GROCERY STORE AT MEADOW WALK SUDBURY

Town of Sudbury Design Review Board Applications

for

Exterior Building Changes, and Sign Approvals

For properties located at 526 and 528 BOSTON POST ROAD SUDBURY, MASSACHUSETTS

Applicant:

BPR Development LLC c/o National Development

Attn: John J. O'Neil, III, Managing Partner 2310 Washington Street Newton Lower Falls, Massachusetts 617-257-9800



Civil Engineer, Landscape Architect, Surveyor,	Counsel:
Traffic Engineer and Wetlands Scientist:	
VHB	Goulston & Storrs
c/o Karen F. Staffier, PE - Project Manager	c/o Peter L. Tamm - Director
101 Walnut Street	400 Atlantic Avenue
Watertown, MA 02472	Boston, Massachusetts 02110-3333
617-607-0088	617-482-1776
karenstaffier@vhb.com	ptamm@goulstonstorrs.com
Project Architect and MEP-FP Engineer:	Project Geotechnical Engineer:
JACOBS	Sanborn Head & Associates
c/o Ben J. Anderson - Sr. Project Manager	c/o Kevin P. Stetson, P.E Vice President
One Broadway, 10th Floor	Technology Park Drive
Cambridge, MA 02142	Westford, MA 01886
617-250-4850	978-392-0900
han andarran @iaaaha aam	
ben.anderson@jacobs.com	kstetson@sanbornhead.com
ben anderson@jacoos.com	kstetson@sanbornhead.com

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				LETTER OF TRANS	SMITTA	AL	
FROM: VIA:	c/o Steve 2310 Was Newton, M (617) 527-	hington Street IA 02462			DATED:	Grocery Store at Meadow Walk Sudbury 526 and 528 Boston Post Road Sudbury, MA DESIGN REVIEW BOARD APPLICATION Exterior Building Changes, and Sign Approval	_
TO: ADDRESS: CITY: ATTENTIO		278 Old Sudbu Sudbury, MA(ry Road 01776	n Review Board of Planning and Communit	 y_Develo	opment	
ITEM#		MITTAL TYPE tion Binder	COPIES 6	Application Forms and all red		TEM DESCRIPTION Dication materials, including 11"x17" prints of all draw	ings.
THESE AR] AS REQU		NDICATED	BELOW: APPROVED AS IS APPROVED WITH CORRECTI	ONS	SUBMIT COPIES FOR DISTRIBUTION RETURN CORRECTED	
COMMEN	ΓS:						
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ND	NATI DEVEL	ONAL OPMENT			Signed:	Steve Senna, Vice President	

TOWN OF SUDBURY

Design Review Board

(978) 639-3387

Appl. #
Recommendation { } Approval { } Conditional Approval { } Disapproval

APPLICATION FOR EXTERIOR BUILDING CHANGES

Return to Design Review Board Flynn Building 278 Old Sudbury Road Sudbury, MA 01776

Please Print Clearly
Applicant: BPR Development LLC c/o National Development, Steve Senna, VP
Address: 2310 Washington Street, Newton, MA Phone: 617-559-5046
Business Name: Grocery Store at Meadow Walk Sudbury Phone: same as above.
Business Address: 526 and 528 Boston Post Road, Sudbury, MA
Location (reference point or landmark): Raytheon campus redevelopment
Property Owner: _ Raytheon Company c/o Jerry A. Cellucci
Address: 870 Winter Street, Waltham, MA Phone: 781-522-3062
Applicant's Signature: BPR Development LLC Property Owner's Signature: see attached Owner's Consent LetterDate: 11/2/2015 (if different from the applicant)
Attachments: {x} Finish Board of Exterior Building Materials and Colors {x} Engineered Site Plan {x} Landscape Plan {x} Lighting Plan {x} Building Plan and Exterior Elevations {x} Proposed Signage

NOTE: The DRB meets the second and fourth Wednesdays of the month. Only applications received by noon the previous Thursday will be considered for inclusion on the following Wednesday's agenda.

A sign application must also be submitted if applicable.

TOWN OF SUDBURY

Design Review Board

APPLICATION FOR SIGN APPROVAL

Return to Design Review Board Flynn Building 278 Old Sudbury Road Sudbury, MA 01776 (978) 639-3387

Appl. #
Recommendation { } Approval
{ } Conditional
Approval { } Disapproval

Please Print Clearly and Complete In Full	
BPR Development LLC c/o Steve Senna, VP, Nationa	
Applicant:	Email: <u>ssenna@natdev</u> .com
Address: 2310 Washington Street, Newton, MA	Phone: 617-559-5046
Business Name: same	Phone: same
Sign Address: 526 and 528 Boston Post Road	-
Location (reference point or landmark): Raytheon campus redeve	lopment
Property Owner: Raytheon Company c/o Jerry A. Cellucci	- -
Address: 870 Winter Street, Waltham, MA	Phone: 781-522-3062
Primary Sign Description	
Building Frontage: 763.1 feet Sign '	el Lettering totaling: "A": 96 square feet "B": 148 square feet
Colors: Background Bldg materials Lettering Green	
Lighting: Fixture Type LED Position inte	
Location of Sign(s) Sign "A" south building elevation; Signs "B"	and "C" east building elevation
For freestanding sign: Length of Lot Frontage <u>n/a</u> Distance	to Property Line <u>n/a</u>
Additional Signs Requested: Secondary [] Directory [] Directory	
Applicant's Signature: Stuppen Slym Development UC	ate:11/10/2015
Property Owner's Signaturesee attached Owner's Consent letter (if different from the applicant)	ate: 11/2/2015
Attachments: To-scale drawing { }Photograph(s) { Color Sar A dimensioned plot plan must be submitted with application for a factor of the color of t	

NOTE: The DRB meets the second and fourth Wednesdays of the month. Only applications received by noon the previous Thursday will be considered for inclusion on the following Wednesday's agenda.

Raytheon Company
Executive Offices
870 Winter Street
Waltham, MA 02451
Tel 781 522-3062
Fax 781 522-6465
Email: jerry_a_cellucci@raytheon.com

Raytheon

November 2, 2015 15JAC223

Town of Sudbury Board of Appeals c/o Mr. Jonathan F.X. O'Brien, Chairman 278 Old Sudbury Road Sudbury, MA 01776

Town of Sudbury Planning Board c/o Mr. Craig Lizotte, Chairman 278 Old Sudbury Road Sudbury, MA 01776

Town of Sudbury Conservation Commission c/o Mr. Thomas Friedlander, Chairman 275 Old Lancaster Road Sudbury, MA 01776

Town of Sudbury Building Department c/o Mr. Mark Herweck, Building Inspector 275 Old Lancaster Road Sudbury, MA 01776

Re: 526-528 Boston Post Road, Sudbury, MA
Owner's Authorization – Development Permits and Approvals

Dear Messrs. O'Brien, Lizotte, Friedlander, and Herweck:

As you may know, Raytheon Company ("Raytheon"), the current owner of 526-528 Boston Post Road, Sudbury, MA (the "Property"), has entered into an agreement (the "Agreement") for the sale of the Property to BPR Development LLC ("BPR").

This letter shall serve as written confirmation that, in connection with this transaction, BPR and its attorneys, agents and designees are authorized to (i) file applications and permitting documents on Raytheon's behalf with regard to any and all permits and approvals that may be needed for BPR's planned redevelopment of the Property as a mixed-use development, including, without limitation, permits and approvals issued by the Board of Appeals, the Planning Board, the Conservation Commission and any other local, state or federal agency (collectively, the "Project Approvals"); and (ii) take such other actions as BPR deems necessary, desirable or convenient in furtherance of the Project Approvals, provided that all permitting applications made by or on behalf of BPR prior to closing on the transaction are expressly conditioned on BPR's acquisition of the Property in accordance with the terms of the Agreement.

November 2, 2015 15JAC223 Page Two

Please do not hesitate to contact Jerry Cellucci, Esq. (781-522-3062) should you need additional information or have any questions related to this authorization.

Sincerely

Robert J. Moore

VP, Business Services Raytheon Company

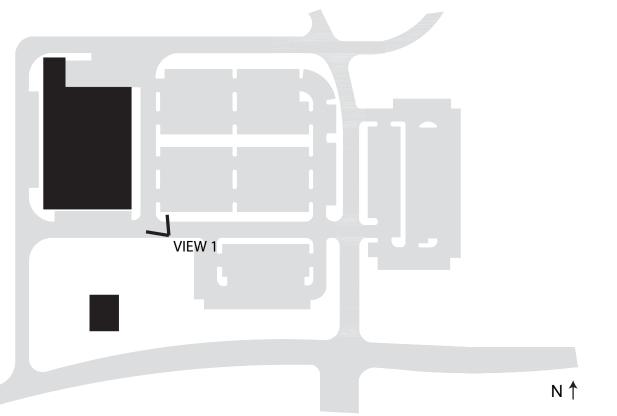
cc:

Steve Senna, National Development Gregory Ferrick

Jerry Cellucci, Esq.



Rendering View 1

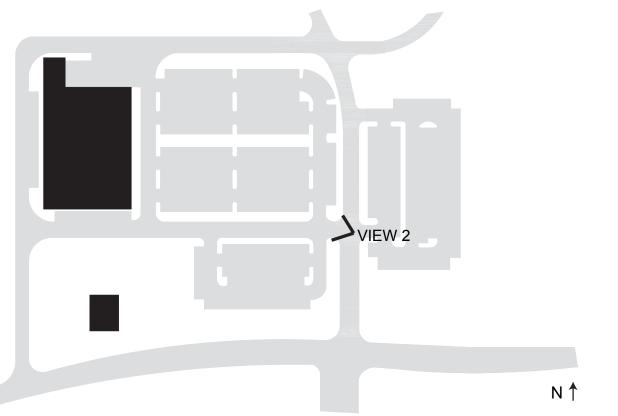






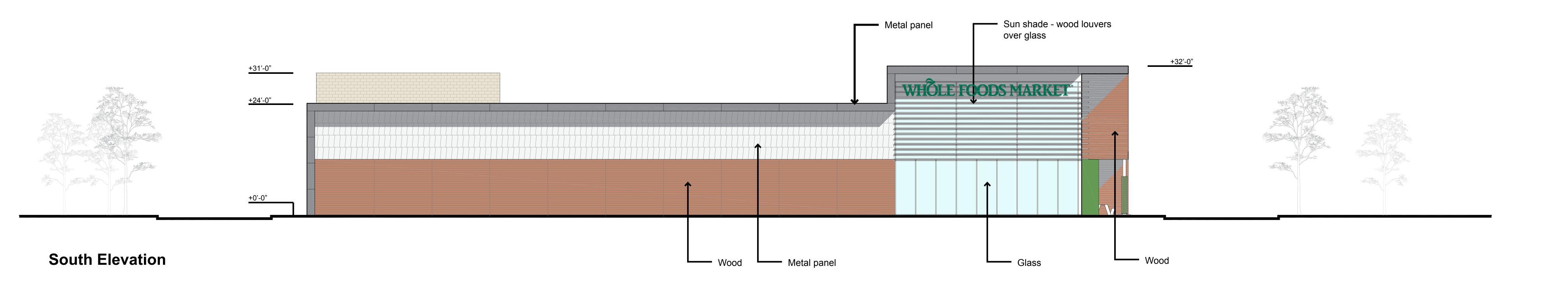


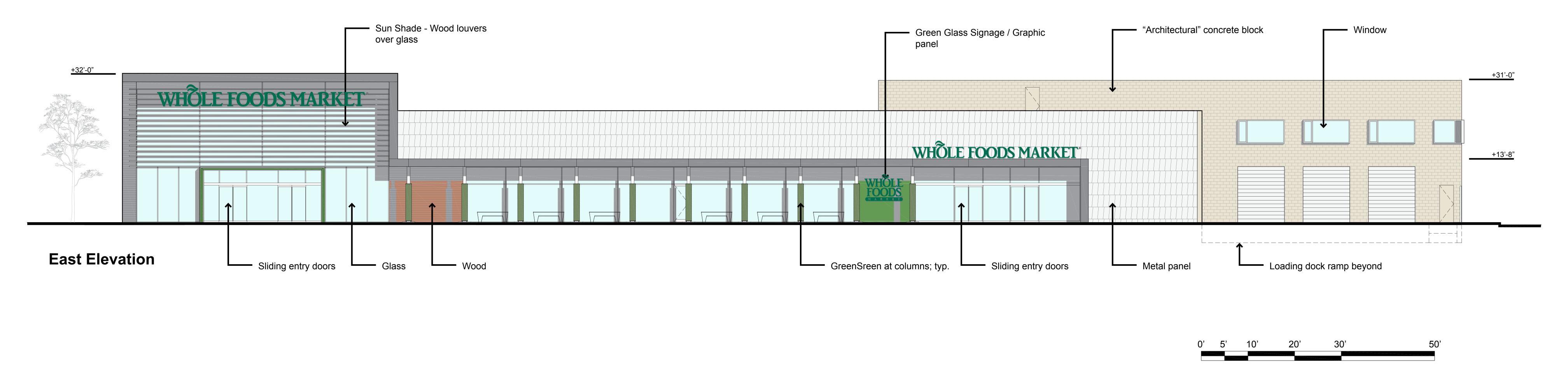
Rendering View 2



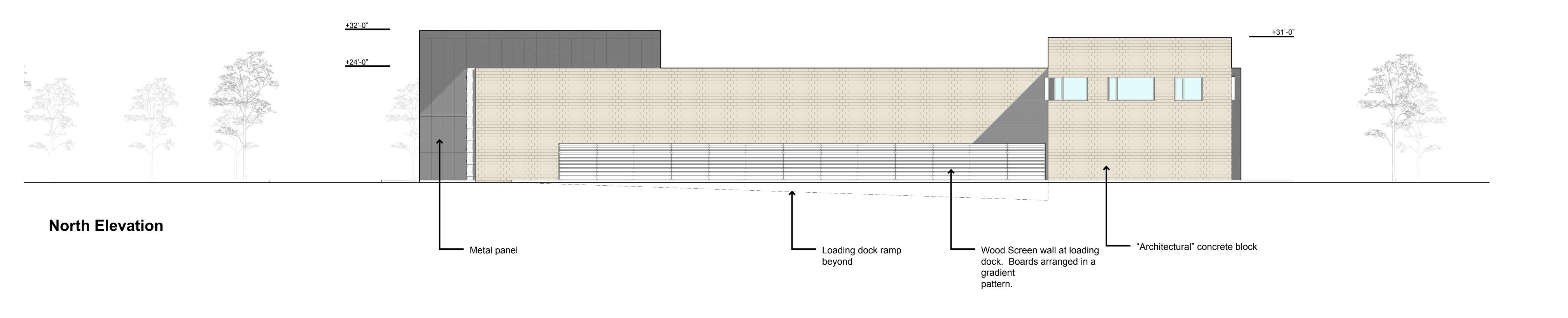


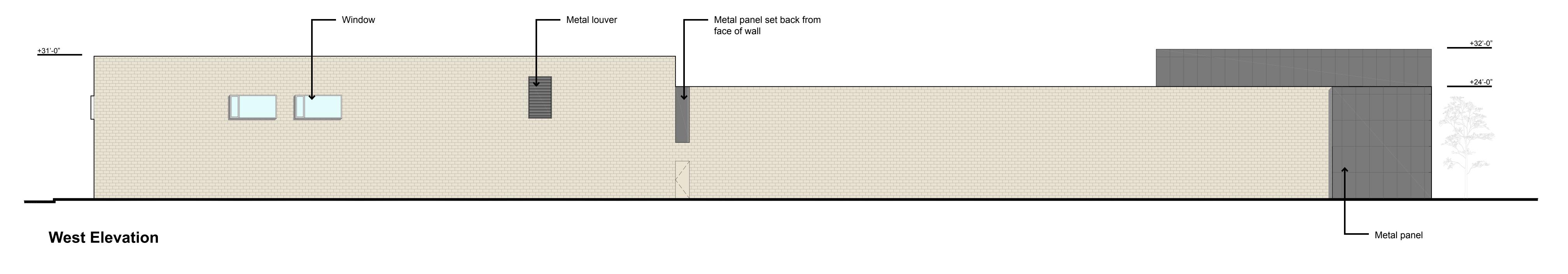


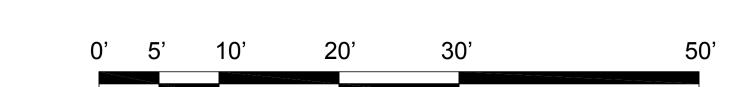






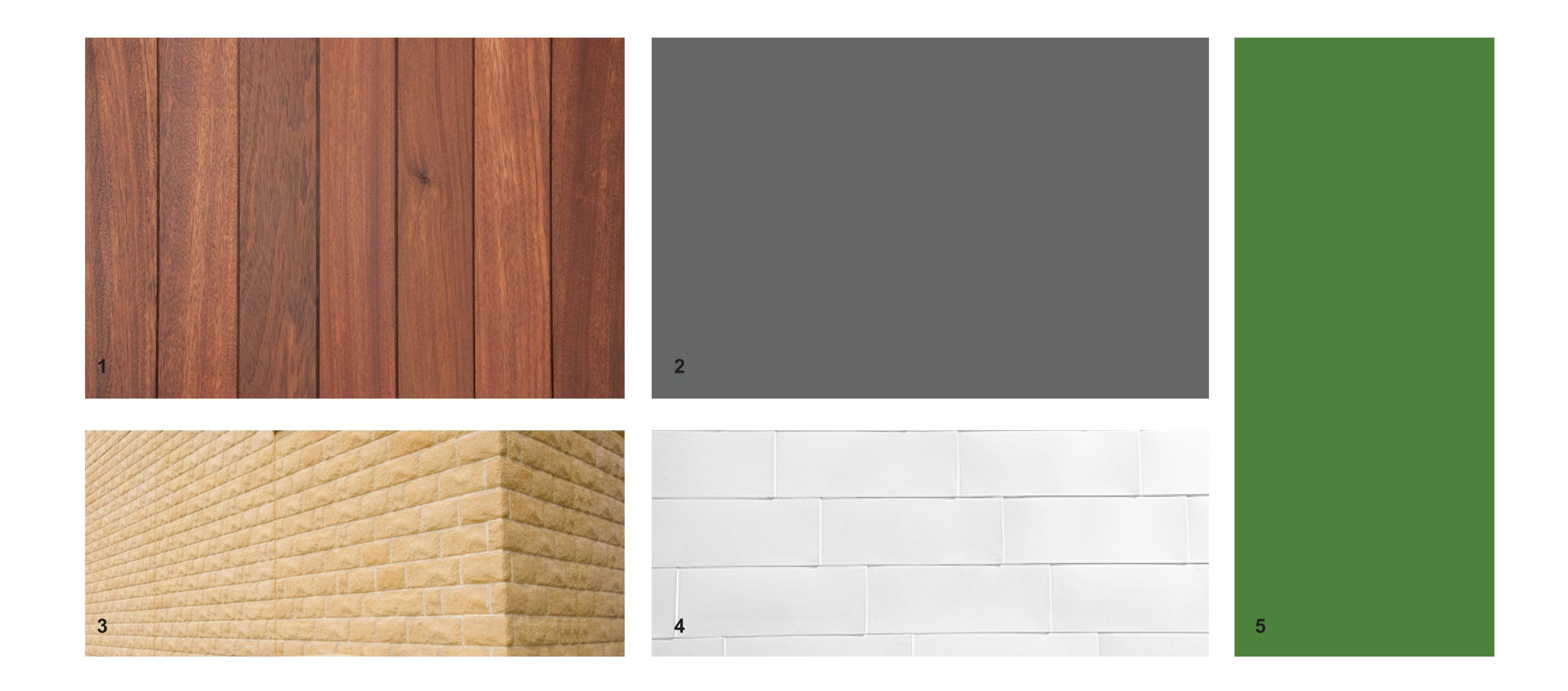












Exterior Materials

- 1. Wood
- 2. Grey Metal Panel
- 3. Architectural Concrete Block
- 4. White Metal Panel
- 5. Green Metal panel







Miscellaneous Perspective Images















Precedent Images













Precedent Images



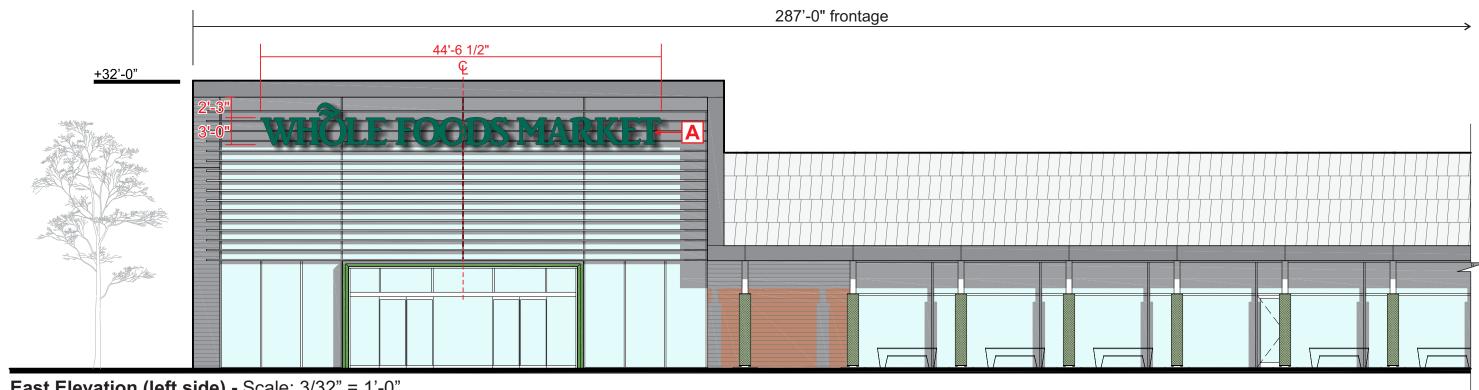




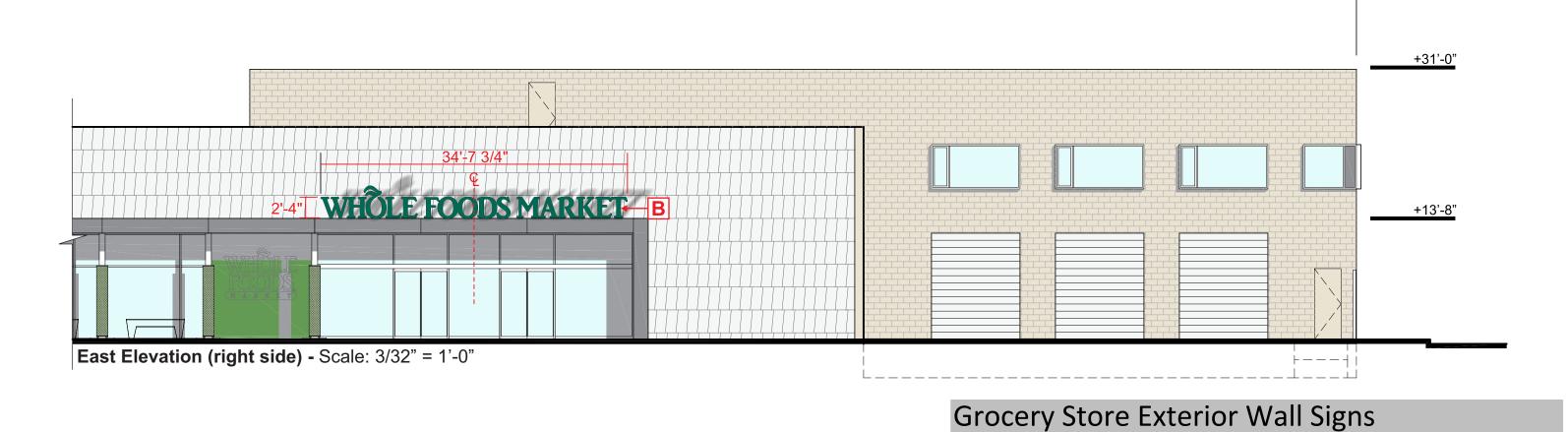
GreenScreen - column covers at covered patio











CA STATE CONTRACTORS LICENSE #826051 www.adart.com

FRESNO, CA 93711 T 559.225.2186

PROJECT:	REVISION	DATE
CUSTOMER: Whole Foods Market	_1	10-28-15
LOCATION: 528 Boston Post Road - Sudbury, MA 01776	_ 2	11-10-15
DATE: 10/27/2015	I — —	
SALES: David Esajian		
DESIGNER: James Franks	I	

DESCRIPTION APPROVALS Add site plan SALES: New elevations and site plan CUSTOMER: LANDLORD:

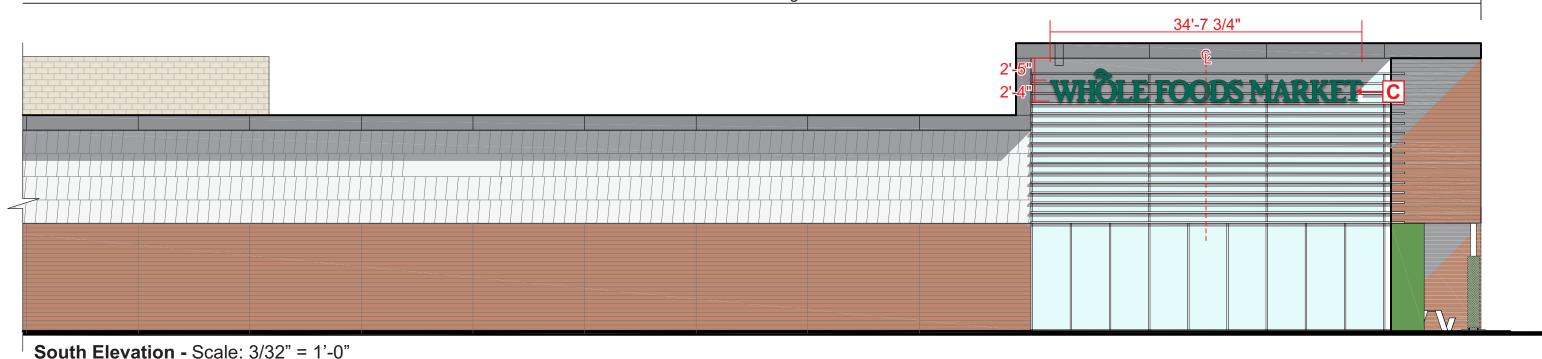
CONCEPTUAL DRAWINGS ONLY: Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

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1 of 3 JOB #18869

SHEET





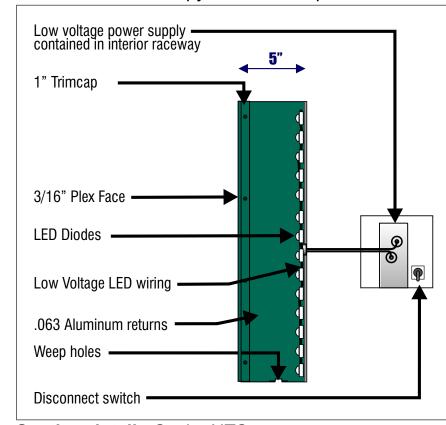


PAN CHANNEL LETTER SPECIFICATIONS

Description: Manufacture and install three (3) sets of internally-illuminated channel letters. Scale: 3/16" = 1'-0"

Component	Туре	Specifications	Color / Finish
Faces	3/16" Milky White Plex #2447	Vinyl applied 1at surface	3M Holly Green #3630-76
Trimcaps	1" Trimcap	Jewelite	Match PMS #342 (Green)
Returns	.063 Aluminum	Paint (satin)	Match PMS #342 (Green)
Illumination	LED		White

NOTE: Final attachment detail to be based on actual wall and canopy details once provided.



Section detail - Scale: NTS



02	PROJECT:
	CUSTOMER: Whole Fo
	LOCATION: 528 Bosto
	DATE: 10/27/201
	SALES: David Es
	DESIGNER: James Fr

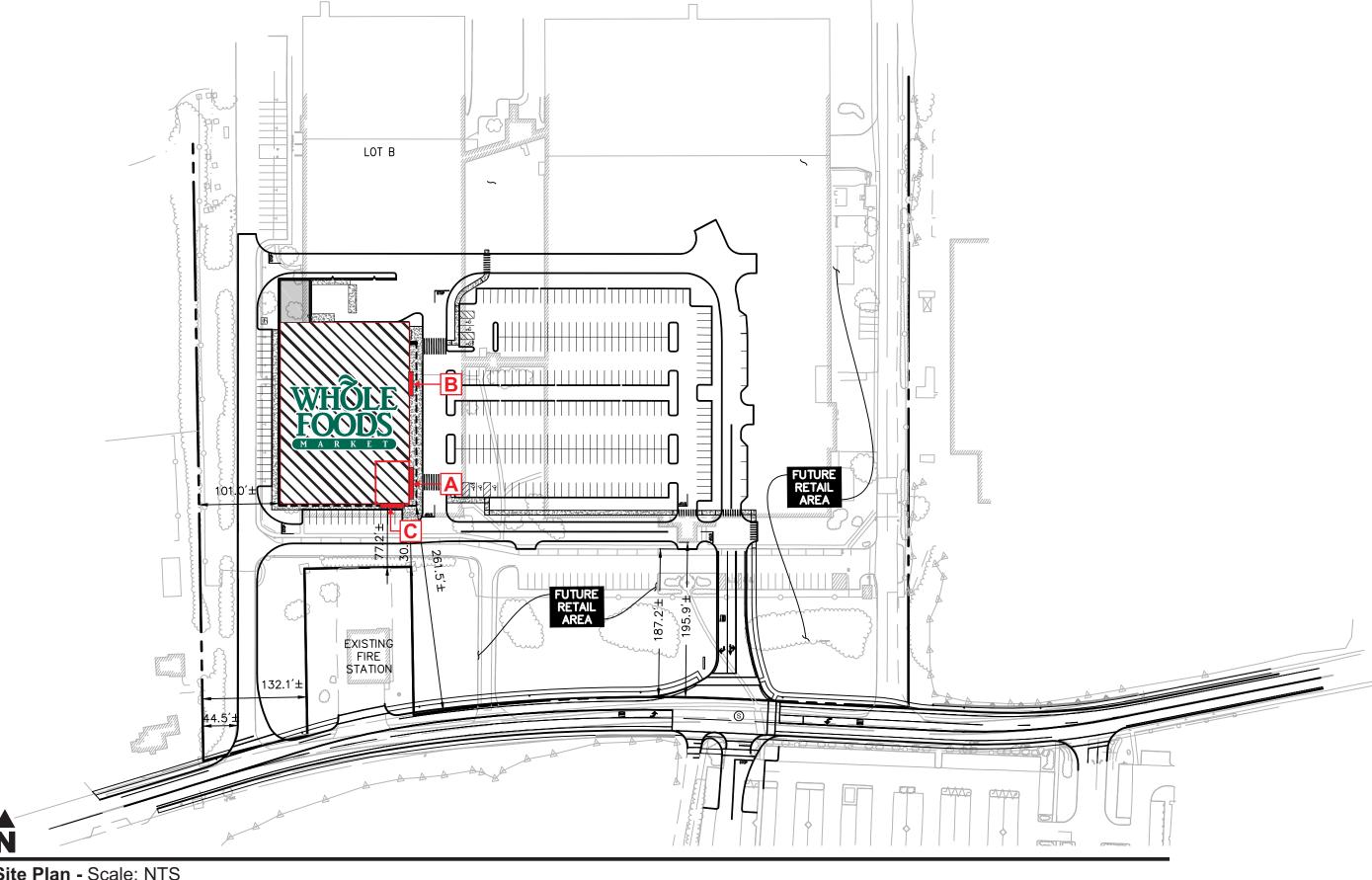
PROJECT:	REVISION	DATE	DESCRIPTION	APPROVALS	CON Dime
CUSTOMER: Whole Foods Market	1 2	10-28-15 11-11-15	Add site plan New elevations and site plan	SALES:	or ex Alway
LOCATION: 528 Boston Post Road - Sudbury, MA 01776 DATE: 10/27/2015		11-11-13	New devauons and site plan	CUSTOMER:	ALL This o
SALES: David Esajian				LANDLORD:	plann organ
DESIGNER: James Franks					conse

ONCEPTUAL DRAWINGS ONLY:

ensions are approximate & may change due to construction factors exact field conditions. Colors shown are as close as printing will allow vays follow written specifications.

LL RIGHTS RESERVED:

SHEET 2 of 3 JOB #18869



Site Plan - Scale: NTS



2670 W. SHAW LANE/SUITE 102 FRESNO, CA 93711

PROJECT:	REVISION	DATE	DESCRIPTION	APPROVALS	C (
CUSTOMER: Whole Foods Market	1	10-28-15 11-11-15	Add site plan	SALES:	OI Al
LOCATION: 528 Boston Post Road - Sudbury, MA 01776 DATE: 10/27/2015		11-11-13	New elevations and site plan	CUSTOMER:	A
SALES: David Esajian				LANDLORD:	pl
DESIGNER: James Franks					cc

CONCEPTUAL DRAWINGS ONLY: Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

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3 of 3

JOB #18869

SHEET

Local Approvals

Date Issued November 10, 2015

November 10, 2015 Latest Issue

Grocery Store at Meadow Walk Sudbury

526-528 Boston Post Road Sudbury, MA

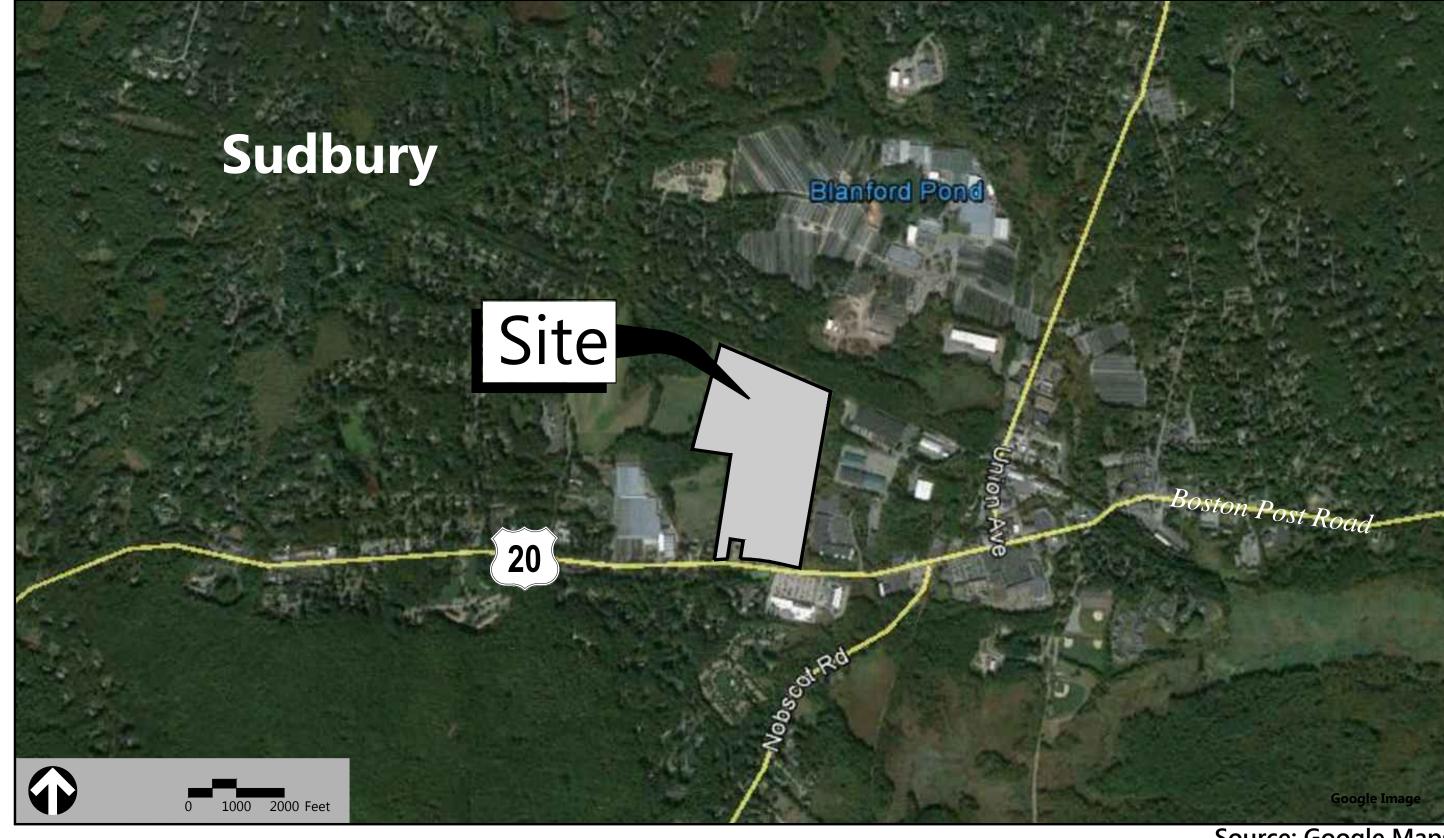
Owner

Raytheon Company 870 Winter Street Waltham, MA 02451

Applicant

BPR Development LLC c/o National Development 2310 Washington Street Newton Lower Falls, MA 02462

Assessor's Map: K07-0011 and **K07-0013**



Source: Google Maps

Sheet	Sheet Index		Reference Drawings		
No.	Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	November 10, 2015	S v-1 - Sv-6	Existing Conditions Plan of Land	October 28, 2015
C-2	Overall Site Plan	November 10, 2015	SL-1	Site Lighting Photometric Plan	November 10, 2015
	Site Preparation Plan	November 10, 2015	A-1	Floor Plan	November 10, 2015
C-4	Layout and Materials Plan	November 10, 2015	A-2	Mezzanine Plan	November 10, 2015
	Grading and Drainage Plan	November 10, 2015	A-3	Elevations - East and South	November 10, 2015
	Utility Plan	November 10, 2015	A-4	Elevations - West and North	November 10, 2015
C-7.1 - C-7.3	Site Details	November 10, 2015			
L-1.1	Planting Plan	November 10, 2015			
L-2.1	Planting Notes and Details	November 10, 2015			

Drawings that are shown with "strike-through" text were submitted for Site Plan Approval by the Town of Sudbury's Planning Board, but were excluded from the set for the submittal to the Town of Sudbury's Design Review Board.



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Wetlands Scientist Site Civil Engineer Transportation Engineer Landscape Architect

Architect

Jacobs Engineering Group One Broadway, 10th Floor Cambridge, MA 02142

Geotechnical Engineer

Sanborn Head & Associates, Inc. 1 Technology Park Drive Westford, MA 01886 (978) 392-0900

Lighting Consultant

Engineering Advantage, Inc. 880 Main Street 5th Floor Waltham, MA 02451



SUDBURY PLANNING BOARD APPROVED WITH CONDITIONS 13125.00 Local Appı

ACCESSIBLE PARKING

VAN-ACCESSIBLE PARKING

Abbreviations

Genera

ABAN ABANDON

ACCESSIBLE CURB RAMP

ADJ ADJUST APPROX APPROXIMATE

BITUMINOUS

BOTTOM OF SLOPE

BROKEN WHITE LANE LINE

CONCRETE

CONC DOUBLE YELLOW CENTER LINE

ELEVATION

ELEVATION EXIST EXISTING

GRAN

FOUNDATION

FIRST FLOOR ELEVATION

GRANITE GRADE TO DRAIN

LANDSCAPE AREA

LIMIT OF DISTURBANCE MAX MAXIMUM

MINIMUM

NOT IN CONTRACT

NOT TO SCALE

PERF PERFORATED

PROP PROPOSED

REMOVE

REMOVE AND DISPOSE

REMOVE AND RESET

RETAIN

SOLID WHITE EDGE LINE

SOLID WHITE LANE LINE

TOP OF SLOPE

TYP TYPICAL

Utility

CATCH BASIN

CORRUGATED METAL PIPE

CLEANOUT

DOUBLE CATCH BASIN

DRAIN MANHOLE

CAST IRON PIPE

COND CONDUIT

DUCTILE IRON PIPE

FLARED END SECTION

FORCE MAIN

FRAME AND GRATE

GUTTER INLET

GREASE TRAP

HIGH DENSITY POLYETHYLENE PIPE

FRAME AND COVER

HANDHOLE

HEADWALL

HYDRANT

INVERT ELEVATION INV

INVERT ELEVATION

LIGHT POLE

METAL END SECTION

PAVED WATER WAY

POLYVINYLCHLORIDE PIPE

POST INDICATOR VALVE

REINFORCED CONCRETE PIPE

RIM ELEVATION

SEWER MANHOLE

TAPPING SLEEVE, VALVE AND BOX

UNDERGROUND

UTILITY POLE

Notes:

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION
- ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH
- STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT). 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

(BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.

- 6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
- A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
- B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY. THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
- A. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON (DI).
- B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE.
- C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE). D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
- 11. PRIVATE UTILITY SIZING AND LOCATIONS ARE SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.

OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.

- 3. CURBING SHALL BE PRECAST CONCRETE CURB (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER. CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: REFER TO SHEETS NUMBERED SV-1 THROUGH SV-6 TITLED "EXISTING CONDITIONS PLAN OF LAND" PREPARED BY VHB FOR #526-528 BOSTON POST ROAD, SUDBURY, MASSACHUSETTS DATED OCTOBER 28, 2015.
- A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB

B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: VHB SURVEY ON SEPTEMBER 15 AND 24,

- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.
- 3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED IN MAY 2015 FROM SANBORN HEAD & ASSOCIATES. RECORD BORING/WELL INSTALLATION LOGS BY GZA WERE OBTAINED FROM FEBRUARY-MARCH 1990, SEPTEMBER 1991, AUGUST 2007 & 2008, AND

Document Use

SEPTEMBER 2008.

1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT

SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.

- 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Grocery Store at Meadow Walk Sudbury

526-528 Boston Post Road

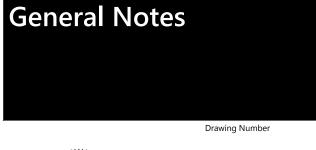
Sudbury, MA

KEJ/BMG

Local Approvals

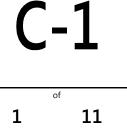
Legend and

Not Approved for Construction





11/10/2015

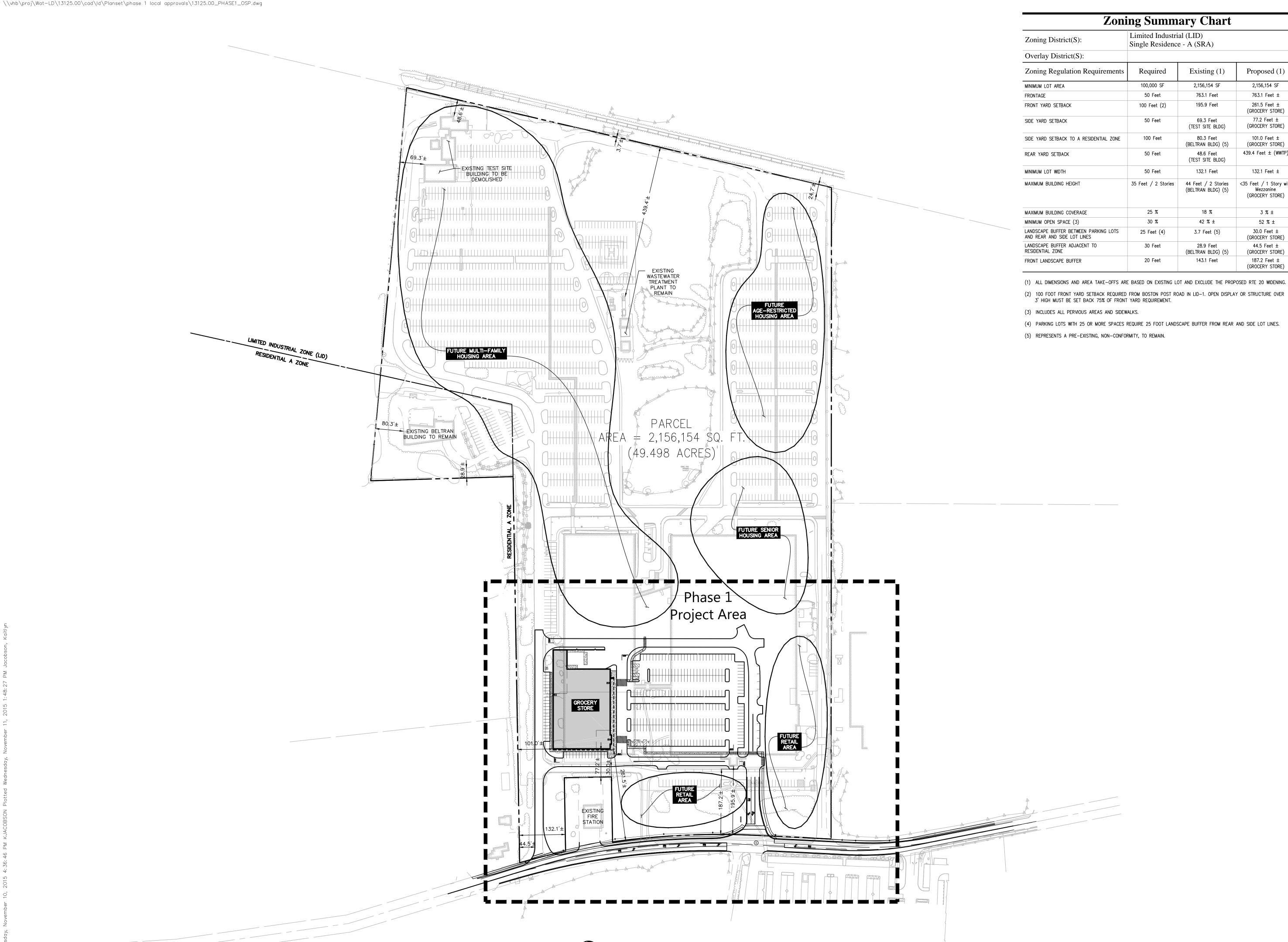


KFS

November 10, 2015

Project Number

13125.00





Watertown, MA 02471

617.924.1770

Existing (1)

2,156,154 SF

763.1 Feet

195.9 Feet

69.3 Feet

(TEST SITE BLDG)

80.3 Feet

(BELTRAN BLDG) (5)

48.6 Feet

132.1 Feet

44 Feet / 2 Stories

(BELTRAN BLDG) (5)

18 %

42 % ±

3.7 Feet (5)

28.9 Feet

(BELTRAN BLDG) (5) 143.1 Feet

(TEST SITE BLDG)

439.4 Feet \pm (WWTP)

132.1 Feet ±

<35 Feet / 1 Story with

(GROCERY STORE)

3 % ±

52 % ±

30.0 Feet \pm

(GROCERY STORE)

44.5 Feet ±

(GROCERY STORE)

187.2 Feet ±

(GROCERY STORE)

Grocery Store at Meadow Walk Sudbury

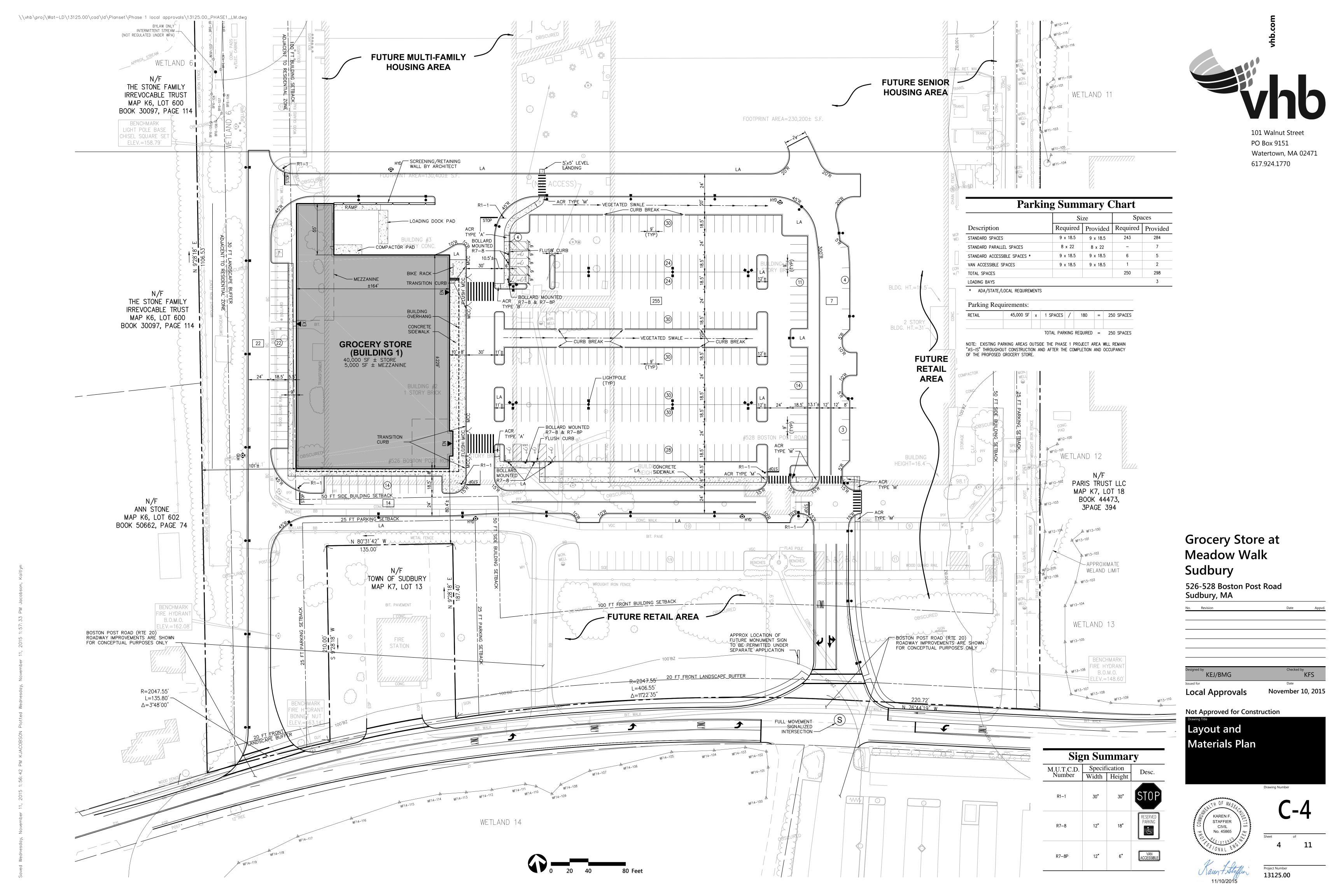
526-528 Boston Post Road Sudbury, MA

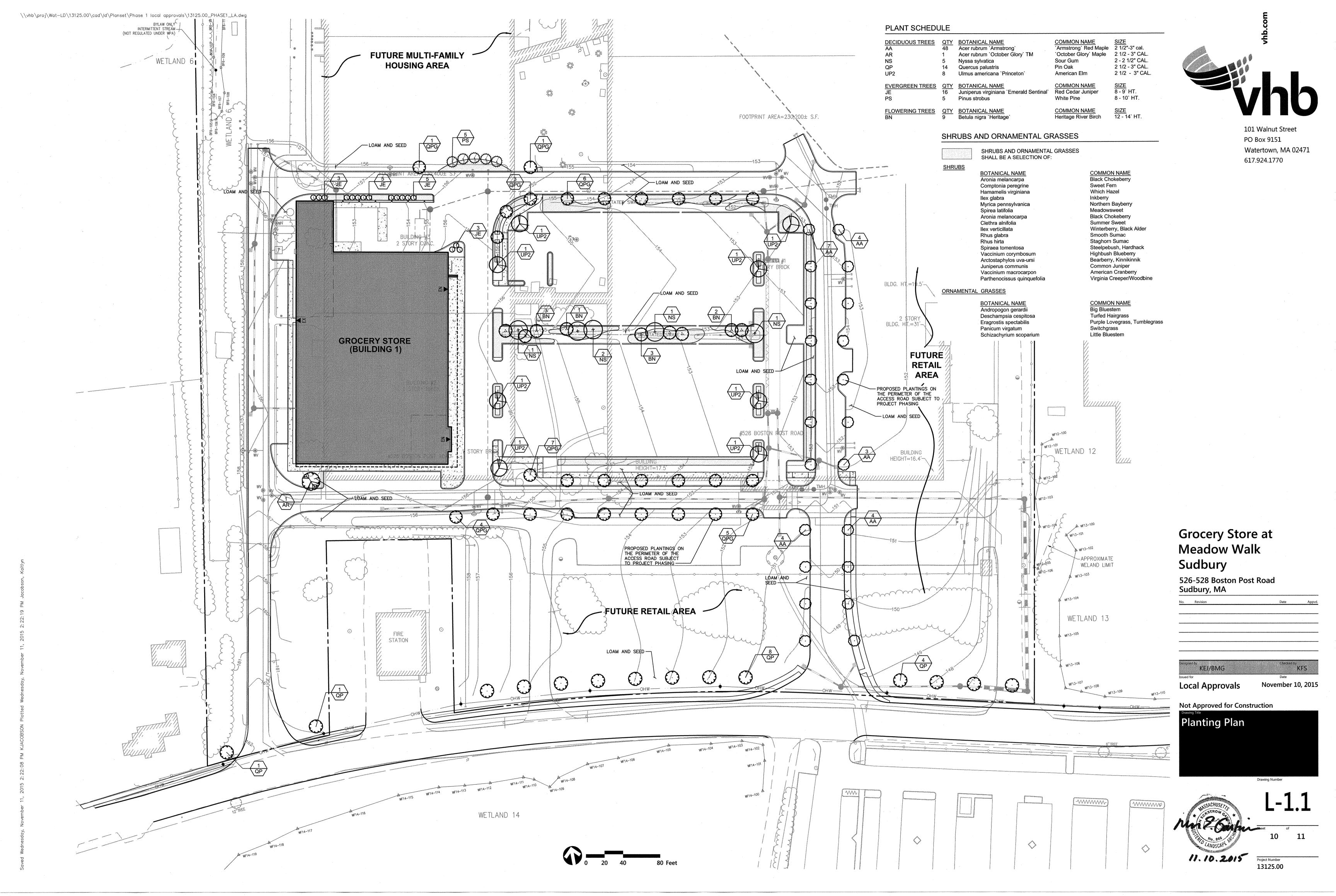
KEJ/BMG November 10, 2015 **Local Approvals**

Not Approved for Construction

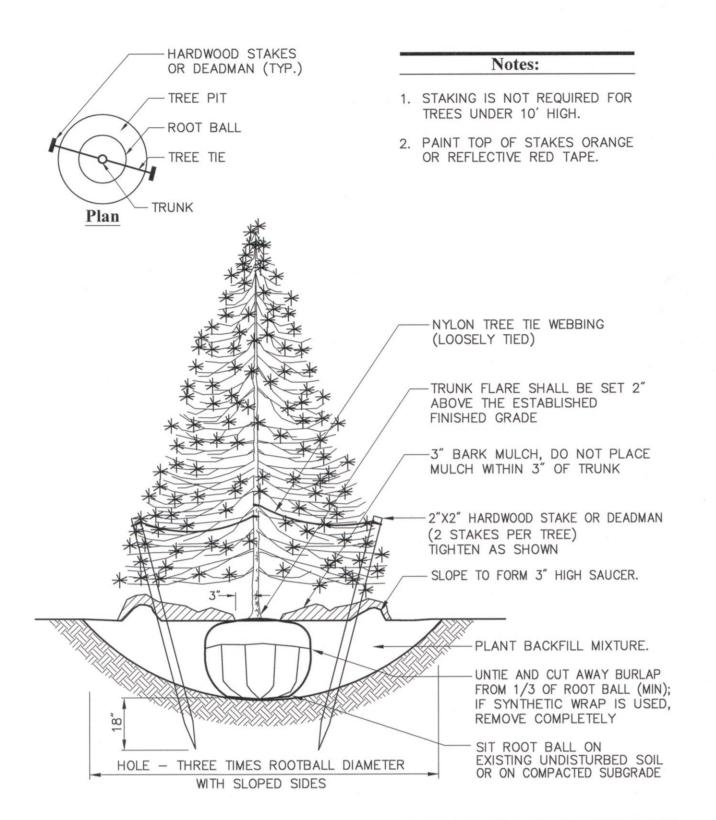




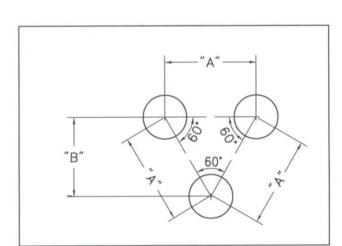




Multistem Tree P	lanting	6/15
N.T.S.	Source: VHB	LD_606

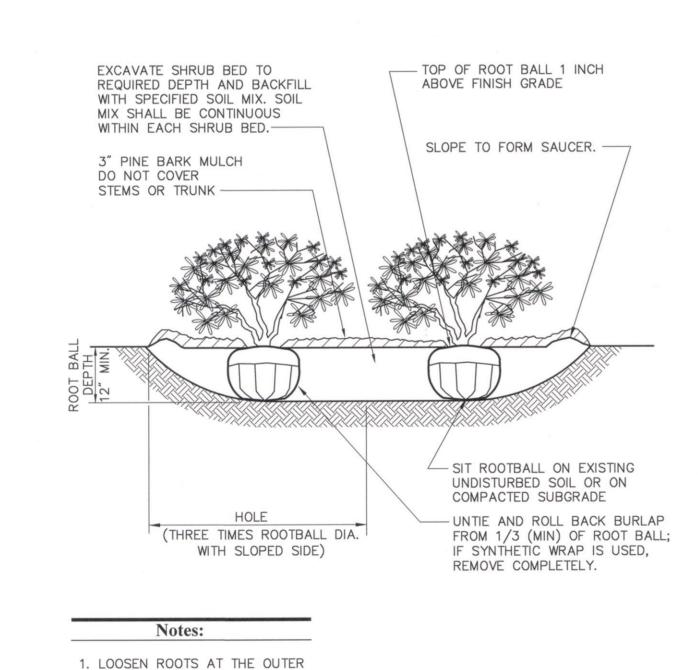


evergreen Tree Planting	2	6/15
.T.S.	Source: VHB	LD_604



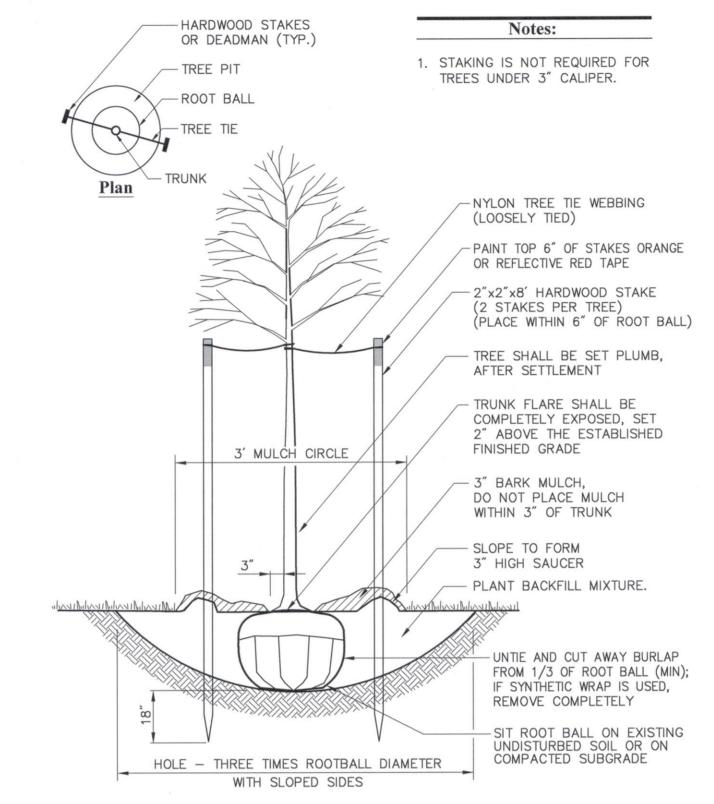
PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

Ground Cover an	d Shrub Spacing Chart	6/08
N.T.S.	Source: VHB	LD_616



Shrub Bed Planting 6/08 N.T.S. LD_601 Source: VHB

EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.



Tree Planting	(For Trees Under 4" Caliper)	6/15
N.T.S.	Source: VHB	LD_602

Planting Notes

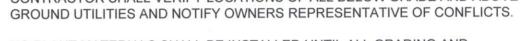
- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL

Tree Protection

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- 2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- 3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT



- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL

- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- DATE OF FINAL ACCEPTANCE.
- EROSION CONTROL FABRIC.
- REPRESENTATIVE.
- DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Grocery Store at Meadow Walk Sudbury

526-528 Boston Post Road Sudbury, MA

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Designed by	Checked by

101 Walnut Street

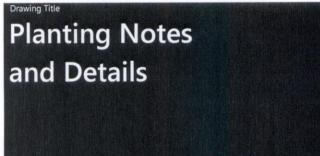
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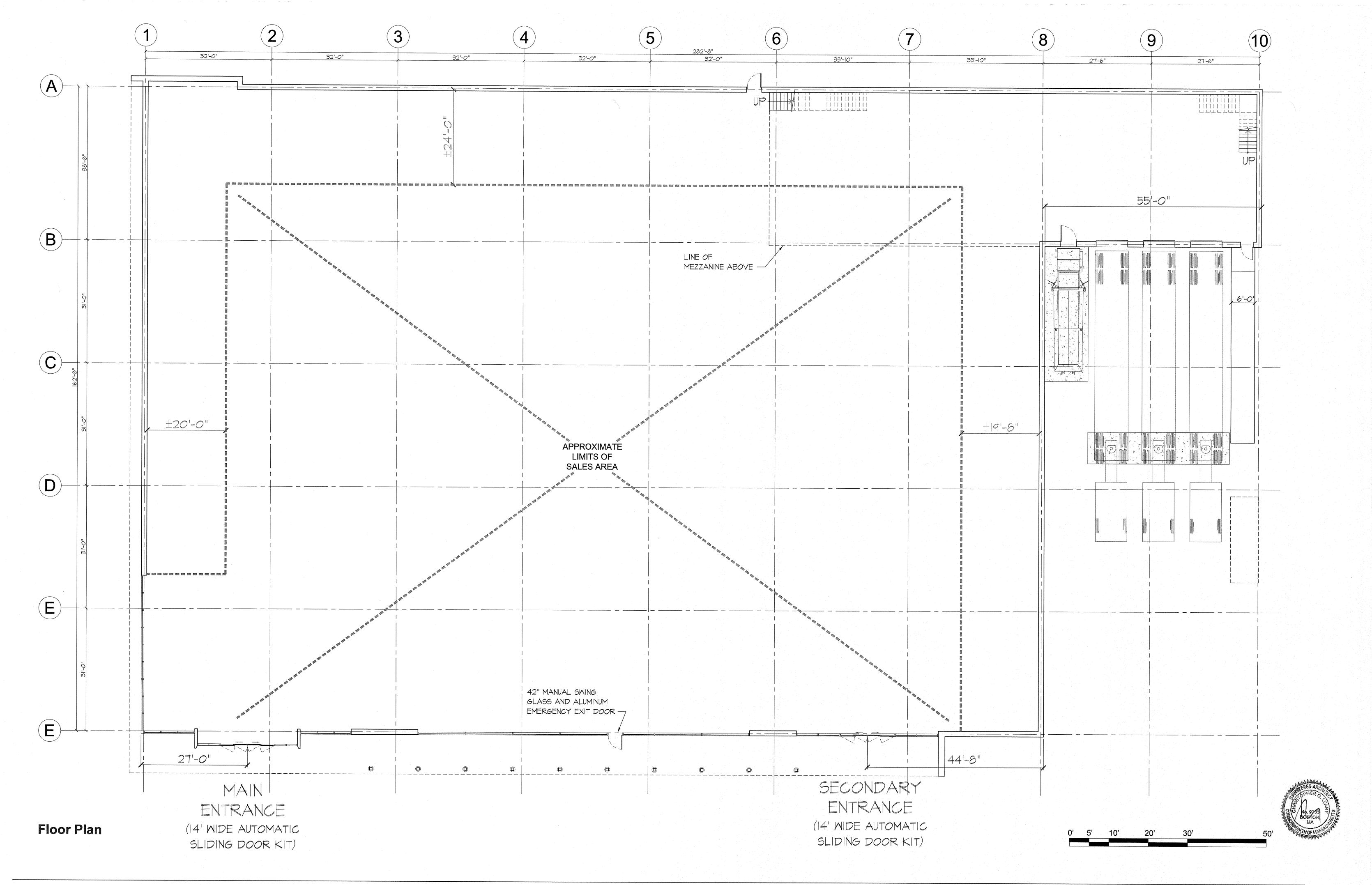
November 10, 2015 **Local Approvals**

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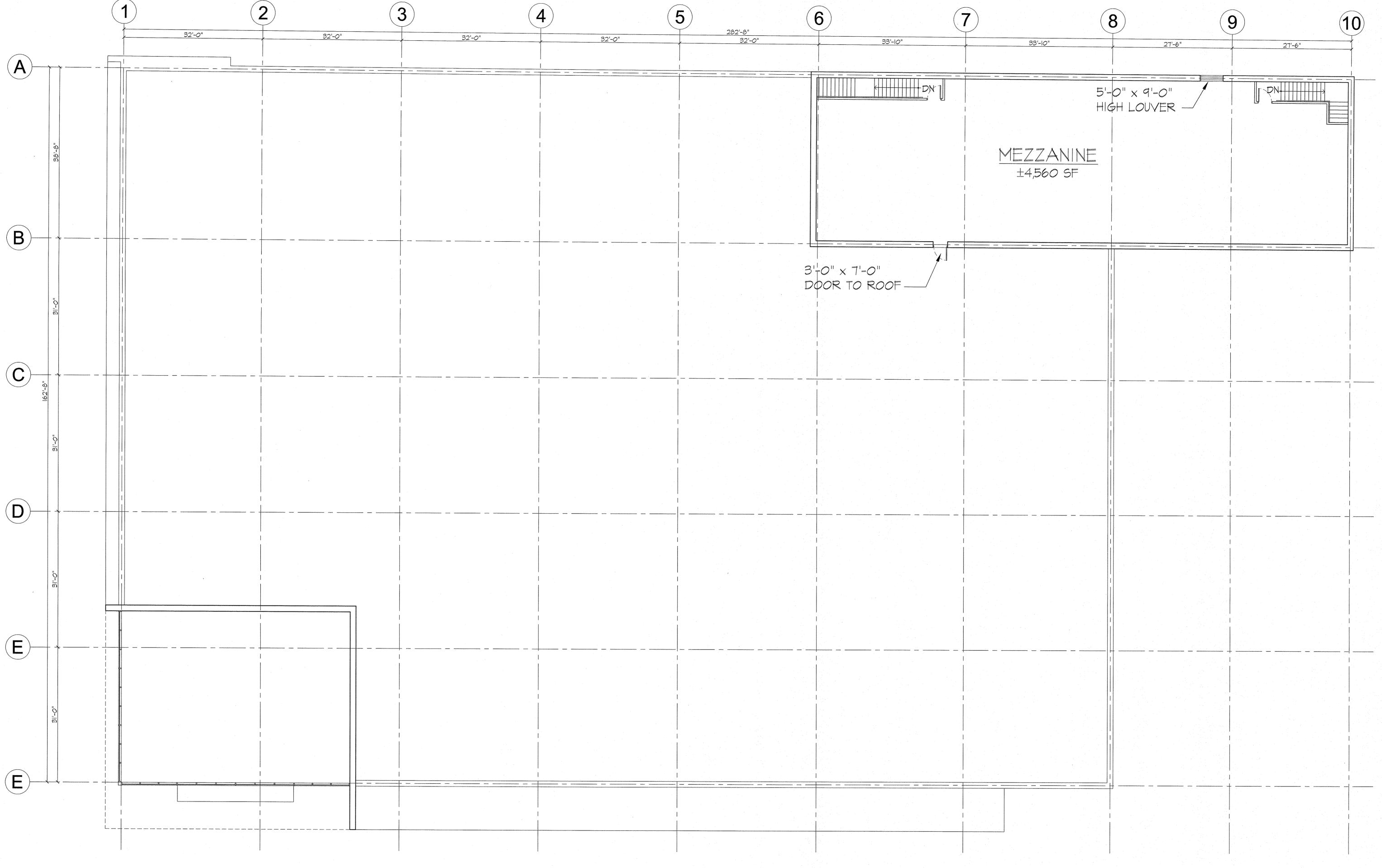




13125.00







Mezzanine Plan

