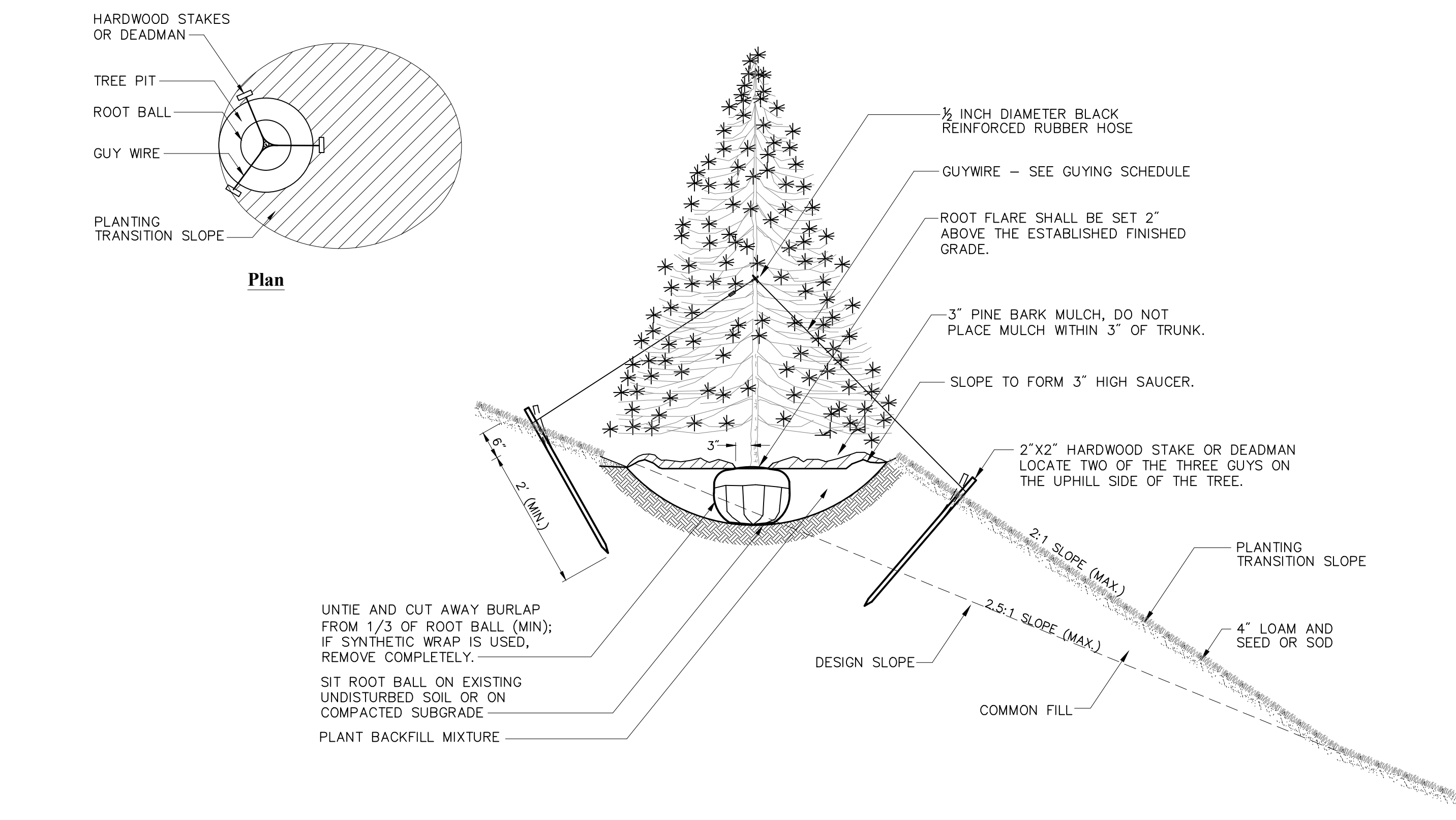
Perennial Plug Planting 11/09
N.T.S. Source: VHB LD_618



Tree Protection Fence 7/13
N.T.S. Source: VHB LD_610



Ground Cover Planting 6/15
N.T.S. Source: VHB LD_615



Tree Planting on Slope 1/12
N.T.S. Source: VHB LD_605

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
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Consultant:
vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770
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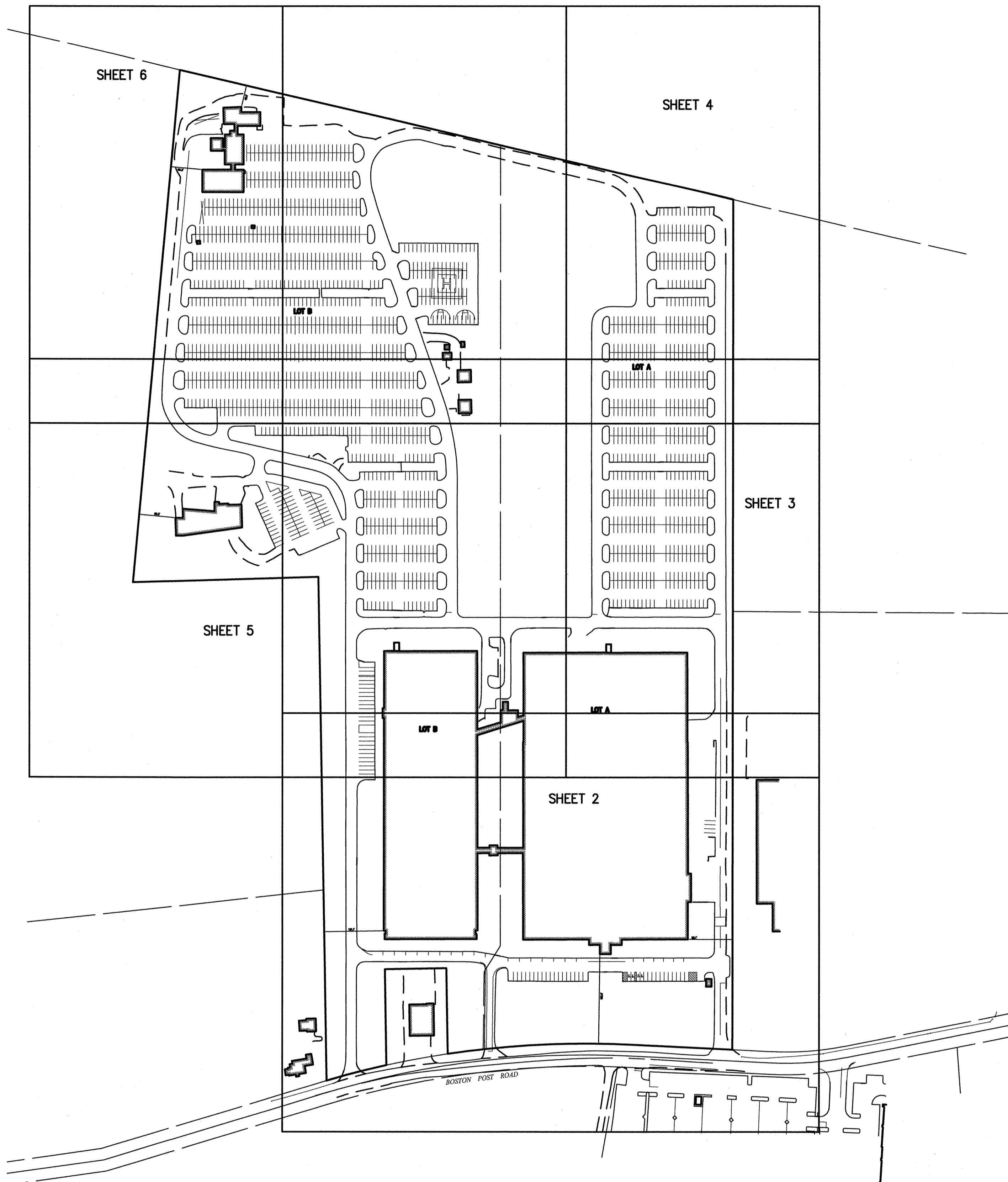
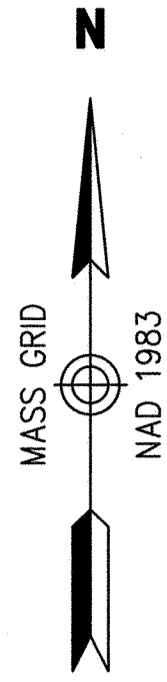
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Checked: RSH / KFS
Scale: 1" = 40'
Key Plan: N/A

Project Name:
Avalon Sudbury

Sudbury, MA
Sheet Name:
Planting Details

Project Number:
VHB: 13125.00, TAT: 14155
Issue Date:
January 20, 2016
Sheet Number:

\\vhb\proj\13125.00\cad\13125.00_LA.dwg



General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE, 2015 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON APRIL 25, 2015 AND AUGMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN MAY/JUNE, 2015.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0506F, EFFECTIVE DATE JULY 7, 2014.
- 6) THE MAJORITY OF THE LOT LIES WITHIN THE LIMITED INDUSTRIAL DISTRICT (LID) AS SHOWN ON THE "ZONING DISTRICT MAP OF SUDBURY, MASSACHUSETTS", DATED JANUARY 5, 2009. A SMALL PORTION OF THE SOUTHWEST CORNER OF THE SITE (SEE BELTRAN BLDG.) LIES IN THE RESIDENTIAL A-1 DISTRICT (RES A-1). DIMENSIONAL REQUIREMENTS FOR A (LID) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	EXISTING
MINIMUM LOT AREA	100,000 S.F.	2,156,154 S.F.
MINIMUM FRONTAGE	50 FEET	135.80 FEET
MINIMUM FRONT YARD SETBACK	125 FEET	195.9 FEET
MINIMUM SIDE YARD SETBACK	50 FEET	69.3 FEET
MINIMUM REAR YARD SETBACK	50 FEET	48.6 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	33.4 FT. (MAIN BLDG) 44 FT. (BELTRAN BLDG.)

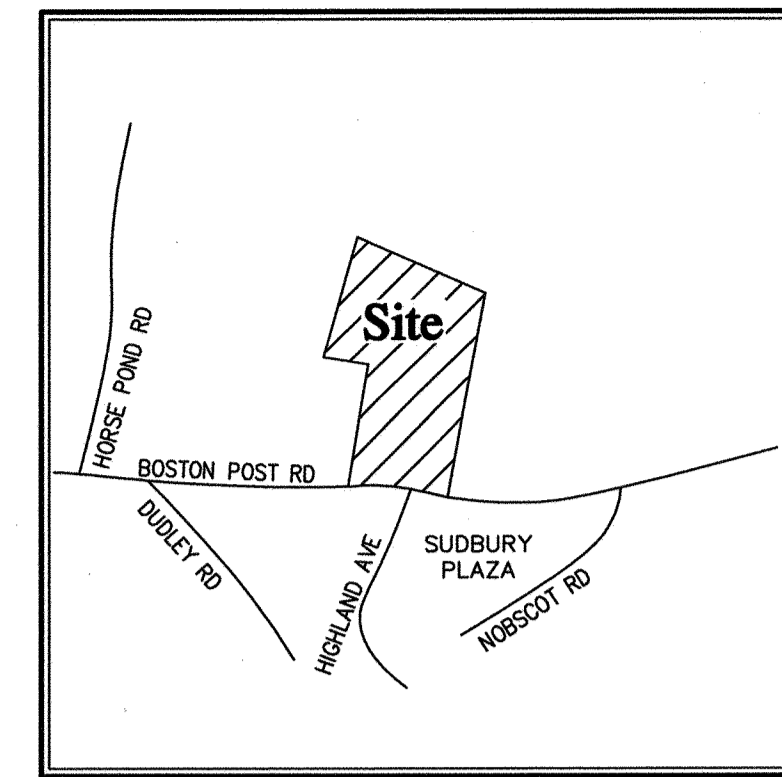
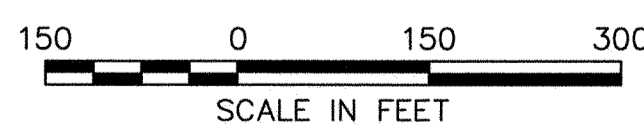
- 7) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 8) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND FIELD SURVEYED BY VHB, INC. IN OCTOBER, 2015.

Record Owner

RAYTHEON COMPANY
528 BOSTON POST ROAD
SUDBURY, MASS.

PARCEL I - LOT A
BOOK 13723, PAGE 417
MAP K7, LOT 11

PARCEL II - LOT B
BOOK 51383, PAGE 258
MAP K7, LOT 13



Locus Map
(NOT TO SCALE)

Legend

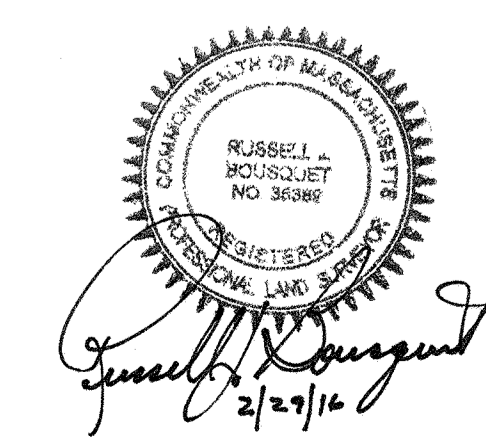
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- ⊞ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- MANHOLE
- HH □ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E.=45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- OC EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GR GUARD RAIL
- CLF CHAIN LINK FENCE
- DL DRAINAGE LINE
- SL SEWER LINE
- HW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- SW STONE WALL
- TL TREE LINE
- 100' 100-FT BUFFER ZONE
- 1:100 LIMIT OF BANK
- WT-100 VEGETATED WETLAND BOUNDARY

#526-528

**Boston Post Road
Sudbury, Massachusetts**

No.	Revision	Date	App'd.
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB
Designed by		Checked by	
Issued for		Date	
		January 6, 2016	

**Existing Conditions
Plan of Land**



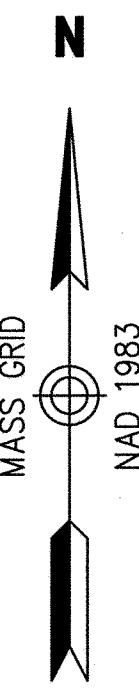
Sv-1

Sheet 1 of 6

Project Number
13125.00

MAP K6, LOT 600
BOOK 30097, PAGE 114

BENCHMARK
LIGHT POLE BASE
CHISEL SQUARE SET
ELEV.=158.79'



N/F
THE STONE FAMILY
IRREVOCABLE TRUST
MAP K6, LOT 600
BOOK 30097, PAGE 114

N/F
ANN STONE
MAP K6, LOT 602
BOOK 50662, PAGE 74

BENCHMARK
FIRE HYDRANT
B.O.M.O.
ELEV.=162.08'

R=2047.55'
L=135.80'
Δ=3'48"00"

BENCHMARK
FIRE HYDRANT
BONNET NUT
ELEV.=163.14'

N/F
DOROTHY M. BARTLETT
MAP K7, LOT 0002
BOOK 18121, PAGE 380

N/F
PAUL & KRISTEN BISSON
MAP K7, LOT 0003
BOOK 24728, PAGE 151

N/F
SAEID BORGHANI
MAP K7, LOT 102
BOOK 41338, PAGE 412

N/F
SEAN & KELLY CURRAN
MAP K7, LOT 103
BOOK 39001, PAGE 23

N/F
WELLYN, INC.
MAP K7, LOT 0005
BOOK 1409, PAGE 92

MATCH LINE SEE SHEET 3

FOOTPRINT AREA=230,200± S.F.

FOOTPRINT AREA=130,400± S.F.

BUILDING #3
2 STORY CONC.

BUILDING #1
1 STORY BRICK

BUILDING #2
1 STORY BRICK

#528 BOSTON POST ROAD
1 STORY BRICK
F.F.E.=155.95'

#526 BOSTON POST ROAD

BLDG. HT.=19.5'

2 STORY
BLDG. HT.=31'

BUILDING
HEIGHT=16.4'

N/F
TOWN OF SUDBURY
MAP K7, LOT 12

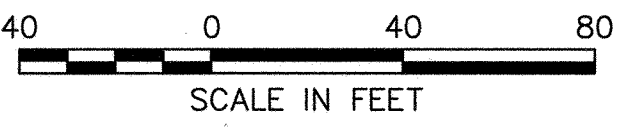
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PARIS TRUST LLC
MAP K7, LOT 18
BOOK 44473,
PAGE 394

BENCHMARK
FIRE HYDRANT
B.O.M.O.
ELEV.=148.60'

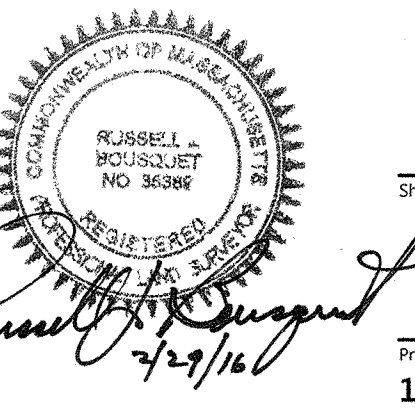
#526-528
Boston Post Road
Sudbury, Massachusetts

No.	Revision	Date	Apprd.
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB

Designed by: _____
Checked by: _____
Issued for: _____
Date: _____
January 6, 2016



Existing Conditions
Plan of Land



Sv-2

Sheet 2 of 6

Project Number
13125.00

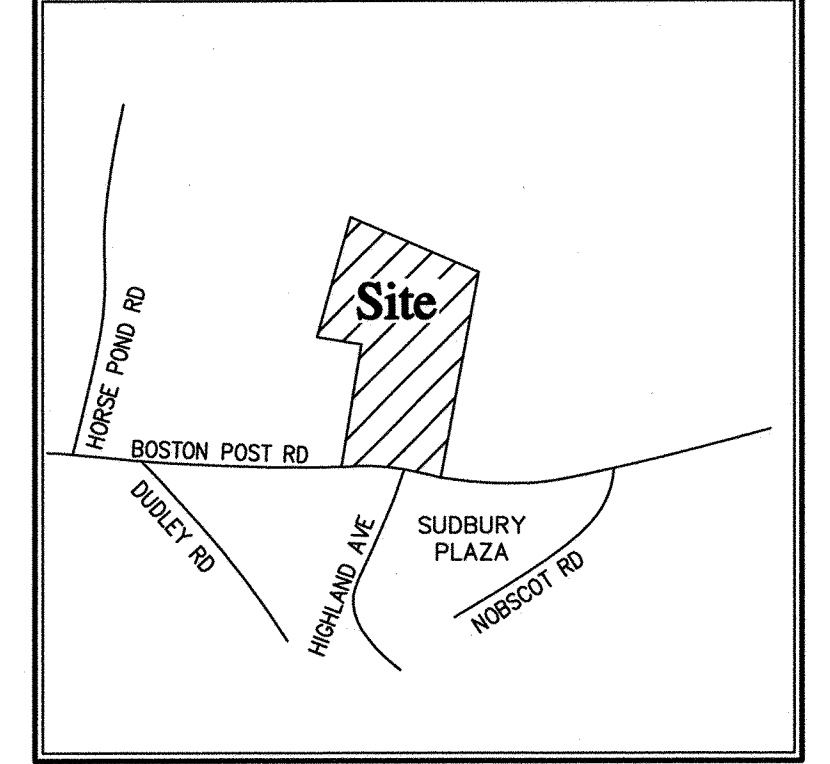


101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊕ DRAIN MANHOLE
- ⊕ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ MANHOLE
- ⊕ HAND HOLE
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊕ GAS GATE
- ⊕ BOLLARD w/LIGHT
- ⊕ STREET SIGN
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ MONITORING WELL
- ⊕ FLOOD LIGHT
- ⊕ WELL
- ⊕ MARSH
- ⊕ F.F.E.=45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONCRETE CURB
- SLOPED GRANITE CURB
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100' BZ 100-FOOT BUFFER ZONE
- 100' BZ LIMIT OF BANK
- WT-100 VEGETATED WETLAND BOUNDARY

Locus Map
(NOT TO SCALE)



WETLAND 12

WETLAND 13

WETLAND 14

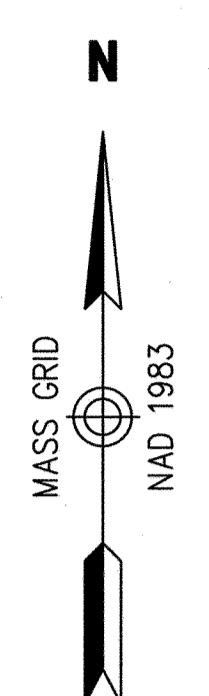
TIGHLAND AVENUE
(PRIVATE WAY)



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
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- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
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- ⊙ NPV NO PIPES VISIBLE
- ⊙ DYL DOUBLE YELLOW LINE
- ⊙ DWL DASHED WHITE LINE
- ⊙ SYL SINGLE WHITE LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EDGE OF PAVEMENT
- ⊙ CONCRETE CURB
- ⊙ VERTICAL GRANITE CURB
- ⊙ SLOPED GRANITE CURB
- ⊙ BITUMINOUS BERM
- ⊙ BITUMINOUS CURB
- ⊙ GUARD RAIL
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100'-FT BUFFER ZONE
- ⊙ LIMIT OF BANK
- ⊙ VEGETATED WETLAND BOUNDARY



MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 4

WETLAND 1
WETLAND 3
WETLAND 4
WETLAND 6
WETLAND 9
WETLAND 10
WETLAND 11

PARCEL
AREA = 2,156,154 SQ. FT.
(49.498 ACRES)

N/F
EB REALTY LLC
MAP K7, LOT 17
BOOK 52138, PAGE 522

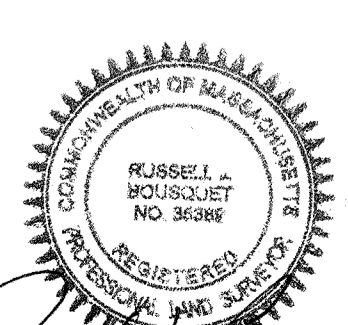
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PARIS TRUST LLC
MAP K7, LOT 18
BOOK 44473, PAGE 394

#526-528
Boston Post Road
Sudbury, Massachusetts

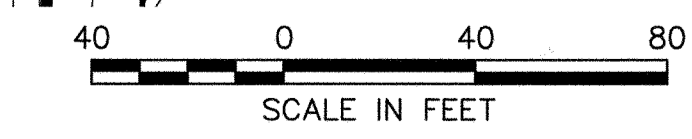
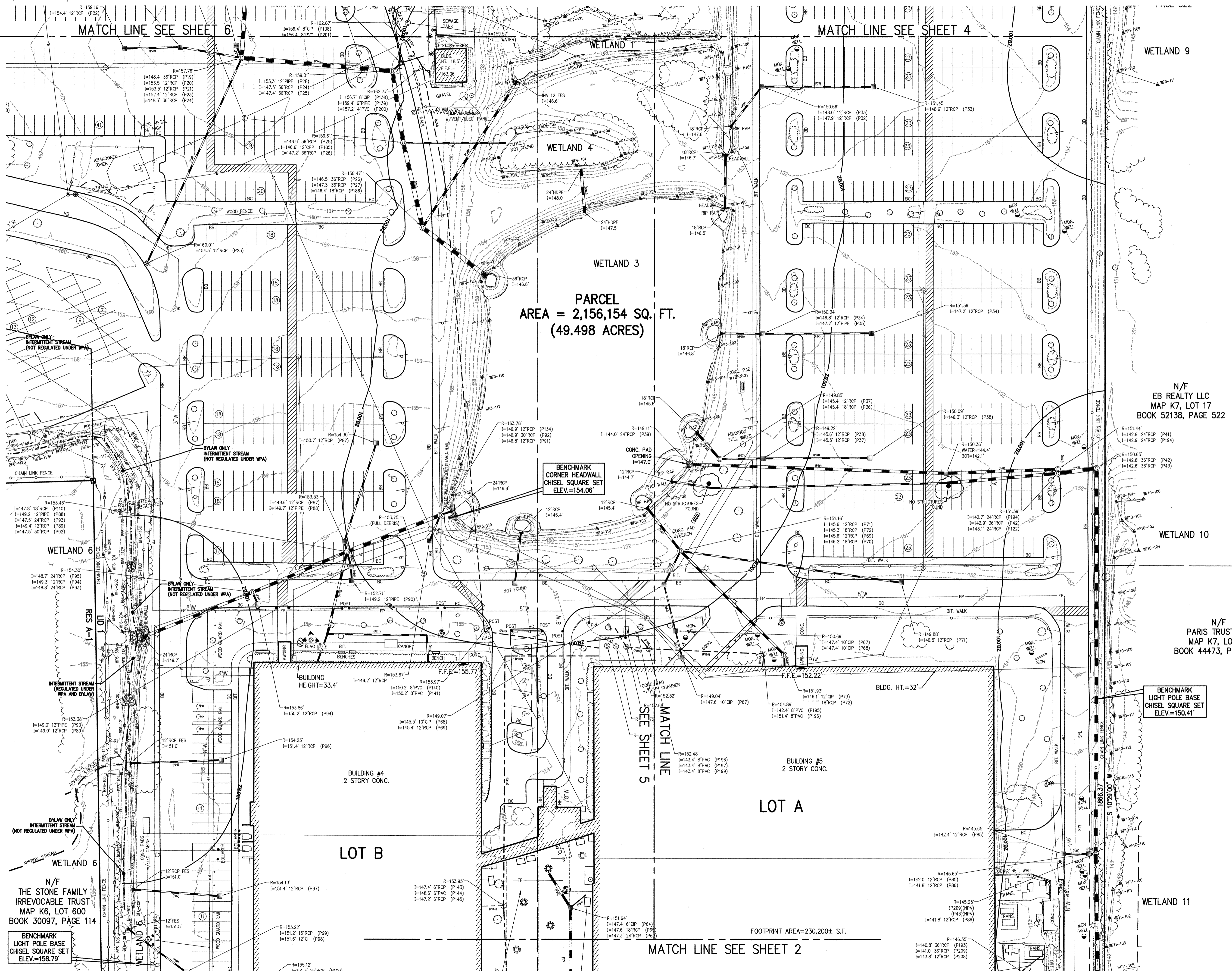
No.	Revision	Date	Apprv.
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Designed by: _____ Checked by: _____
Issued for: _____ Date: _____
January 6, 2016

Existing Conditions
Plan of Land



Sv-3



MATCH LINE SEE SHEET 2

MATCH LINE SEE SHEET 5

LOT A

LOT B

BUILDING #5
2 STORY CONC.

BUILDING #4
2 STORY CONC.

BLDG. HT.=32'

BUILDING HEIGHT=33.4'

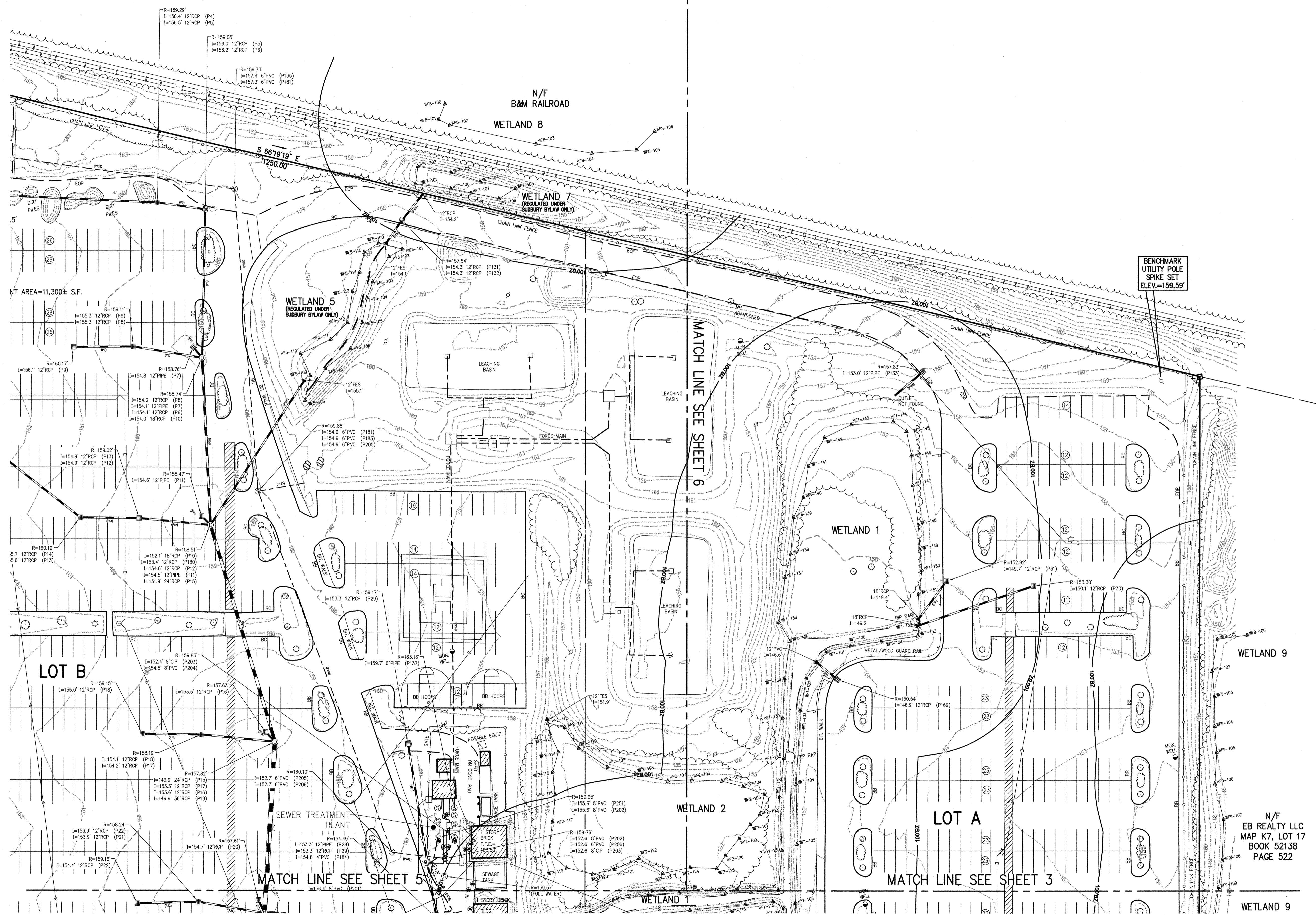
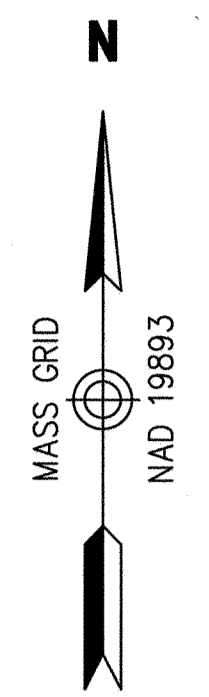
FOOTPRINT AREA=230,200± S.F.

N/F
THE STONE FAMILY
IRREVOCABLE TRUST
MAP K6, LOT 600
BOOK 30097, PAGE 114

BENCHMARK
LIGHT POLE BASE
CHISEL SQUARE SET
ELEV.=158.79'



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Legend

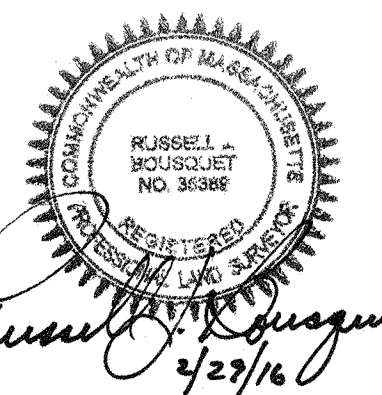
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- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
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- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E.=45.27' FINISHED FLOOR ELEVATION
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- WATER LINE
- TREE LINE
- 100' BUFFER ZONE
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

#526-528
Boston Post Road
Sudbury, Massachusetts

No.	Revision	Date	App'd.
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB

Prepared by: _____ Checked by: _____
 Drawn by: _____ Date: January 6, 2016

Existing Conditions
Plan of Land



Sv-4

Sheet 4 of 6

Project Number: 13125.00

