

# GROCERY STORE AT MEADOW WALK SUDBURY

Town of Sudbury Design Review Board Applications

for

Exterior Building Changes, and Sign Approvals

For properties located at  
526 and 528 BOSTON POST ROAD  
SUDBURY, MASSACHUSETTS

Applicant:

**BPR Development LLC**  
**c/o National Development**  
Attn: John J. O'Neil, III, Managing Partner  
2310 Washington Street  
Newton Lower Falls, Massachusetts  
617-257-9800



<u>Civil Engineer, Landscape Architect, Surveyor, Traffic Engineer and Wetlands Scientist:</u>  <b>VHB</b> c/o Karen F. Staffier, PE - Project Manager 101 Walnut Street Watertown, MA 02472 617-607-0088 <a href="mailto:karenstaffier@vhb.com">karenstaffier@vhb.com</a>	<u>Counsel:</u>  <b>Goulston &amp; Storrs</b> c/o Peter L. Tamm - Director 400 Atlantic Avenue Boston, Massachusetts 02110-3333 617-482-1776 <a href="mailto:ptamm@goulstonstorrs.com">ptamm@goulstonstorrs.com</a>
<u>Project Architect and MEP-FP Engineer:</u>  <b>JACOBS</b> c/o Ben J. Anderson - Sr. Project Manager One Broadway, 10th Floor Cambridge, MA 02142 617-250-4850 <a href="mailto:ben.anderson@jacobs.com">ben.anderson@jacobs.com</a>	<u>Project Geotechnical Engineer:</u>  <b>Sanborn Head &amp; Associates</b> c/o Kevin P. Stetson, P.E.- Vice President Technology Park Drive Westford, MA 01886 978-392-0900 <a href="mailto:kstetson@sanbornhead.com">kstetson@sanbornhead.com</a>

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## LETTER OF TRANSMITTAL

FROM: **National Development**  
c/o Steve Senna  
2310 Washington Street  
Newton, MA 02462  
(617) 527-9800  
ssenna@natdev.com

VIA: *BY HAND*

DATED: 11/12/15 JOB NO.                     

RE: Grocery Store at Meadow Walk Sudbury  
526 and 528 Boston Post Road  
Sudbury, MA  
*DESIGN REVIEW BOARD APPLICATIONS*  
*Exterior Building Changes, and*  
*Sign Approval*

TO: Town of Sudbury Design Review Board

ADDRESS: 278 Old Sudbury Road

CITY: Sudbury, MA 01776


ATTENTION: Jody Kablack, Director of Planning and Community Development

[illegible]

THESE ARE BEING TRANSMITTED AS INDICATED BELOW:

☐ AS REQUESTED                      ☐ APPROVED AS IS                      ☐ SUBMIT \_\_\_\_ COPIES FOR DISTRIBUTION  
☒ FOR APPROVAL                      ☐ APPROVED WITH CORRECTIONS                      ☐ RETURN \_\_\_\_ CORRECTED \_\_\_\_

COMMENTS:

Signed:  Steve Senna, Vice President



**TOWN OF SUDBURY**  
*Design Review Board*

(978) 639-3387

Appl. # \_\_\_\_\_

**Recommendation**

- ☐ Approval  
☐ Conditional  
Approval  
☐ Disapproval

**APPLICATION FOR EXTERIOR BUILDING CHANGES**

Return to Design Review Board  
Flynn Building  
278 Old Sudbury Road  
Sudbury, MA 01776

Please Print Clearly

Applicant: BPR Development LLC c/o National Development, Steve Senna, VP

Address: 2310 Washington Street, Newton, MA Phone: 617-559-5046

Business Name: Grocery Store at Meadow Walk Sudbury Phone: same as above.

Business Address: 526 and 528 Boston Post Road, Sudbury, MA

Location (reference point or landmark): Raytheon campus redevelopment

Property Owner: Raytheon Company c/o Jerry A. Cellucci

Address: 870 Winter Street, Waltham, MA Phone: 781-522-3062

Applicant's Signature: \_\_\_\_\_ Date: 11/10/2015

Property Owner's Signature: see attached Owner's Consent Letter Date: 11/2/2015  
(if different from the applicant)

**Attachments:** ☒ Finish Board of Exterior Building Materials and Colors  
☒ Engineered Site Plan  
☒ Landscape Plan  
☒ Lighting Plan  
☒ Building Plan and Exterior Elevations  
☒ Proposed Signage

**NOTE:** The DRB meets the second and fourth Wednesdays of the month. Only applications received by noon the previous Thursday will be considered for inclusion on the following Wednesday's agenda.  
A sign application must also be submitted if applicable.



**TOWN OF SUDBURY**  
*Design Review Board*

**APPLICATION FOR SIGN APPROVAL**

Return to Design Review Board  
Flynn Building  
278 Old Sudbury Road  
Sudbury, MA 01776  
(978) 639-3387

Appl. # \_\_\_\_\_

**Recommendation**

{ } Approval  
{ } Conditional  
Approval  
{ } Disapproval

**Please Print Clearly and Complete In Full**

BPR Development LLC c/o Steve Senna, VP, National Development

Applicant: \_\_\_\_\_ Email: ssenna@natdev.com

Address: 2310 Washington Street, Newton, MA Phone: 617-559-5046

Business Name: same Phone: same

Sign Address: 526 and 528 Boston Post Road

Location (reference point or landmark): Raytheon campus redevelopment

Property Owner: Raytheon Company c/o Jerry A. Cellucci

Address: 870 Winter Street, Waltham, MA Phone: 781-522-3062

**Primary Sign Description**

Type: Wall ☒ Projecting [ ] Freestanding [ ] Awning [ ]

Building Frontage: 763.1 feet

Channel Lettering totaling:

Sign "A": 96 square feet

Sign "B": 148 square feet

Materials: 0.063 Aluminum; 3/16" Plex Dimensions: Sign "C": 96 square feet

Colors: Background Bldg materials Lettering Green Other \_\_\_\_\_

Lighting: Fixture Type LED Position internal

Location of Sign(s) Sign "A" south building elevation; Signs "B" and "C" east building elevation.

For freestanding sign: Length of Lot Frontage n/a Distance to Property Line n/a

Additional Signs Requested: Secondary [ ] Directory [ ] Directional [ ]

Applicant's Signature: Stephen C. Senna Date: 11/10/2015

FOR BPR Development LLC

Property Owner's Signature see attached Owner's Consent letter Date: 11/2/2015

(if different from the applicant)

Attachments: ☒ To-scale drawing ☒ Photograph(s) ☒ Color Sample(s) ☒ Plot Plan  
*A dimensioned plot plan must be submitted with application for a freestanding sign.*

**NOTE:** The DRB meets the second and fourth Wednesdays of the month. Only applications received by noon the previous Thursday will be considered for inclusion on the following Wednesday's agenda.

Raytheon Company  
Executive Offices  
870 Winter Street  
Waltham, MA 02451  
Tel 781 522-3062  
Fax 781 522-6465  
Email: jerry\_a\_cellucci@raytheon.com



November 2, 2015  
15JAC223

Town of Sudbury Board of Appeals  
c/o Mr. Jonathan F.X. O'Brien, Chairman  
278 Old Sudbury Road  
Sudbury, MA 01776

Town of Sudbury Planning Board  
c/o Mr. Craig Lizotte, Chairman  
278 Old Sudbury Road  
Sudbury, MA 01776

Town of Sudbury Conservation Commission  
c/o Mr. Thomas Friedlander, Chairman  
275 Old Lancaster Road  
Sudbury, MA 01776

Town of Sudbury Building Department  
c/o Mr. Mark Herweck, Building Inspector  
275 Old Lancaster Road  
Sudbury, MA 01776

**Re: 526-528 Boston Post Road, Sudbury, MA**  
**Owner's Authorization – Development Permits and Approvals**

Dear Messrs. O'Brien, Lizotte, Friedlander, and Herweck:

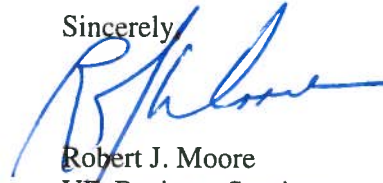
As you may know, Raytheon Company ("Raytheon"), the current owner of 526-528 Boston Post Road, Sudbury, MA (the "Property"), has entered into an agreement (the "Agreement") for the sale of the Property to BPR Development LLC ("BPR").

This letter shall serve as written confirmation that, in connection with this transaction, BPR and its attorneys, agents and designees are authorized to (i) file applications and permitting documents on Raytheon's behalf with regard to any and all permits and approvals that may be needed for BPR's planned redevelopment of the Property as a mixed-use development, including, without limitation, permits and approvals issued by the Board of Appeals, the Planning Board, the Conservation Commission and any other local, state or federal agency (collectively, the "Project Approvals"); and (ii) take such other actions as BPR deems necessary, desirable or convenient in furtherance of the Project Approvals, provided that all permitting applications made by or on behalf of BPR prior to closing on the transaction are expressly conditioned on BPR's acquisition of the Property in accordance with the terms of the Agreement.

November 2, 2015  
15JAC223  
Page Two

Please do not hesitate to contact Jerry Cellucci, Esq. (781-522-3062) should you need additional information or have any questions related to this authorization.

Sincerely,



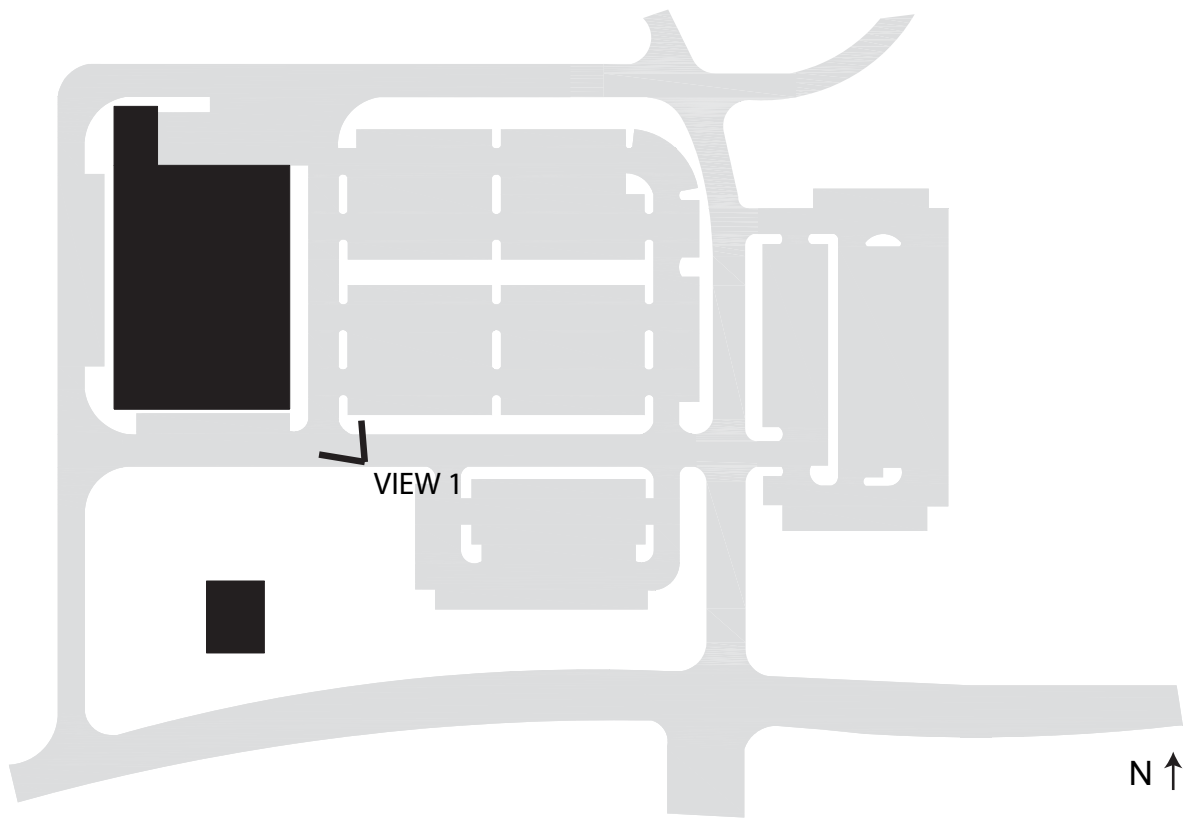
Robert J. Moore  
VP, Business Services  
Raytheon Company

cc: Steve Senna, National Development  
Gregory Ferrick  
Jerry Cellucci, Esq.





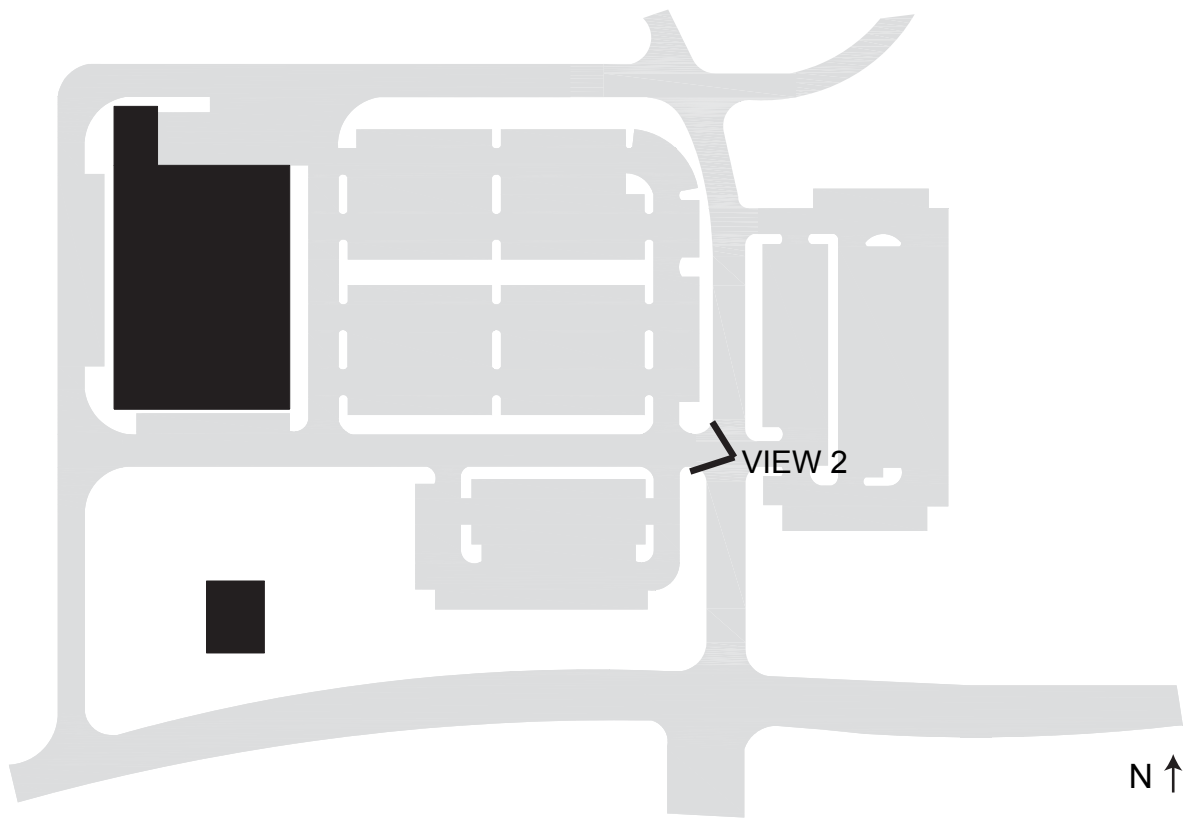
Rendering View 1



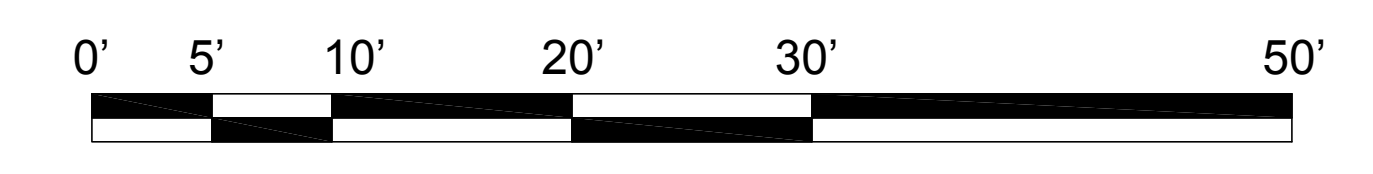
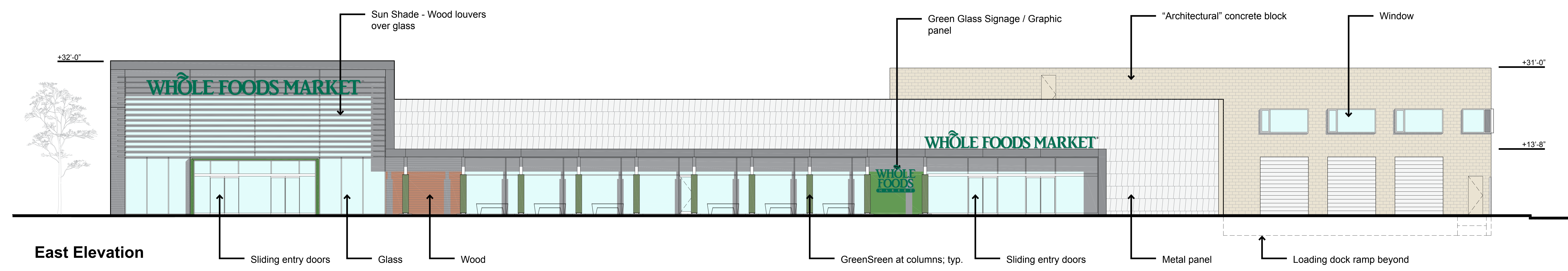
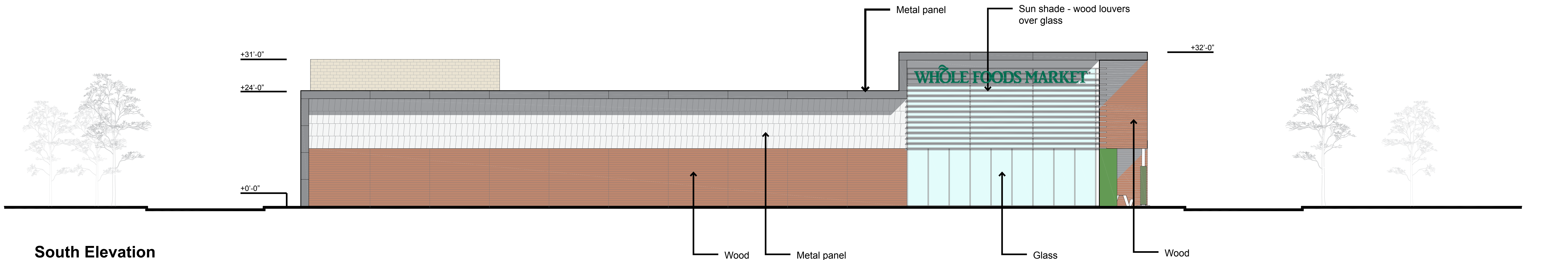


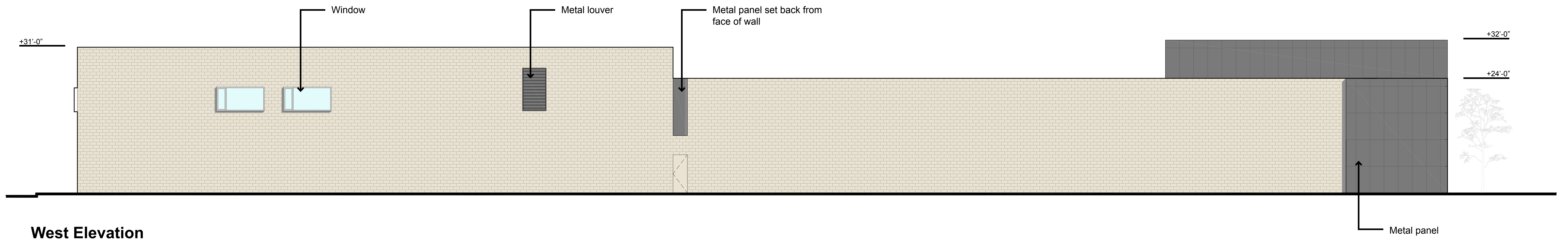
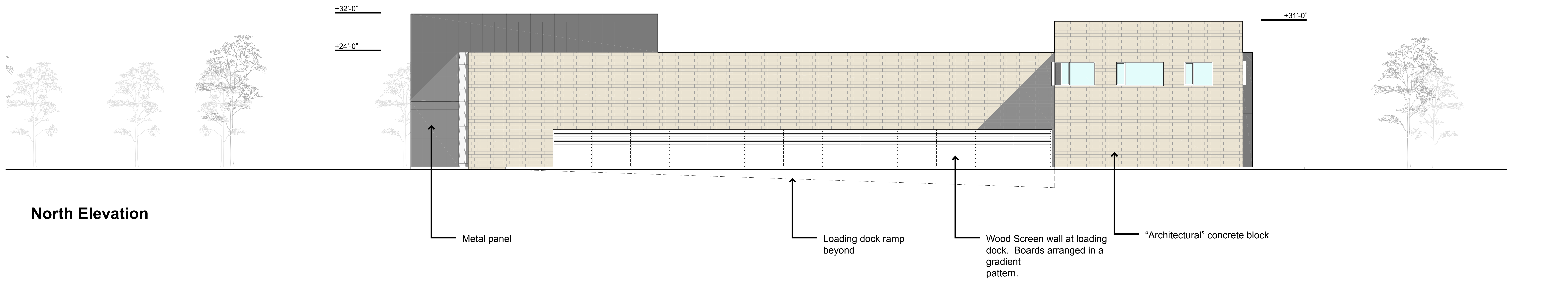


Rendering View 2

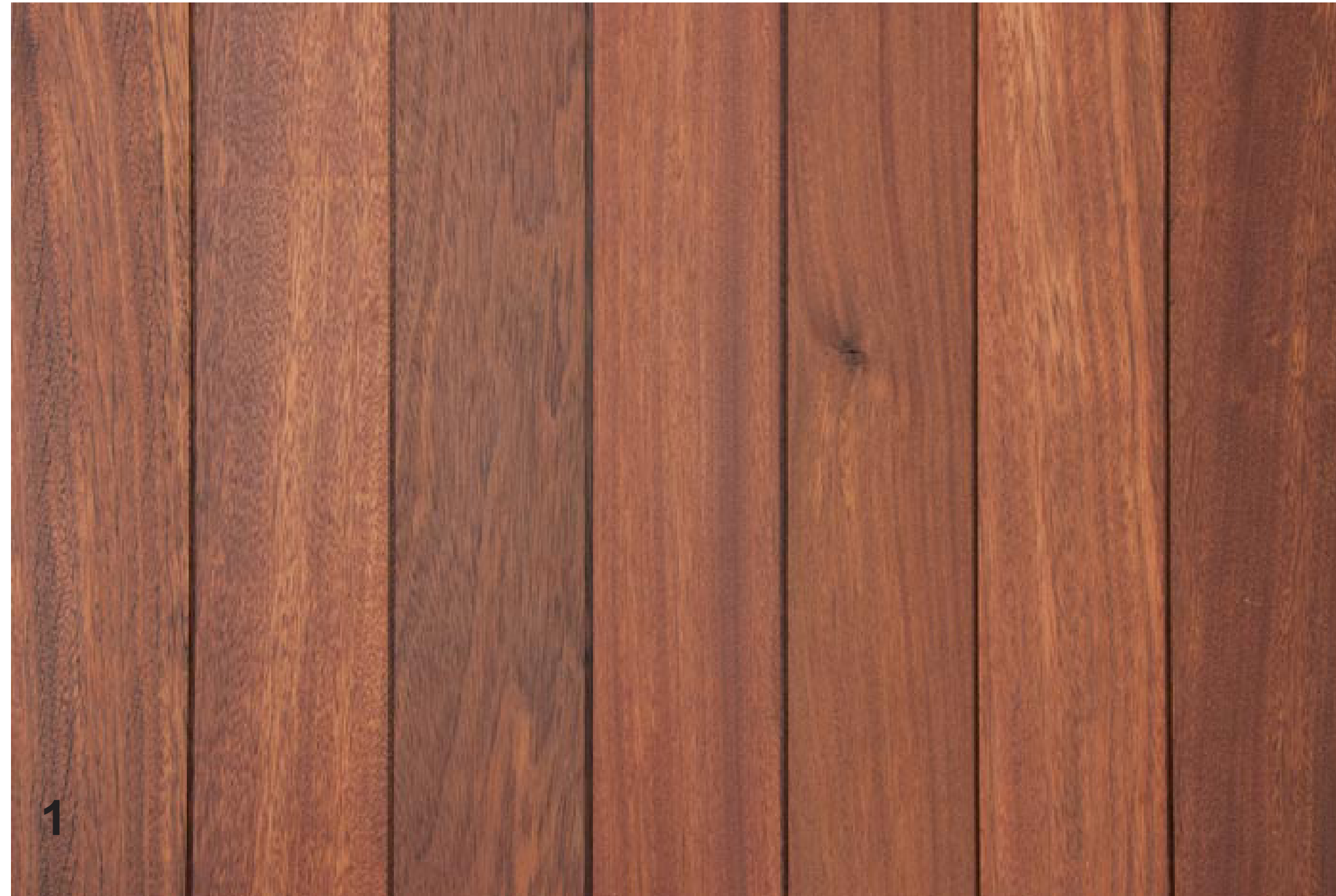












### Exterior Materials

1. Wood
2. Grey Metal Panel
3. Architectural Concrete Block
4. White Metal Panel
5. Green Metal panel





Miscellaneous Perspective Images





Precedent Images





Precedent Images



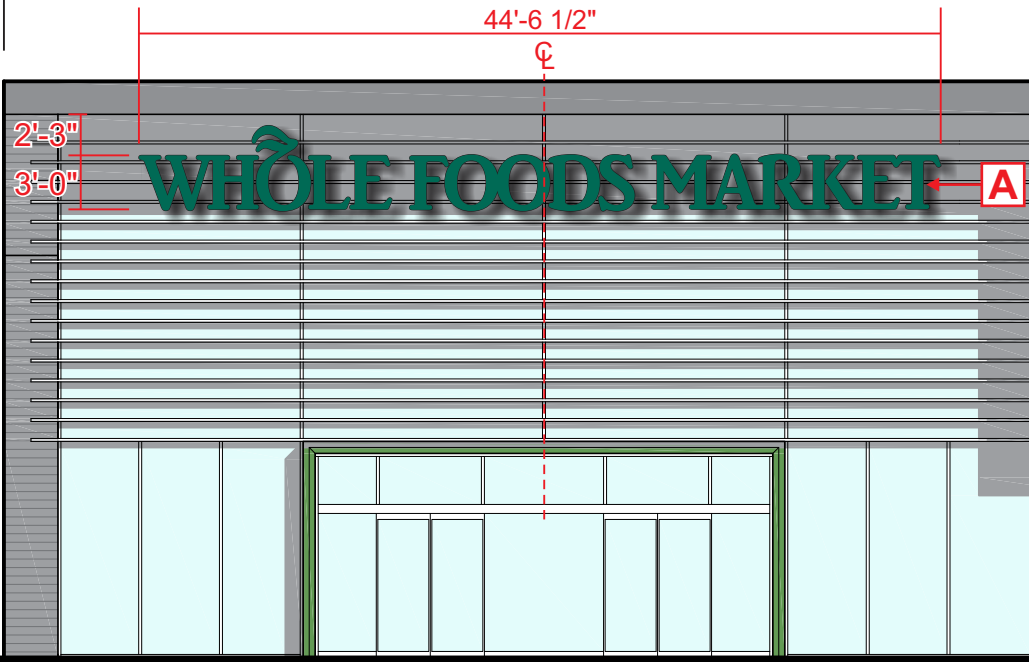


GreenScreen - column covers at covered patio

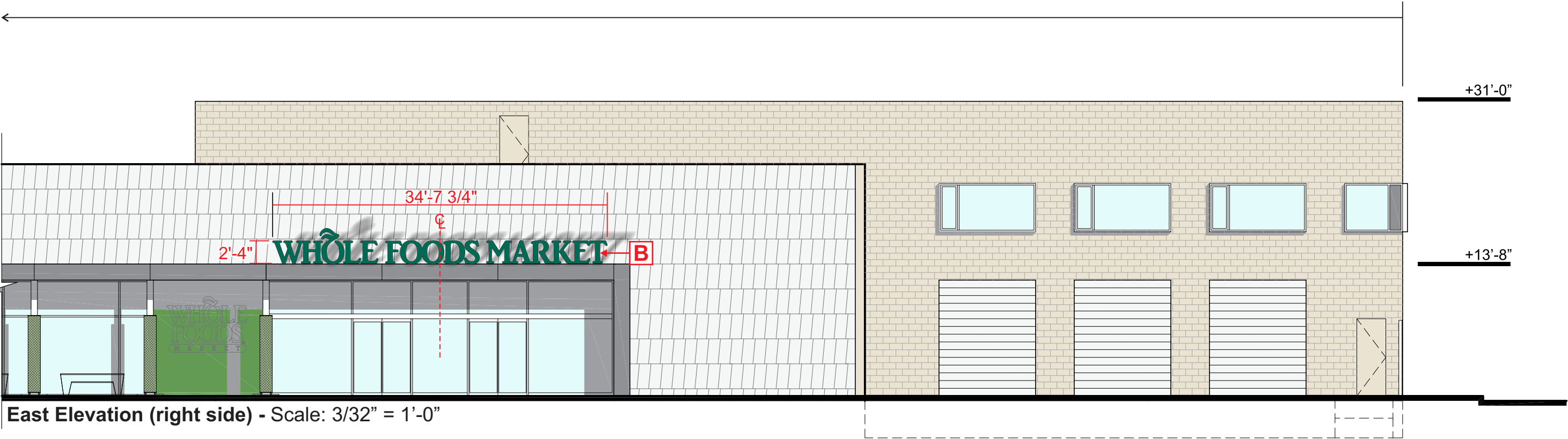


287'-0" frontage

+32'-0"



East Elevation (left side) - Scale: 3/32" = 1'-0"



East Elevation (right side) - Scale: 3/32" = 1'-0"

## Grocery Store Exterior Wall Signs



**ADART**

2670 W. SHAW LANE/SUITE 102  
FRESNO, CA 93711  
T 559.225.2183  
T 559.225.2186  
www.adart.com

CA STATE CONTRACTORS LICENSE #826051

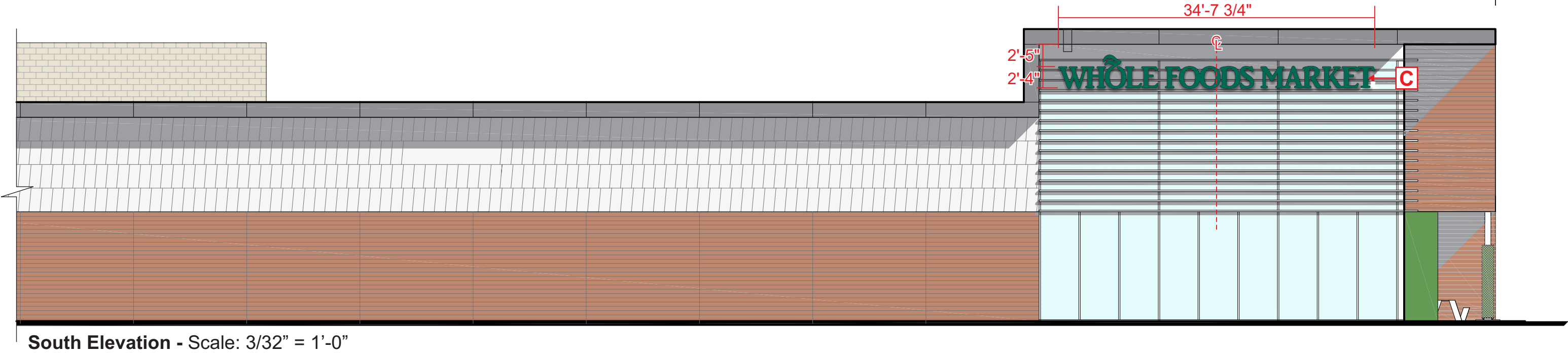
PROJECT:	REVISION	DATE	DESCRIPTION
CUSTOMER: Whole Foods Market	1	10-28-15	Add site plan
LOCATION: 528 Boston Post Road - Sudbury, MA 01776	2	11-10-15	New elevations and site plan
DATE: 10/27/2015			
SALES: David Esajian			
DESIGNER: James Franks			

APPROVALS
SALES:
CUSTOMER:
LANDLORD:

**CONCEPTUAL DRAWINGS ONLY:**  
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

**ALL RIGHTS RESERVED:**  
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SHEET
1 of 3
JOB #18869

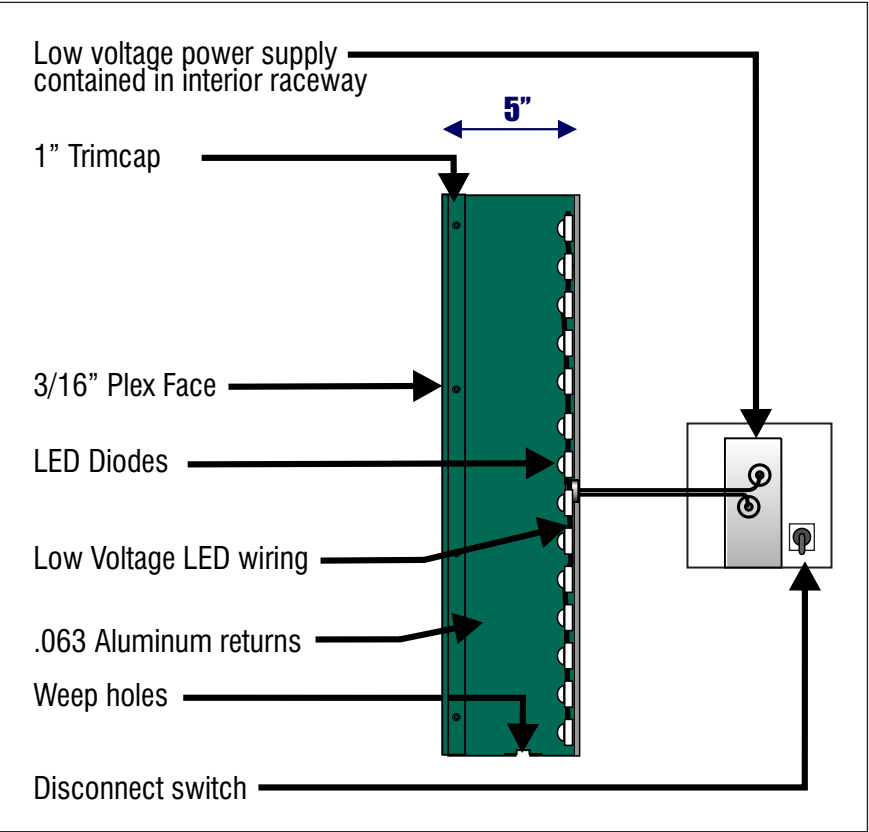


**PAN CHANNEL LETTER SPECIFICATIONS** Scale: 3/16" = 1'-0"

Description: Manufacture and install three (3) sets of internally-illuminated channel letters.

Component	Type	Specifications	Color / Finish
Faces	3/16" Milky White Plex #2447	Vinyl applied 1st surface	3M Holly Green #3630-76
Trimcaps	1" Trimcap	Jewelite	Match PMS #342 (Green)
Returns	.063 Aluminum	Paint (satin)	Match PMS #342 (Green)
Illumination	LED		White

**NOTE:** Final attachment detail to be based on actual wall and canopy details once provided.



**Section detail - Scale: NTS**

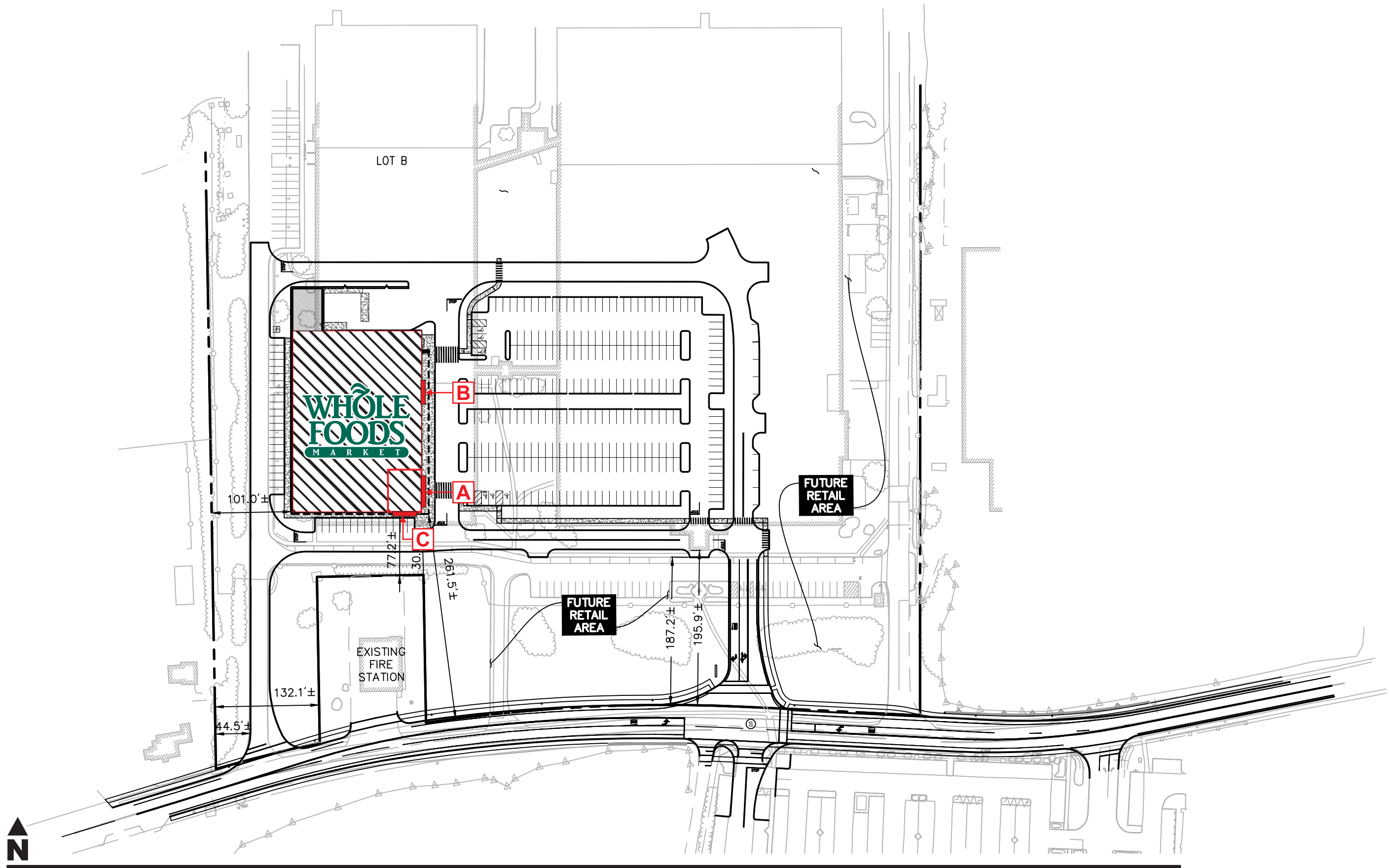
PROJECT:	REVISION	DATE	DESCRIPTION
CUSTOMER: Whole Foods Market	1	10-28-15	Add site plan
LOCATION: 528 Boston Post Road - Sudbury, MA 01776	2	11-11-15	New elevations and site plan
DATE: 10/27/2015			
SALES: David Esajian			
DESIGNER: James Franks			

APPROVALS
SALES:
CUSTOMER:
LANDLORD:

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Site Plan - Scale: NTS

PROJECT:	
CUSTOMER: Whole Foods Market	
LOCATION: 528 Boston Post Road - Sudbury, MA 01776	
DATE: 10/27/2015	
SALES: David Esajian	
DESIGNER: James Franks	

REVISION	DATE	DESCRIPTION
1	10-28-15	Add site plan
2	11-11-15	New elevations and site plan

APPROVALS	
SALES:	
CUSTOMER:	
LANDLORD:	

**CONCEPTUAL DRAWINGS ONLY:**  
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# Site Plans

Issued for	Local Approvals
Date Issued	November 10, 2015
Latest Issue	November 10, 2015

## Grocery Store at Meadow Walk Sudbury

526-528 Boston Post Road  
Sudbury, MA



Source: Google Maps

### Owner

Raytheon Company  
870 Winter Street  
Waltham, MA 02451

### Applicant

BPR Development LLC  
c/o National Development  
2310 Washington Street  
Newton Lower Falls, MA 02462

**Assessor's Map: K07-0011 and K07-0013**

Sheet Index		
No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	November 10, 2015
C-2	Overall Site Plan	November 10, 2015
<del>C-3</del>	<del>Site Preparation Plan</del>	<del>November 10, 2015</del>
C-4	Layout and Materials Plan	November 10, 2015
<del>C-5</del>	<del>Grading and Drainage Plan</del>	<del>November 10, 2015</del>
<del>C-6</del>	<del>Utility Plan</del>	<del>November 10, 2015</del>
<del>C-7.1 - C-7.3</del>	<del>Site Details</del>	<del>November 10, 2015</del>
L-1.1	Planting Plan	November 10, 2015
L-2.1	Planting Notes and Details	November 10, 2015

Reference Drawings		
No.	Drawing Title	Latest Issue
<del>Sv-1 - Sv-6</del>	<del>Existing Conditions Plan of Land</del>	<del>October 28, 2015</del>
<del>SL-1</del>	<del>Site Lighting Photometric Plan</del>	<del>November 10, 2015</del>
A-1	Floor Plan	November 10, 2015
A-2	Mezzanine Plan	November 10, 2015
A-3	Elevations - East and South	November 10, 2015
A-4	Elevations - West and North	November 10, 2015

Drawings that are shown with "strike-through" text were submitted for Site Plan Approval by the Town of Sudbury's Planning Board, but were excluded from the set for the submittal to the Town of Sudbury's Design Review Board.



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**Surveyor**  
**Wetlands Scientist**  
**Site Civil Engineer**  
**Transportation Engineer**  
**Landscape Architect**

**Architect**  
Jacobs Engineering Group  
One Broadway, 10th Floor  
Cambridge, MA 02142

**Geotechnical Engineer**  
Sanborn Head & Associates, Inc.  
1 Technology Park Drive  
Westford, MA 01886  
(978) 392-0900

**Lighting Consultant**  
Engineering Advantage, Inc.  
880 Main Street 5th Floor  
Waltham, MA 02451

SUDBURY PLANNING BOARD  
APPROVED WITH CONDITIONS

\_\_\_\_\_

\_\_\_\_\_

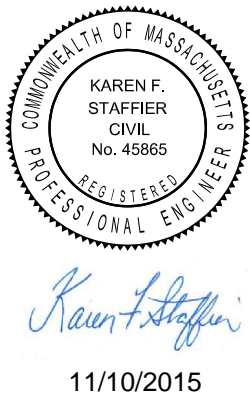
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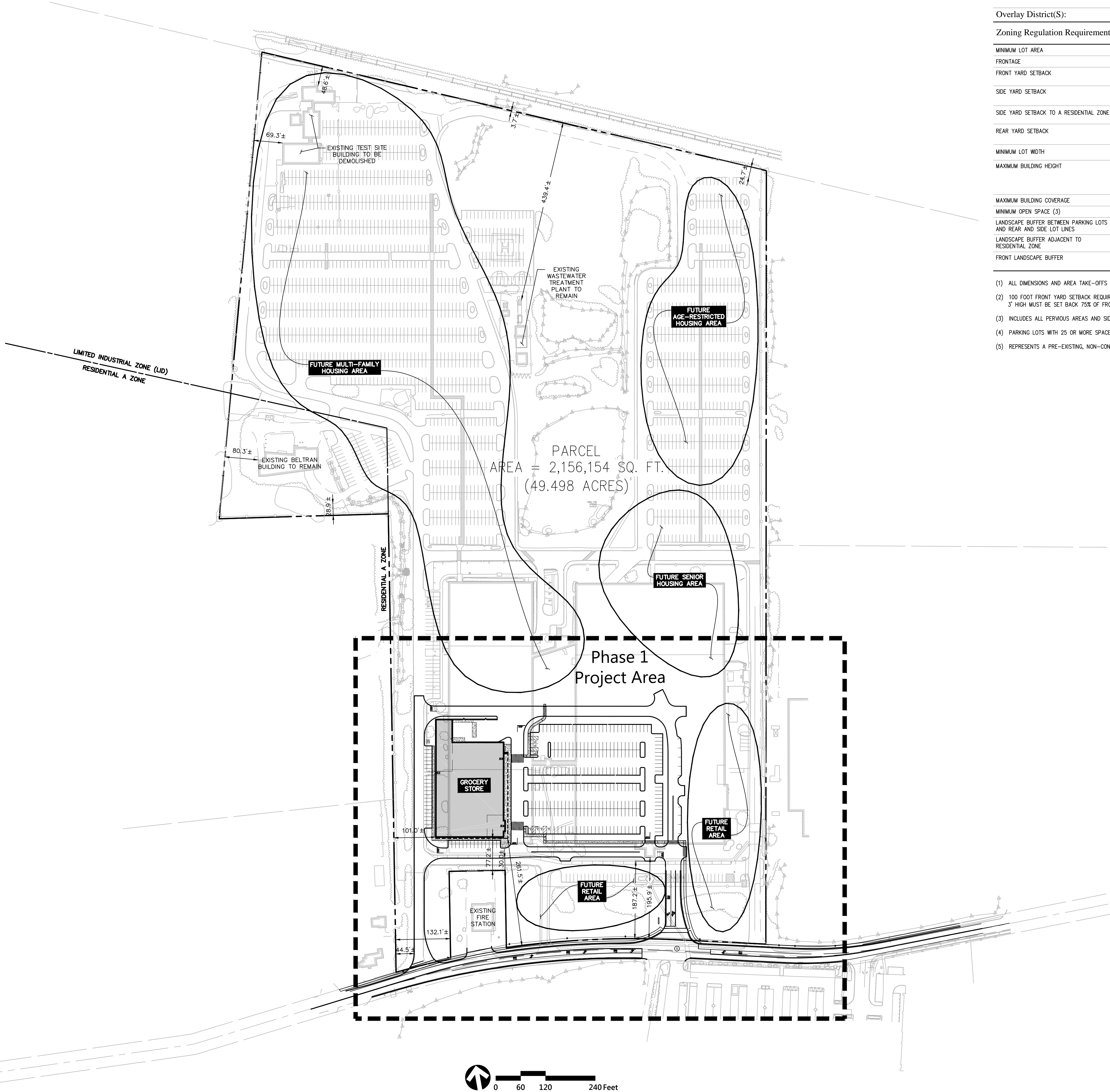
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Zoning Summary Chart			
Zoning District(S):	Limited Industrial (LID) Single Residence - A (SRA)		
Overlay District(S):			
Zoning Regulation Requirements	Required	Existing (1)	Proposed (1)
MINIMUM LOT AREA	100,000 SF	2,156,154 SF	2,156,154 SF
FRONTAGE	50 Feet	763.1 Feet	763.1 Feet ±
FRONT YARD SETBACK	100 Feet (2)	195.9 Feet	261.5 Feet ± (GROCERY STORE)
SIDE YARD SETBACK	50 Feet	69.3 Feet (TEST SITE BLDG)	77.2 Feet ± (GROCERY STORE)
SIDE YARD SETBACK TO A RESIDENTIAL ZONE	100 Feet	80.3 Feet (BELTRAN BLDG) (5)	101.0 Feet ± (GROCERY STORE)
REAR YARD SETBACK	50 Feet	48.6 Feet (TEST SITE BLDG)	439.4 Feet ± (WWTP)
MINIMUM LOT WIDTH	50 Feet	132.1 Feet	132.1 Feet ±
MAXIMUM BUILDING HEIGHT	35 Feet / 2 Stories	44 Feet / 2 Stories (BELTRAN BLDG) (5)	<35 Feet / 1 Story with Mezzanine (GROCERY STORE)
MAXIMUM BUILDING COVERAGE	25 %	18 %	3 % ±
MINIMUM OPEN SPACE (3)	30 %	42 % ±	52 % ±
LANDSCAPE BUFFER BETWEEN PARKING LOTS AND REAR AND SIDE LOT LINES	25 Feet (4)	3.7 Feet (5)	30.0 Feet ± (GROCERY STORE)
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL ZONE	30 Feet	28.9 Feet (BELTRAN BLDG) (5)	44.5 Feet ± (GROCERY STORE)
FRONT LANDSCAPE BUFFER	20 Feet	143.1 Feet	187.2 Feet ± (GROCERY STORE)

- (1) ALL DIMENSIONS AND AREA TAKE-OFFS ARE BASED ON EXISTING LOT AND EXCLUDE THE PROPOSED RTE 20 WIDENING.  
(2) 100 FOOT FRONT YARD SETBACK REQUIRED FROM BOSTON POST ROAD IN LID-1. OPEN DISPLAY OR STRUCTURE OVER 3' HIGH MUST BE SET BACK 75% OF FRONT YARD REQUIREMENT.  
(3) INCLUDES ALL PERVIOUS AREAS AND SIDEWALKS.  
(4) PARKING LOTS WITH 25 OR MORE SPACES REQUIRE 25 FOOT LANDSCAPE BUFFER FROM REAR AND SIDE LOT LINES.  
(5) REPRESENTS A PRE-EXISTING, NON-CONFORMITY, TO REMAIN.

Grocery Store at  
Meadow Walk  
Sudbury

526-528 Boston Post Road  
Sudbury, MA

No.	Revision	Date	Apprd.

Designed by	KEJ/BMG	Checked by	KFS
Issued for		Date	November 10, 2015

Local Approvals

Not Approved for Construction

Overall Site Plan


Drawing Number

C-2

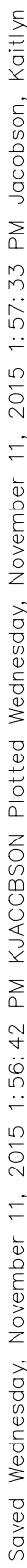
Sheet 2 of 11

Project Number 13125.00

11/10/2015












Parking Requirements:							
RETAIL	45,000 SF	x	1 SPACES	/	180	=	250 SPACES
TOTAL PARKING REQUIRED						=	250 SPACES

NOTE: EXISTING PARKING AREAS OUTSIDE THE PHASE 1 PROJECT AREA WILL REMAIN "AS-IS" THROUGHOUT CONSTRUCTION AND AFTER THE COMPLETION AND OCCUPANCY OF THE PROPOSED GROCERY STORE.

No.	Revision	Date	Appvd

Not Approved for Construction

	<b>C-4</b>
	<hr/>
	Sheet <span style="margin-left: 150px;">of</span> <span style="margin-left: 150px;">11</span>
	<div style="display: flex; justify-content: space-around;"><div>4</div><div></div></div>
	<hr/>
11/10/2015	Project Number <b>13125.00</b>

Sign Summary			
M.U.T.C.D. Number	Specification		Desc.
	Width	Height	
R1-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	



SHRUBS AND ORNAMENTAL GRASSES

SHRUBS AND ORNAMENTAL GRASSES  
SHALL BE A SELECTION OF:

## ORNAMENTAL GRASSES

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
<i>Andropogon gerardii</i>	Big Bluestem
<i>Deschampsia cespitosa</i>	Turfed Hairgrass
<i>Eragrostis spectabilis</i>	Purple Lovegrass, Tumblegrass
<i>Panicum virgatum</i>	Switchgrass
<i>Schizachyrium scoparium</i>	Little Bluestem

526-528 Boston Post Road  
Sudbury, MA

No.	Revision	Date	Appr'd.

Designed by	KEJ/BMG	Checked by	KFS
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**Local Approvals**                      November 10, 2015

Not Approved for Construction

## Planting Plan

Drawing Number

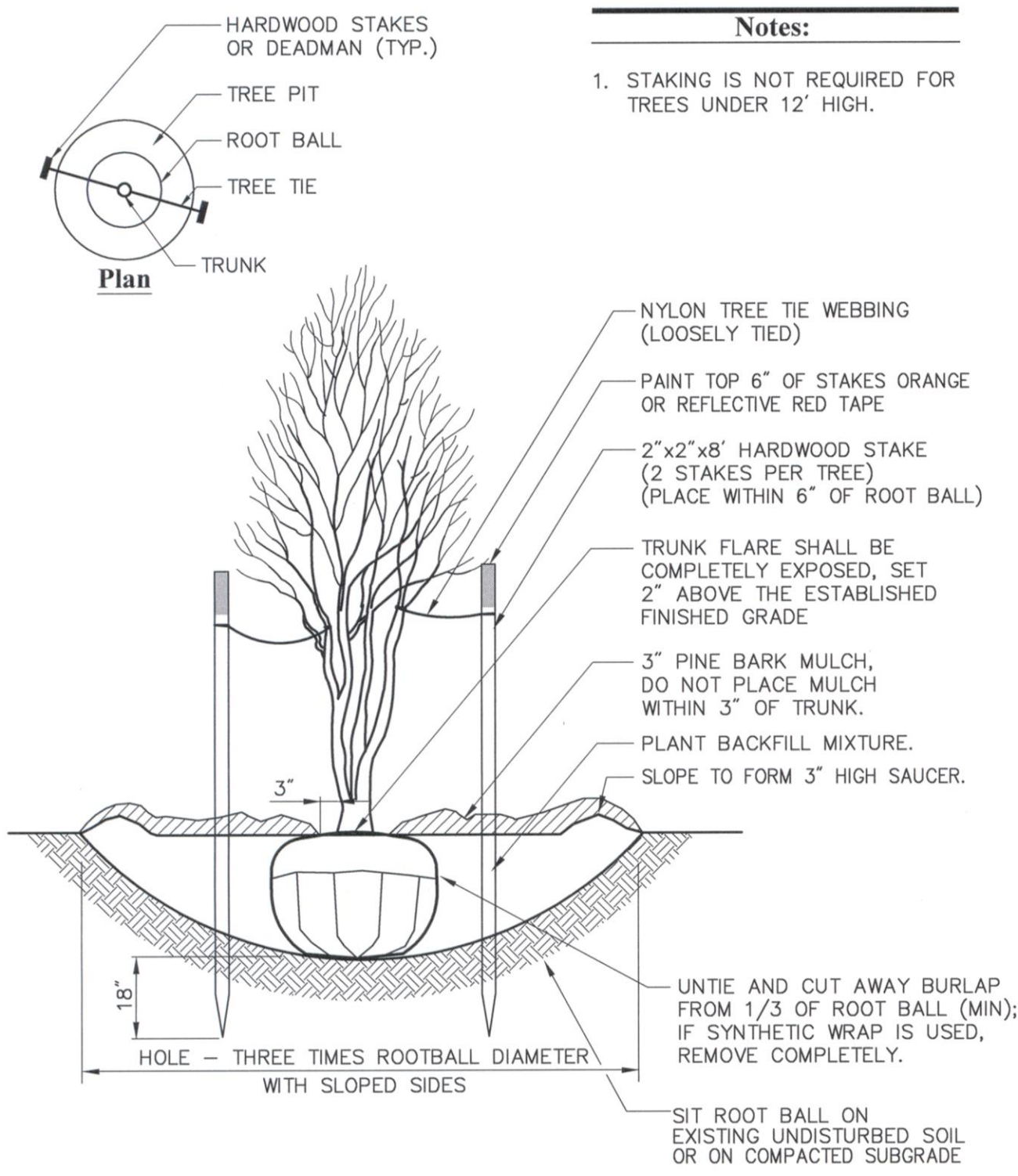
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11.10.2015

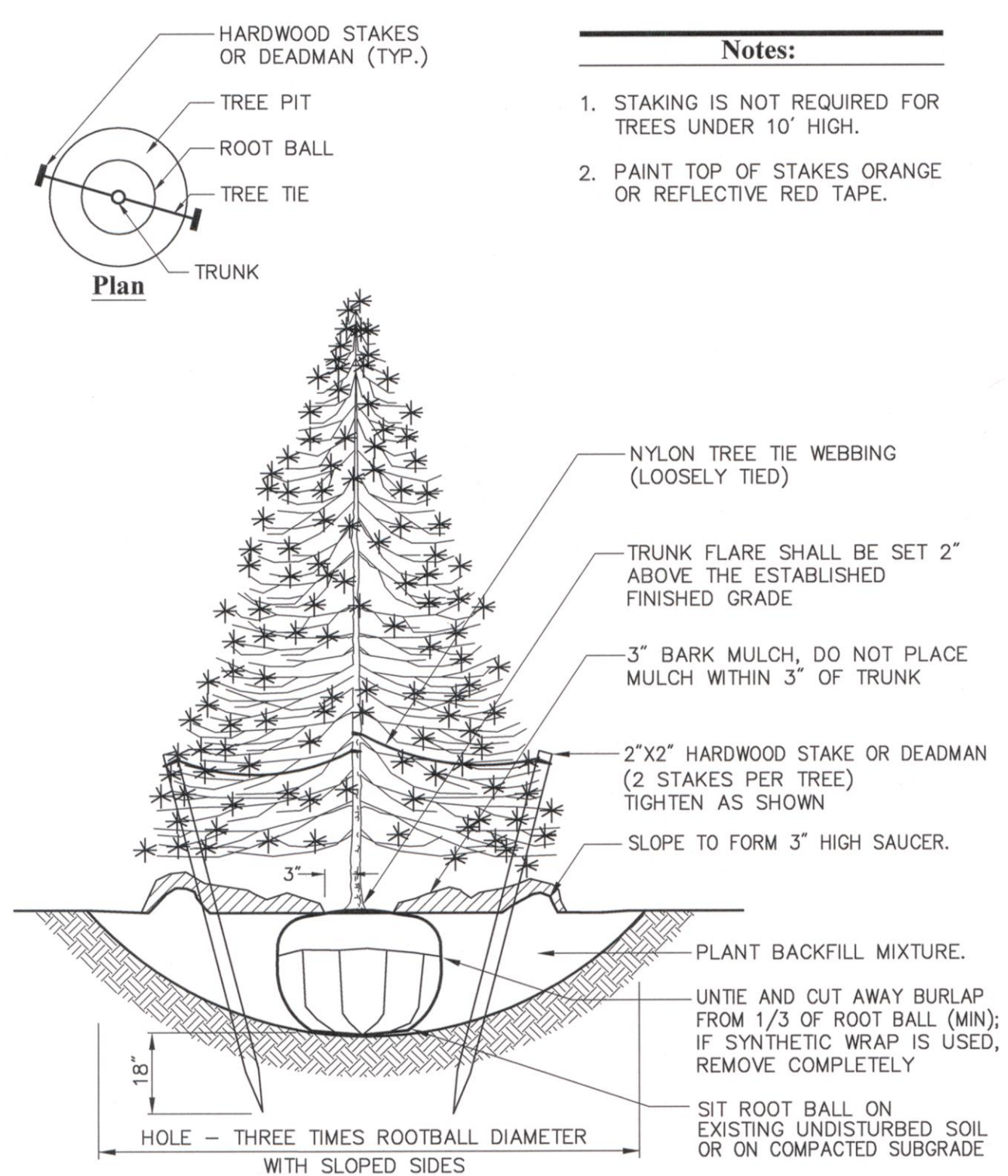
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**13125.00**





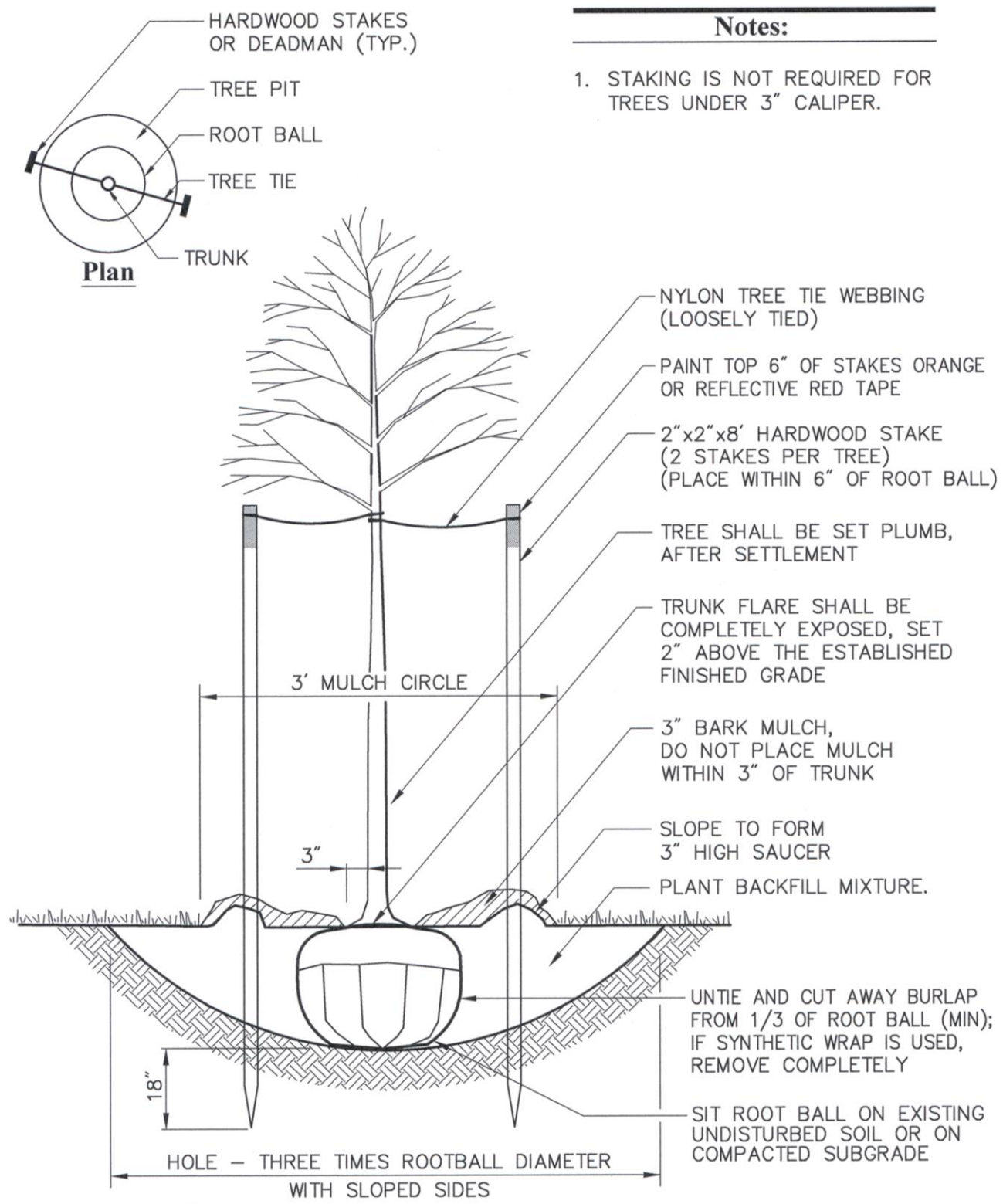
### Multistem Tree Planting

N.T.S. Source: VHB 6/15 LD\_606



### Evergreen Tree Planting

N.T.S. Source: VHB 6/15 LD\_604



### Tree Planting (For Trees Under 4" Caliper)

N.T.S. Source: VHB 6/15 LD\_602

### Planting Notes

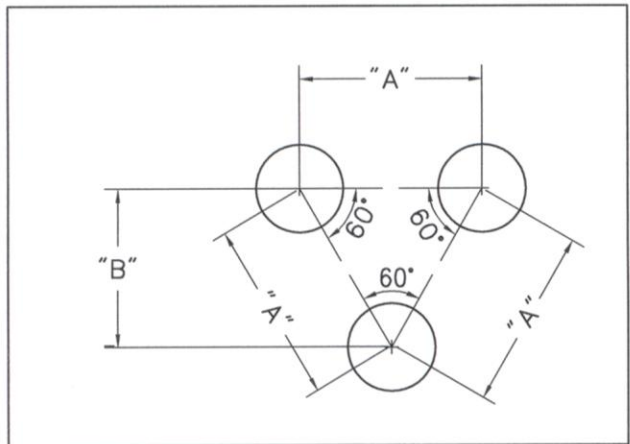
- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

### Tree Protection

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

### Plant Maintenance Notes

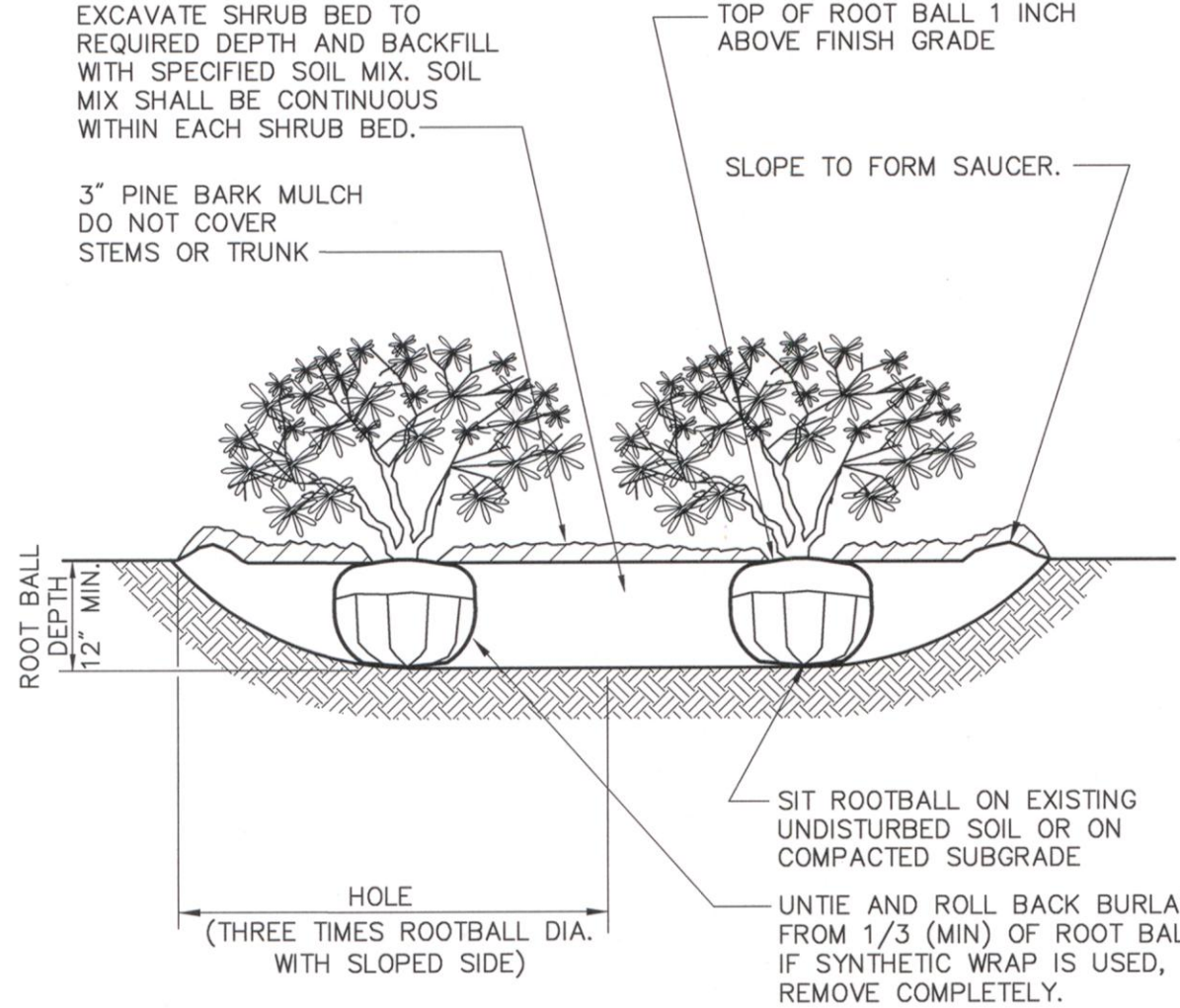
- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

### Ground Cover and Shrub Spacing Chart

N.T.S. Source: VHB 6/08 LD\_616



### Notes:

- LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

### Shrub Bed Planting

N.T.S. Source: VHB 6/08 LD\_601

### Grocery Store at Meadow Walk Sudbury

526-528 Boston Post Road  
Sudbury, MA

No.	Revision	Date	Appvd.

Designed by	KEJ/BMG	Checked by	KFS
Issued for		Date	

### Local Approvals

November 10, 2015

### Not Approved for Construction

### Planting Notes and Details

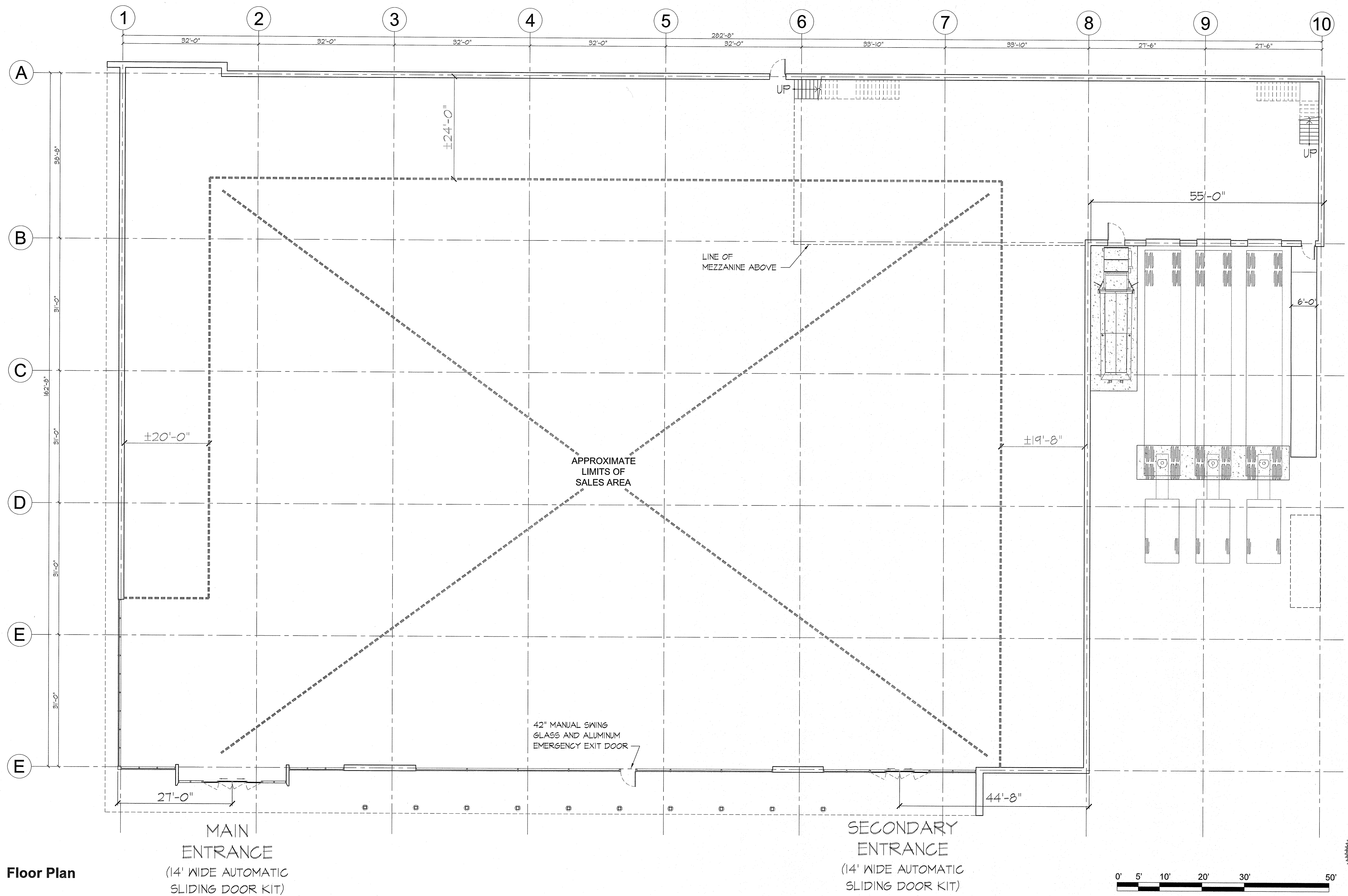


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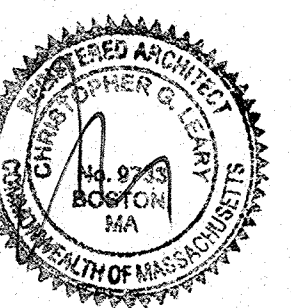
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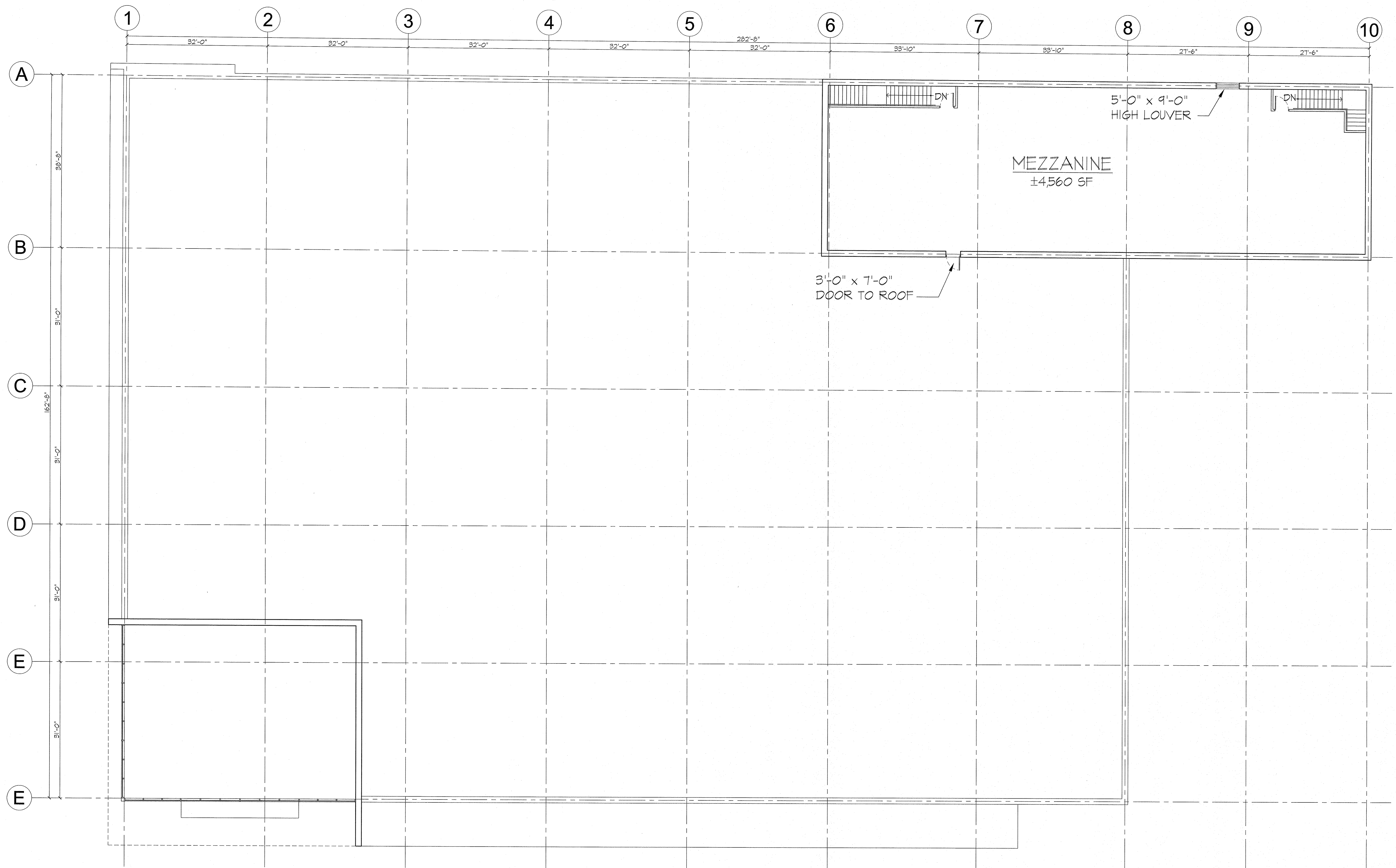
Project Number 13125.00





Floor Plan





Mezzanine Plan

