

Town of Sudbury

Planning and Community Development Department

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Jody A. Kablack, Director

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TO: Planning Board
Zoning Board of Appeals
Design Review Board

FROM: Jody Kablack, Planning and Community Development Director

RE: Grocery Store at Meadow Walk Site Plan – National Development
526/528 Boston Post Road

DATE: December 4, 2015

Applications for Site Plan Review, Stormwater Management, ZBA Special Permits and Design Review have been received from National Development for construction of a new 45,000 sq. ft. retail grocery store, parking, landscaping, lighting and other site amenities. Site Plan Review is required under section 6300 of the Zoning Bylaw. Special Permits from the ZBA are required for a Major Commercial Project (any commercial building >20,000 sq. ft.) and for signage that is larger than allowed under section 3200 of the Zoning Bylaw. Design Review is required for exterior architectural elements of commercial buildings, lighting, landscaping and signage.

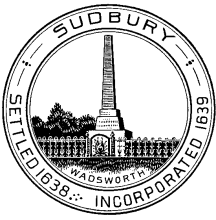
The plans submitted with the applications consist of Site Plans prepared by VHB dated November 10, 2015, containing 11 sheets showing the proposed development (Legend; Site Plan; Site Preparation Plan; Layout and Materials Plan; Grading, Drainage and Erosion Control Plan; Utility Plan; Site Details; Planting Plan; Planting Notes and Details; Existing Conditions; and Site Lighting and Photometric Plan); Building Plans, color elevations and materials plans dated November 10, 2015 prepared by Jacobs.

Also included in the application submittals are the Owner's Consent Letter, narrative statements regarding the project and each specific application, peer review fees for stormwater and traffic review, Traffic Memorandum prepared by VHB dated November 10, 2015, Stormwater Memorandum prepared by VHB dated November 10, 2015, Building Coverage and Open Space calculations, and parking calculations.

The site is a 50+/- acre parcel of land in the Limited Industrial Zoning District (including a small portion of the property in the A-Residential Zoning District). Retail use is a permitted use in the Zoning Bylaw in this district. The site is also within Zone II of the Water Resource Protection District. The site is currently improved with approximately 550,000 sq. ft. of office in several buildings, 2040 parking spaces, a 50,000 gallon/day capacity wastewater treatment plant and stormwater management system. The existing buildings and impervious surfaces are proposed to be demolished.

The subject application project proposes the construction of a 45,000 sq. ft. grocery store and 298 parking spaces on a portion of the property. Additional phases of development contemplated for this site include future construction of several additional retail buildings (up to 100,000 sq. ft. in total), future construction of a 50+/- bed specialty care facility, and future construction of 50-60 age-restricted condominium complex, all by National Development. Avalon Bay is also proposing the future construction of a 250 unit rental development.

A new main entrance into the site on Route 20 is being proposed which will be signalized (pending MassDOT approval). The existing westernmost Raytheon access driveway will be utilized as a secondary access. The existing 50,000 gallon/day wastewater treatment plant will service the retail building (as well



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as all the future development). The existing stormwater management system and retention basin will service the development as well, however upgrades to the stormwater management system are contemplated to make it more compliant with current standards.

I have reviewed the application materials and offer the following comments and recommendations:

1. The Zoning Summary included in the application indicates all zoning requirements have been met.
2. Hours of operation and number of prospective employees should be included in the project narrative.
3. The development proposes 48 parking spaces greater than the minimum required (250 required, 298 proposed). In order to reduce impervious surface on the site it is recommended to reduce the total number of spaces. 7 spaces located along the main access road should be removed at this time, and the decision regarding on-street parking should be taken up once the overall development plan has been proposed. 25 spaces shown in the parking lot at the eastern edge could be removed to provide a wider landscape buffer (and the inclusion of a pedestrian walkway along this side of the main road). Up to 75 spaces could be approved as Reserved Spaces and not constructed until needed.

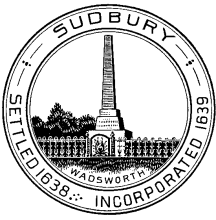
It is noted that the 14 spaces located adjacent to the building have been determined by the Building Inspector to be compliant with the bylaw, as the intent is to prohibit parking within the front yard setback of buildings. These spaces will be located greater than 250 feet from Boston Post Road, and will be behind the fire station.

It is questioned if the 19 existing parking spaces in the front of the site will remain.

4. Outdoor lighting is shown on the site plan and consists of 18, 31' high pole lights (4 triple fixture, 6 double fixture and 8 single fixture), and 19, 18' high light poles (all single fixture). A comparison of the height of the poles across the street at the Shaw's Plaza should be submitted. The applicant is requested to confirm compliance with section 3427(f) of the Zoning Bylaw. Any additional lighting fixtures must be shown on the Detail sheet.

The Board may want the applicant to describe compliance with the Night Sky Initiative. The new development proposes more lighting than what currently exists on the site. It is questioned if somewhat more ornamental lighting is desired. The Boards may also want to have a peer review of the lighting plan to determine its impact on the surrounding properties. However, this may be more applicable during review of the remaining retail sites which are closer to Route 20 than this initial building.

5. The frontage of the property contains significant trees that screen the rear of the site. Many of these will be removed when the remaining retail is constructed. Any existing trees along the



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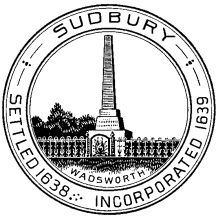
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frontage of the property that could be preserved should be shown and labeled on the site plan. The large oak tree close to the fire station is one tree that may be able to be preserved.

6. The western property line should be reviewed to determine if adequate screening exists between this site and the adjacent residential property. Section 3531 of the Zoning Bylaw requires a 30' buffer, however if existing vegetation is not appropriate or adequate, the Board should require additional plantings.
7. Plantings throughout the site as shown on the Landscape Plan include 106 evergreen and deciduous trees. These will be planted along the roads and driveways, and along the aisles in the parking lot. Shrubs and ornamental grasses are also proposed in the aisle areas.
8. The engineer of record should document compliance with section 3540 of the Zoning Bylaw regarding the minimum amount of landscaping in the parking lot. The requirement is to install 150 sq. ft. of planting per 1000 sq. ft. of parking area (including aisles).
9. Signage proposed consists of 3 internally-illuminated wall signs (2 along the east elevation and 1 along the south elevation). The signs are significantly larger than allowed under the bylaw. The signs require DRB review, as well as special permits from the ZBA. The plans should indicate the location for signs "A", "B" and "C".

A freestanding sign at the development entrance will be submitted for review and approval at a later date.

10. The Traffic Memorandum only supplies traffic impacts for the grocery store. The applicant should be required to submit estimated traffic figures for the entire development to allow the Town to ascertain impacts.
11. The Conservation Commission has approved the wetland delineation on the property, as well as the demolition of the first phase of buildings. Additional approvals will be required for construction.
12. MassDOT approval is needed for the signal, however no plans have been submitted to the Town at this date. A separate public process for the signal will be dictated by MassDOT once the 25% design plan is completed.
13. This proposal will require a Water Resource Special Permit from the Planning Board, as the amount of impervious surface exceeds 15%. The application states that impervious surface will be reduced by 2-3 acres overall across the property, and open space will be increased from 42% to 52% across the entire property.
14. A Stormwater Management Permit application has been submitted, but no stormwater report has been received to date. The deadline for action on the Stormwater Permit is February 12, 2016. The Applicant will be requested to extend that deadline commensurate with the amount of time



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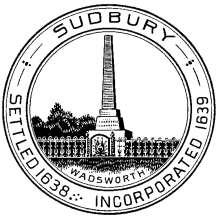
between the filing date and the submittal of a complete application so that there is adequate time for review.

15. Signature blocks for the Planning Board, Director of Planning and Community Development, Building Inspector and DPW Director must be added to all plan sheets.

16. For additional information, a Phase 1 Site Assessment with Subsurface Investigation has been prepared by Sanborn, Head & Associates dated August 2015, for the Raytheon property is on the Town's website in the Avalon Bay Project Eligibility Application (available on the Town's website). This report gives historical information on any hazardous material releases from the property. The Executive Summary from the report states there is 1 known disposal site subject to the Mass. Contingency Plan present on the property, identified in 1990-1991, which has been monitored by Raytheon. This is a condition of chlorinated volatile organic compounds present in groundwater sampling in the northeastern portion of the property.

As a condition of the recent Conservation Commission Order of Conditions requires the applicant to submit proof that DEP found "No Further Action" necessary regarding the reported releases on the site, as well as a statement from a Licensed Site Professional addressing the Commission's concern for the infiltration of runoff in new areas of the site.

17. As noted above, pedestrian connectivity does not extend along the main driveway down to Route 20. The applicant should consider the construction of walkways along both sides of the main driveway.
18. The applicant should also consider a pedestrian connection to the adjacent industrial park (Chiswick Park). Employees from that property will shop at the grocery store more frequently if a convenient and easy access is provided. Additionally, any walking trails proposed on the National Development property could link with the Emerson Medical Building conservation trail in Chiswick Park to provide a longer recreation loop.
19. It is assumed all new utilities onto the property will be installed underground. The applicant should consider undergrounding the existing utilities along the frontage of the property to provide a cleaner, more modern look to the new development.
20. The Board of Selectmen will be negotiating mitigation for the entire development. If the Boards have any strong desires about mitigation, these thoughts should be communicated directly to the Selectmen.
21. A pre-application meeting with department heads was held on October 28, 2015. The notes from that meeting are attached.
22. The Zoning Board should review the Special Permit Criteria in section 6220 of the Zoning Bylaw when making its determination as to the appropriateness of the Major Commercial Project, and the Criteria in section 3290 when deciding on the sign permits (attached).



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23. The Planning Board should review the Site Plan Criteria in section 6380 of the Zoning Bylaw when making its decisions on the Site Plan application (attached).
24. It is recommended to schedule a site visit to the property before the hearings are closed.
25. The 120 day time limit to issue a Site Plan decision expires on March 12, 2016.
26. The deadline to issue the Special Permits is 90 days after the close of the public hearing.

Attachments

cc: Building Inspector
Conservation Coordinator
DPW Director
Health Director
Fire Chief
Police Chief
Sudbury Water District
Board of Selectmen
Applicant

National Development at Raytheon, Pre-Application Meeting

10/28/15

11:00 am

DPW Building

Present: Debbie Dineen, John Whalen, Bill Place, Bill Murphy, Bill Miles, Jody Kablack, Becky McEnroe, Mark Herweck, Jen Koffel (DRB)

Developer Team: Jack O'Neil, Steve Senna, Rich Hollworth, Karen Staffier

Steve Senna, National Development - Master Plan of multiple uses, needs rezoning for several pieces, as of right development is a proposed grocery store. Demo and abatement permits will be filed this week with Conservation and Building Dept. Hoping to file permits for grocery store in November with Conservation, Planning, ZBA, DRB. Hoping to get some feedback today and revise plans accordingly for submission plan set.

Rich Hollworth - some design is dictated by the tenant; access and stormwater is designed to function for entire site. Route 20 access will be constructed early before the rest of development is permitted. VHB has done a lot of data collection and wetland delineation.

Jack O'Neil - phasing: grocery store will begin construction in spring; eastern Raytheon buildings will be demolished in early 2017; full occupancy of grocery store in summer 2017. National Dev. will be installing shell of building, parking lot, stormwater. Tenant will complete interior of building.

Debbie - met on Monday with VHB and National Dev. Went over overall wetlands and since site is fully developed she doesn't see any big wetland issues. Most concerns are for phased development and separate permits. Commission will hire Dave Burke to assist due to amount of wetlands. Wetland filing fee will be used first, overage will be paid by applicant. Irrigation well will need to be reviewed as it is non-conforming.

Becky McEnroe, Sudbury Water District - still concerned for phasing and water line use in back building. New SWD policy requires any development using >2500 gpd to submit a water impact report to review issues relative to new Water Management Permit. Details of policy being refined. Needs to be implemented prior to permit for water meter. Would like to review fire line reuse with VHB at a separate meeting.

Response: Mostly new water lines. Existing irrigation well on site, but not sure of condition. Not sure about landscape irrigation at this time.

Jen Koffel - DBR has not reviewed yet, but items they will be concerned with: design along Route 20 and other buildings, including pedestrian improvements.

Response: 3 curb cuts on Route 20 will be consolidated to 2. Main entrance will be across from Shaw's and will be signalized. Pedestrian network will be developed and presented.

John Whalen/Bill Miles - Traffic signal will need control for Station 2. Apparatus has OptiCon but not sure it will be effective. Need traffic plan to alleviate conflicts during construction. Busiest engine resides at this station and is deployed approx. 2200 times/year. Incidents with Raytheon have been dealt with professionally because the facility is always manned and well coordinated. Fire Station improvements are needed here. 1962 construction - needs replacement, not improvement. Best scenario would be for the ability to construct without moving out (need for additional land).

Response: Cranshaw Construction will be submitting some details soon for demo phase. Can find interim land for use by Fire Dept. during construction, but who will pay for new station?

Bill Place - Stormwater Permit necessary, concurrently with either ConCom or Planning Board. Will site be curbed (yes, most of it). Depth to water table? Some areas of shallow groundwater. Walkway along Route 20 needs an easement (on private property). Westerly access may need to be restricted to right turn only. Town installed a leach pit on Raytheon property to capture runoff from Fire Station - should be connected or upgraded.

Response: Net reduction in impervious surface. Most improvements will be in conveyance system and water quality. Will be well documented. Grocery store phase has limited opportunity for LID, but other aspects of the site will use. Westerly access point is being designed for full access. Left turn in approaching from the west should not be problematic.

Bill Murphy - major food supplier should do comprehensive food plan. Paying close attention to anything that will produce odors or noise in proximity to residential units - trash compactors, dumpsters, grease traps, wastewater treatment plant housing, etc.

Mark Herweck - How many general contracts (4 - interior of grocery store, site improvements and shell of grocery store/senior housing, 40B). Ownership - National will own retail, age restricted and senior housing; Avalon Bay will own rental units. Possible concern for number of subcontractors. May need peer review for compliance review. Ok with zoning issues discussed with National Development lawyer for first phase of project (location of parking, front yard setback, commercial parking with 1000 feet of residences, need for a WRSP). Length of time to remove the building? Estimated 1 month of abatement. Will get back with additional information on length of time.

Jody Kablack:

Parking seems consistent with current zoning - tenant mandate of 255, expect some overlap with other tenants. They will not be seeking a variance to reduce parking.

WRSP - still reviewing for need

DOT curb cut - 25% design plan planned for Feb. 2015. Needs MEPA review, filing in mid-Dec.

Peer review - any other dept. that needs peer review should identify that soon. Planning, Conservation, Building, Fire will all need help.

All utilities underground? Yes, in first phase. Route 20 utilities will remain. May be requested as mitigation by Planning Board.

Site Walk? Once applications are submitted.

DRB applications should include architectural, signage, landscaping.

Site Plan must include coverage, open space calculations, traffic impacts, earth removal, height of buildings, signs, dumpster locations.

National Development asked if it made sense to combine the Planning Board and DRB meetings since they are on the same night.

** Debbie - consultant for stormwater peer review should be the same as for Planning Board. Concern for overlapping jurisdiction. They like Fred King from Schofield. Any plantings within 100' of a jurisdictional wetland needs to be native from their list. If any barrier is proposed along western property line, needs to be identified due to potential wetland impacts, and wildlife barrier. ENF? Yes, not an EIR.

Response: Not proposing any barrier along the lot line at this time.

No other comments.

3290A. Design Guidelines. The following are further means by which the objectives for signs stated at the beginning of Section 3200 can be served. These guidelines are not mandatory, but degree of compliance with them may be considered by the Design Review Board and by the Special Permit Granting Authority in acting upon permits authorized under this section, as may consistency with the basic sign objectives cited above.

3291A. Efficient Communication.

- a. Signs should not contain selling slogans or other advertising which is not an integral part of the name or other identification of the enterprise.
- b. Signs should be simple, neat and avoid distracting elements, so that content can be quickly and easily read.

3292A. Environmental Relationship.

- a. Sign design should take into consideration the size, brightness, style, height and colors of other signs in the vicinity.
- b. Sign brightness should not be excessive in relation to background lighting levels, e.g. averaging not in excess of 100 foot-lamberts in the commercial area of similarly bright areas and not in excess of 20 foot-lamberts in unlighted outlying areas and in areas bordering on or visible from residential zones.

3293A. Building Relationship.

- a. Signs should be sized and located so as not to interrupt, obscure, or hide the continuity of columns, cornices, roof eaves, sill lines, or other elements of building structure, and where possible, should reflect and emphasize building structural form.
- b. Sign materials, colors, and lettering should be reflective of the character of the building to which the sign relates.
- c. Clutter should be avoided by not using support brackets extending above the sign or guy wire and turn buckles.

6200. SPECIAL PERMITS.

6210. Special Permit Granting Authority. Unless specifically designated otherwise, the Board of Appeals shall act as the Special Permit Granting Authority.

6220. Criteria. Unless otherwise specifically provided to the contrary, the Board of Appeals shall, before granting special permits, find that in its judgment all the following conditions are met:

- a. That the use is in harmony with the general purpose and intent of the bylaw;
- b. That the use is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district;
- c. Adequate and appropriate facilities will be provided for the proper operation of the proposed use;
- d. That the proposed use would not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials or other visual nuisances;
- e. That the proposed use would not cause undue traffic congestion in the immediate area.

6300 Site Plan Review

6380. Approval. Site Plan approval shall be granted upon determination by the Planning Board that the plan meets the following objectives. The Planning Board may impose reasonable conditions at the expense of the applicant, including performance guarantees, to promote these objectives. Any new building construction or other site alteration shall provide adequate access to each structure for fire and service equipment and adequate provision for utilities and stormwater drainage consistent with the functional requirements of the Planning Board's Subdivision Rules and Regulations. New building construction or other site alteration shall be designed in the Site Plan, after considering the qualities of the specific location, the proposed land use, the design of building form, grading, egress points, and other aspects of the development, so as to:

6381. Minimize the volume of cut and fill, the number of removed trees 6" caliper or larger, the length of removed stone walls, the area of wetland vegetation displaced, the extent of stormwater flow increase from the site, soil erosion, and threat of air and water pollution;

6382. Maximize pedestrian and vehicular safety both on the site and egressing from it;

6383. Minimize obstruction of scenic views from publicly accessible locations;

6384. Minimize visual intrusion by controlling the visibility of parking, storage, or other outdoor service areas viewed from public ways or premises residentially used or zoned;

6385. Minimize glare from headlights and other light sources from the site onto other properties;

6386. Minimize unreasonable departure from the character, materials, and scale of buildings in the vicinity, as viewed from public ways and places;

6387. Minimize contamination of groundwater from on site waste water disposal systems or operations on the premises involving the use, storage, handling, or containment of hazardous substances; and

6388. Ensure compliance with the provisions of this Zoning Bylaw, including parking and landscaping.