



SUDBURY POLICE HEADQUARTERS

Site Plan of Land in
Sudbury, Massachusetts
Prepared for
Town of Sudbury

SHEET INDEX:

- C-1 EXISTING CONDITIONS & DEMOLITION PLAN
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- C-7 EROSION & SEDIMENTATION CONTROL PLAN
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- C-12 TO C-13 SEWAGE DISPOSAL PLANS

SUDBURY ASSESSORS DATA:
MAP: G08 PARCEL: 0008

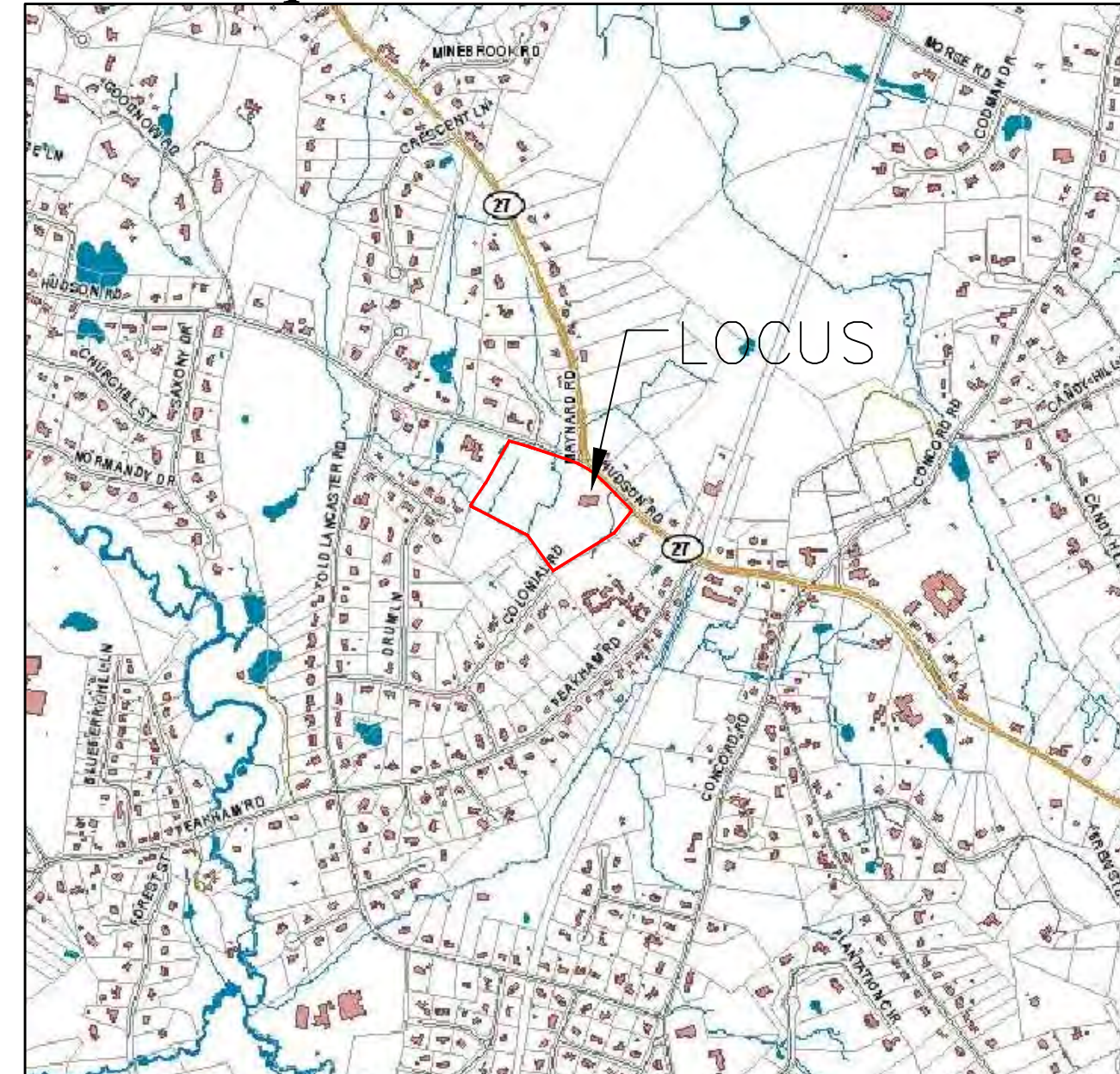
REFERENCES:
MIDDLESEX SOUTH REGISTRY OF DEEDS
BOOK: 12956 PAGE: 456
PL BOOK: 1975 PAGE: 398

OWNER/APPLICANT:
TOWN OF SUDBURY

ARCHITECT:
THE CARELL GROUP, INC.
85 MAIN ST., SUITE 305
HOPKINTON, MA 01748

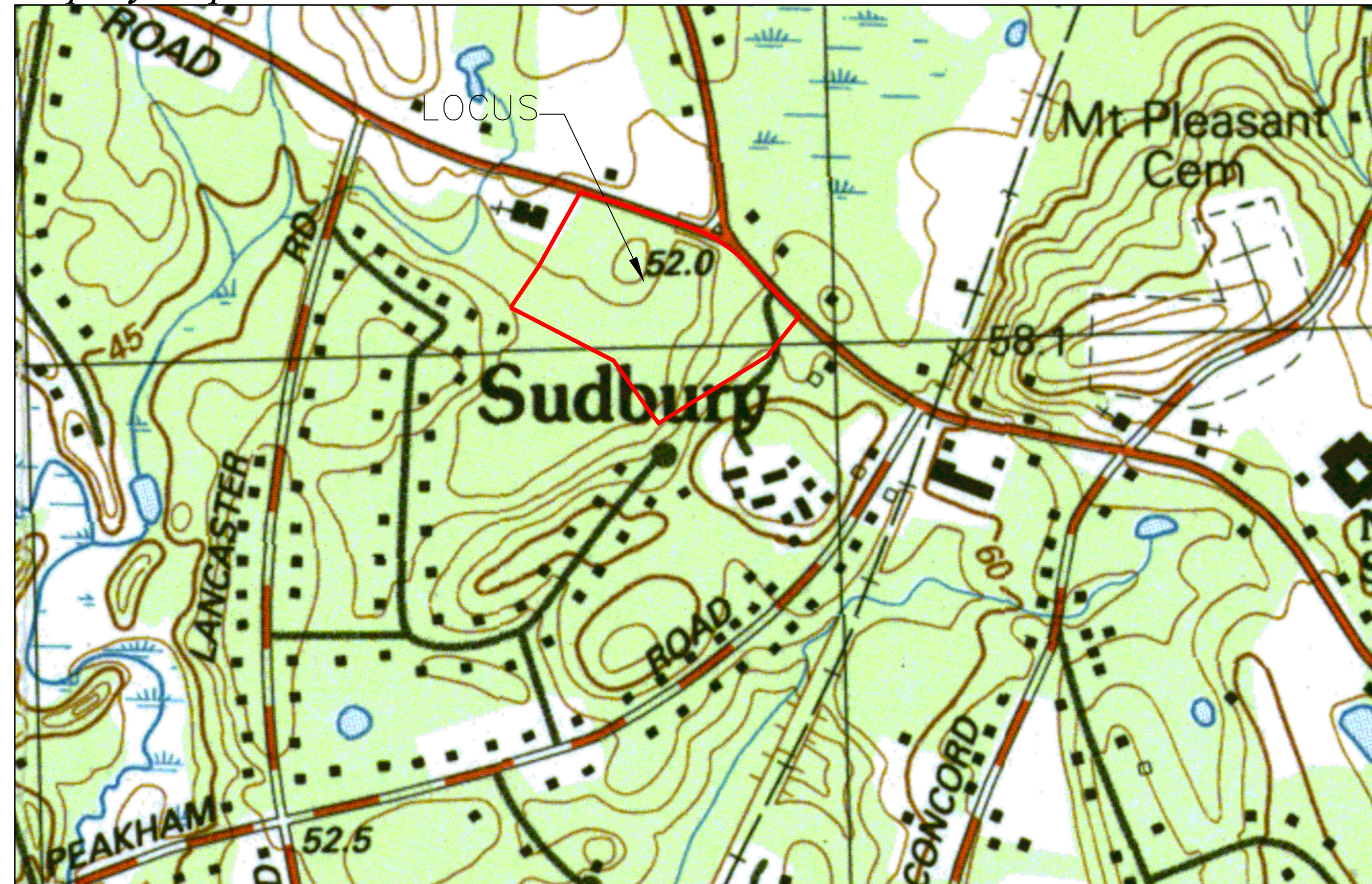
CIVIL ENGINEERS, LAND SURVEYORS,
LANDSCAPE ARCHITECTS:
PLACES ASSOCIATES, INC.
256 GREAT ROAD, SUITE 4
LITTLETON, MA 01460

Locus Map Scale: 1" = 1,200'



Excerpted From SUDBURY MA ON-LINE GIS

Property Map Scale: 1" = 400'



Excerpted From USGS topographic quad 209902

Zoning Conformance Chart
ZONE: SRA, Single Residence District PROPOSED USE: Municipal

CRITERIA	REQUIRED	EXISTING	PROVIDED	NOTES
LOT AREA	40,000 sf	13.56 ac	13.56 ac	
FRONTAGE	180'	1048.48'	1048.48'	
FRONT MIN. DEPTH	40'	98%	50%	
REAR MIN. DEPTH	30'	430%	330%	
SIDE SETBACK	20'	240%	42%	
BUILDING HEIGHT	EXEMPT	-	39'-2"	
LOT COVERAGE				
BY BUILDING	40% max	1.3%	3.1%	
IMPERVIOUS	N/A	8%	16%	

OVERLAY DISTRICT: Water Resource Protection District, Zone III

CRITERIA	SP PERMIT THRESHOLD	EXISTING	PROVIDED	NOTES
SEWAGE FLOWS	14 gpd/40k sf Lot	49.4 gpd/40k sf Lot	121.6 gpd/40k sf Lot*	

* 13.56 x 1,797 x 40,000 / 43,560 = 121.6

OVERLAY DISTRICT: Old Sudbury Historic District

PARKING CALCULATIONS

DESIGNATION	CRITERIA	EXISTING	REQUIRED	PROVIDED
FIRE STATION	1 SP PER LARGEST SHIFT x2 FOR SHIFT CHANGE	26 SPACES	18 SPACES	21 SPACES (1,2)
POLICE STATION	1 SP PER LARGEST SHIFT x2 FOR SHIFT CHANGE	0	24 SPACES	24 SPACES (3)
	MEETING ROOM 1 SP PER 3 SEATS	0	16 SPACES	16 SPACES (4)
SHARED	CUSTOMER SERVICES	0	0	12 SPACES
TOTAL		26 SPACES	58 SPACES	73 SPACES (2)

NOTES:
1. LARGEST SHIFT FOR FIRE STATION IS 9 STAFF.
2. 21 SPACES ARE PROVIDED, HOWEVER 6 ARE PROPOSED AS "RESERVE" AND ARE NOT TO BE BUILT UNLESS NEEDED.
3. LARGEST SHIFT FOR POLICE STATION IS 12 STAFF.
4. MEETING ROOM HAS A CAPACITY OF 48 SEATS.
67 SP. PROPOSED TO BE BUILT
6 SP. RESERVED IF NEEDED

the carell group

85 main street hopkinton, massachusetts

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REVISED:
1-22-14 GENERAL REVISION
1-31-14 DRAINAGE SYS. MOD.
2-10-14 DRAINAGE SYS. MOD.

PERMIT SET ONLY
January 3, 2014

SUDBURY POLICE HEADQUARTERS

SUDBURY, MASSACHUSETTS

PERMIT PLAN SET COVER

scale AS SHOWN
date JANUARY 3, 2014
drawn by MAA
job no 13-7201
sheet

C-0

Sudbury Board of Selectmen

APPROVAL UNDER SITE PLAN REVIEW REQUIRED
 APPROVED APPROVED WITH CONDITIONS

DATE OF APPROVAL:

DATE OF ENDORSEMENT:

TOWN ENGINEER/DPW DIRECTOR:

PLANNING DIRECTOR:

BUILDING INSPECTOR:

PLAN NOTES:

- UTILITIES SHOWN ARE IN BASED ON THE BEST AVAILABLE RECORD DATA AND/OR ACTUAL FIELD LOCATIONS. UNDERGROUND LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY.
- PRIOR TO THE INITIATION OF SITE RELATED ACTIVITIES, DIG-SAFE SHALL BE NOTIFIED AS REQUIRED BY LAW. CONTRACTOR SHALL PROVIDE THE DIG-SAFE NUMBER TO THE ARCHITECT PRIOR TO ANY EXCAVATION WORK.
- THE PROPERTY LINES, DEPICTED ON THIS PLAN ARE TAKEN FROM PLAN ENTITLED, "PLAN OF LAND IN SUDBURY, MASS." TOWN OF SUDBURY ENGINEERING DEPARTMENT, DATED FEB. 18, 1975 AND RECORDED IN THE MIDDLESEX SOUTH OF DEEDS. SEE PLAN #398 OF 1975 AND DEED, BOOK 12795 PAGE 147.
- THE TOPOGRAPHY ON THIS PLAN IS BASED ON AN ON THE GROUND SURVEY BY PLACES ASSOCIATES, INC. IN SEPTEMBER OF 2013.
- THE PLANS SHOW ONLY THE FEATURES THAT WERE VISUALLY APPARENT ON THE DAYS OF SURVEY; THE ABSENCE OF SUBSURFACE OR SURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED NOR IMPLIED.
- DURING ALL CONSTRUCTION PHASES, THE CONTRACTOR SHALL MAINTAIN A TEMPORARY VEHICULAR ACCESS TO MUSKETAQUID VILLAGE AND NOT OBSTRUCT FIRE DEPARTMENT OPERATIONS/ACCESS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TRENCH PERMITS PER 520 CMR14.
- SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION ON SUBSURFACE SOILS AND GROUNDWATER LEVELS.
- SEE SEPTIC SYSTEM PLAN, NOTES & DETAILS (SHEETS C-12 & C-13) FOR SOIL PROFILE DATA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO MUSKETAQUID VILLAGE IN A MANNER DETERMINED BY THE FIRE CHIEF, POLICE CHIEF AND SUDBURY HOUSING AUTHORITY. THE CONSTRUCTION OF THIS RELOCATED DRIVEWAY SHALL BE A FIRST PHASE OF CONSTRUCTION.
- REMOVE DRIVEWAY TO MUSKETAQUID VILLAGE INCLUDING ALL PAVING, BURIED UTILITIES, LIGHTS, ETC. PROVIDE AT ALL TIMES A MINIMUM 12' WIDE TRAVELED WAY AND FLAG MEN DURING ACTIVE CONSTRUCTION.
- THE FIRE STATION AND SUPPORTING UTILITIES ARE TO REMAIN IN OPERATION THROUGH ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR SHALL UNCOVER AND OBTAIN EXISTING CONDITION INFORMATION, INCLUDING BUT NOT LIMITED TO EXISTING CONDITION PIPE SLOPES AND INVERTS FOR: FIRE STATION SEWER LINE OUT, SEPTIC TANK INLET AND OUTLET, D-BOX INLET AND OUTLET, GAS TRENCH INLETS AND OUTLETS. ALL EXISTING CONDITION INFORMATION MUST BE PROVIDED TO THE DESIGN ENGINEER A MINIMUM OF 2 BUSINESS DAYS (WEEKENDS AND HOLIDAYS EXCLUDED) PRIOR TO CONSTRUCTION AND/OR PRIOR TO ORDERING CUSTOM BUILT OR ASSEMBLED COMPONENTS, CONCRETE TANKS AND RELATED SYSTEMS.
- CONSTRUCTION SHALL NOT BE INITIATED UNTIL THE DESIGN ENGINEER HAS REVIEWED THE SUPPLIED INFORMATION (PER NOTE 13 ABOVE) AND CONFIRMED THE SUITABILITY OF THE EXISTING CONDITIONS TO MEET DESIGN AND CODE COMPLIANCE. THE DESIGN ENGINEER SHALL BE PROVIDED A MINIMUM OF TWENTY FOUR HOURS (ONE BUSINESS DAY) TO REVIEW THIS DATA.
- WETLAND RESOURCES FLAGGED BY DEBORAH DINEEN, CONSERVATION COORDINATOR & SURVEY LOCATED BY PLACES ASSOCIATES.
- BEARINGS AND DISTANCES SHOWN ALONG PROPERTY LINES ARE FROM RECORD PLANS AND NOT THE RESULT OF ON THE GROUND SURVEY.

LEGEND

- CONTOUR LINE
- STONE WALL
- EDGE OF WOODS
- EDGE OF PAVEMENT
- CURB/BERM
- SILTATION BARRIER
- TREE
- BOUND
- IRON PIN
- SIGN POST
- DRAIN LINE
- DRAIN MANHOLE
- CATCH BASIN
- FLARED END (FES)
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER SHUTOFF
- OVERHEAD WIRES
- CABLE/TELE/ELEC
- GUY POLE
- UTILITY POLE
- UTILITY BOX
- STREETLIGHT
- LAMP POST
- SEWER LINE
- SEWER MANHOLE
- GAS LINE
- GAS VALVE
- PERC TEST
- DEEP TEST HOLE

ABBREVIATIONS

- T.B.R. - TO BE REMOVED
- P&P - PRESERVE AND PROTECT

Sudbury Board of Selectmen

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 APPROVED APPROVED WITH CONDITIONS

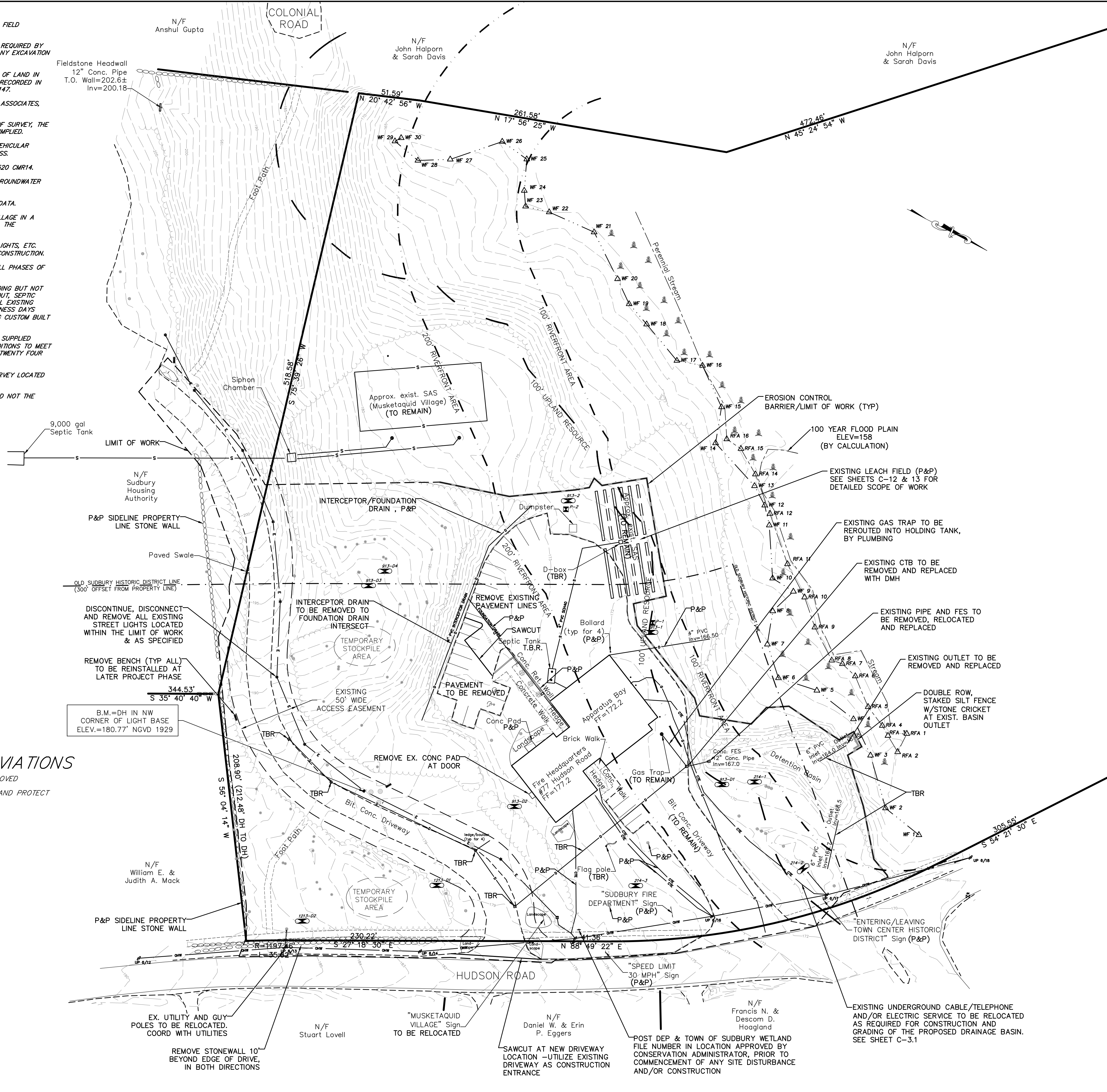
DATE OF APPROVAL:

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PLANNING DIRECTOR:

BUILDING INSPECTOR:



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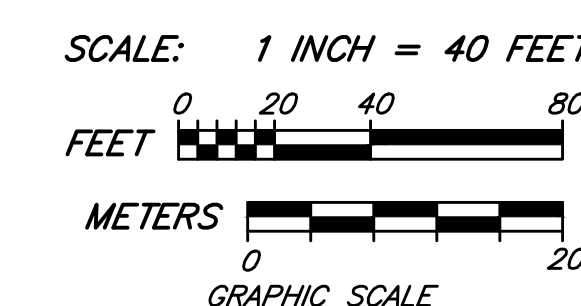
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PERMIT SET
January 3, 2014



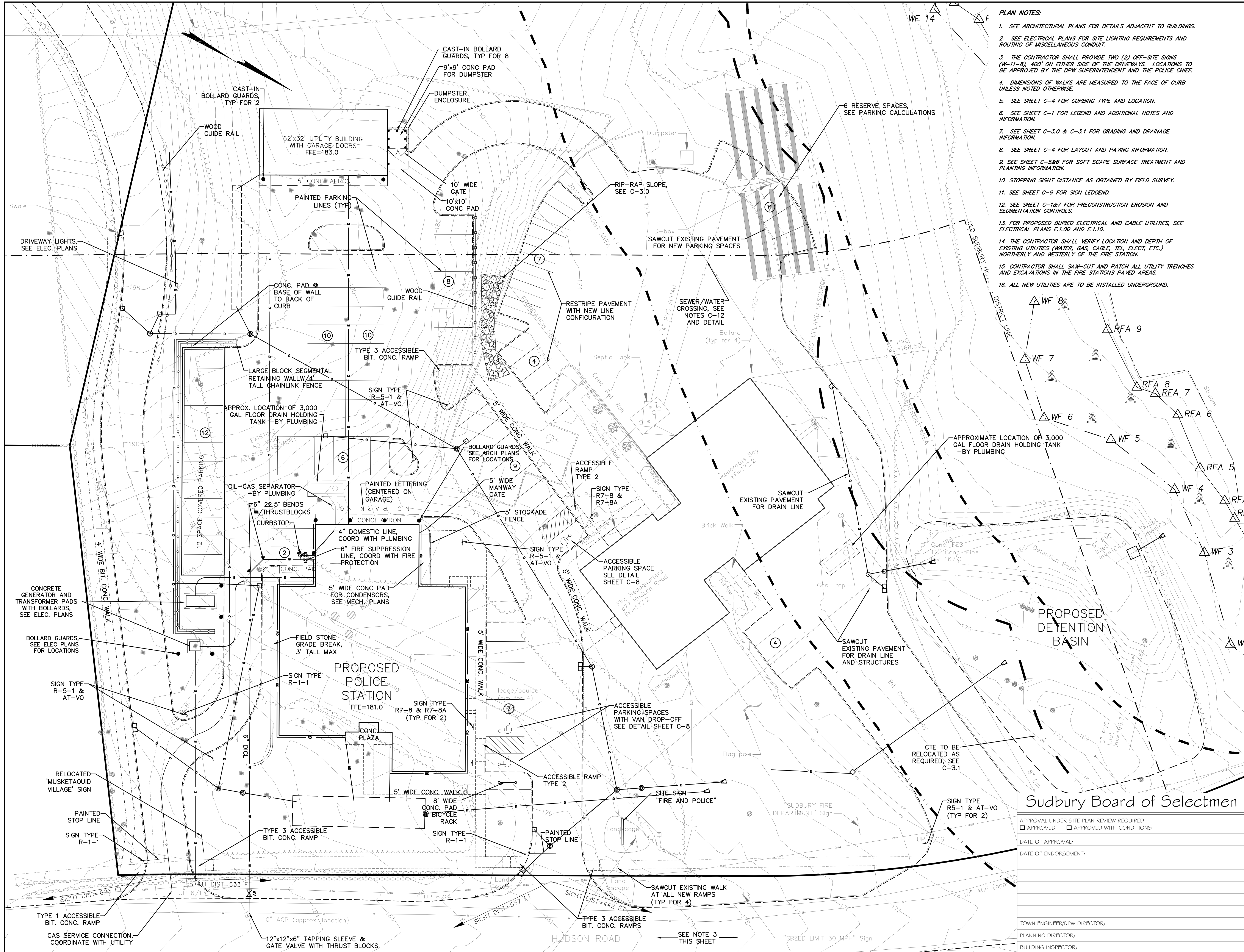
SUDBURY POLICE HEADQUARTERS

SUDBURY, MASSACHUSETTS

EXISTING CONDITIONS & DEMOLITION PLAN

scale 1" = 40'
 date JANUARY 3, 2014
 drawn by MAA
 job no 13-7201
 sheet

C-1



- PLAN NOTES:**
1. SEE ARCHITECTURAL PLANS FOR DETAILS ADJACENT TO BUILDINGS.
 2. SEE ELECTRICAL PLANS FOR SITE LIGHTING REQUIREMENTS AND ROUTING OF MISCELLANEOUS CONDUIT.
 3. THE CONTRACTOR SHALL PROVIDE TWO (2) OFF-SITE SIGNS (W-11-B), 400' ON EITHER SIDE OF THE DRIVEWAYS. LOCATIONS TO BE APPROVED BY THE DPW SUPERINTENDENT AND THE POLICE CHIEF.
 4. DIMENSIONS OF WALKS ARE MEASURED TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 5. SEE SHEET C-4 FOR CURBING TYPE AND LOCATION.
 6. SEE SHEET C-1 FOR LEGEND AND ADDITIONAL NOTES AND INFORMATION.
 7. SEE SHEET C-3.0 & C-3.1 FOR GRADING AND DRAINAGE INFORMATION.
 8. SEE SHEET C-4 FOR LAYOUT AND PAVING INFORMATION.
 9. SEE SHEET C-5&6 FOR SOFT SCAPE SURFACE TREATMENT AND PLANTING INFORMATION.
 10. STOPPING SIGHT DISTANCE AS OBTAINED BY FIELD SURVEY.
 11. SEE SHEET C-9 FOR SIGN LEGEND.
 12. SEE SHEET C-1&7 FOR PRECONSTRUCTION EROSION AND SEDIMENTATION CONTROLS.
 13. FOR PROPOSED BURIED ELECTRICAL AND CABLE UTILITIES, SEE ELECTRICAL PLANS E.1.00 AND E.1.10.
 14. THE CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES (WATER, GAS, CABLE, TEL, ELECT, ETC.) NORTHERLY AND WESTERLY OF THE FIRE STATION.
 15. CONTRACTOR SHALL SAW-CUT AND PATCH ALL UTILITY TRENCHES AND EXCAVATIONS IN THE FIRE STATION'S PAVED AREAS.
 16. ALL NEW UTILITIES ARE TO BE INSTALLED UNDERGROUND.

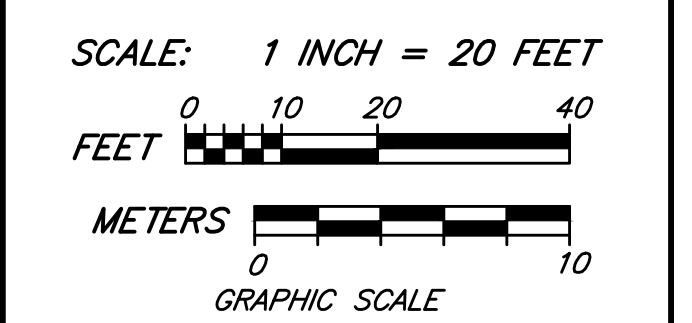
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PERMIT SET
January 3, 2014



SUDBURY POLICE HEADQUARTERS

SUDBURY, MASSACHUSETTS

SITE & UTILITIES PLAN

Sudbury Board of Selectmen

APPROVAL UNDER SITE PLAN REVIEW REQUIRED	<input type="checkbox"/> APPROVED <input type="checkbox"/> APPROVED WITH CONDITIONS
DATE OF APPROVAL:	
DATE OF ENDORSEMENT:	
TOWN ENGINEER/DPW DIRECTOR:	
PLANNING DIRECTOR:	
BUILDING INSPECTOR:	

scale 1" = 20'
date JANUARY 3, 2014
drawn by MAA
job no 13-7201
sheet

C-2

PLAN NOTES:

- SEE ARCHITECTURAL PLANS FOR DETAILS ADJACENT TO BUILDINGS.
- SEE ELECTRICAL PLANS FOR SITE LIGHTING REQUIREMENTS AND ROUTING OF MISCELLANEOUS CONDUIT.
- SEE SHEET C-1 FOR LEGEND AND ADDITIONAL NOTES AND INFORMATION.
- SEE SHEET C-2 FOR SITE PLAN INFORMATION.
- SEE SHEET C-4 FOR LAYOUT AND PAVING INFORMATION.
- SEE SHEET C-2 FOR ON-SITE UTILITY LOCATION AND INFORMATION.
- SEE SHEET C-5&6 FOR SOFTSCAPE SURFACE TREATMENT AND PLANTING INFORMATION.
- PRIOR TO THE INITIATION OF ANY SITE EXPLORATION, GRADING OR CONSTRUCTION THAT MAY CREATE UNSTABLE SURFACES, AN EROSION CONTROL BARRIER SHALL BE ERRECTED IN THE LOCATIONS DEPICTED IN THIS PLAN SET.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES.
- SPOT GRADES ARE TO BE BLENDED IN A UNIFORM MANNER TO THE ADJACENT SPOT GRADE OR CONTOUR.
- UNLESS OTHERWISE NOTED, ALL CURBING HAS AN EXPOSED HEIGHT OF 0.5 FEET.
- ALL DISTURBED SURFACES ARE TO BE STABILIZED BY THE CONSTRUCTION OF A HARD DURABLE SURFACE (PAVEMENT OR RIP-RAP), BY LOAM AND SEED, OR AS OTHERWISE SHOWN.
- THIS PLAN DEPICTS SITE GRADING AND DRAINAGE, SEE OTHER PLANS FOR LOCATIONS, CONSTRUCTION AND TYPES OF OTHER UTILITIES, SITE FEATURES AND RELATED CONSTRUCTION.
- ALL AREAS INDICATED AS PADS SHALL BE CONCRETE, SEE DETAIL.
- ALL SLOPES OF 3:1 (HORIZ. TO VERT.) OR STEEPER, OR AS OTHERWISE SPECIFIED, ARE TO BE CONSIDERED "STABILIZED SLOPES" AND SHALL HAVE EROSION CONTROL NETTING INSTALLED. SEE SPECIFICATION SECTION 02370, SLOPE STABILIZATION FABRIC.
- SEE ARCH PLANS FOR ALL ROOF DRAIN CONNECTIONS. CONTRACTOR SHALL ACCOMMODATE ALL ROOF DRAIN CONNECTIONS WHETHER DEPICTED ON THIS PLAN OR NOT.
- ACCESSIBLE ROUTES AND LOADING & UNLOADING AREAS DEPICTED BY SHADING SHALL HAVE NO SLOPE GREATER THAN 2% IN ANY DIRECTION, AT ANY LOCATION. MEASUREMENTS SHALL BE MADE WITH A TWO FEET LONG "SMART LEVEL" AFTER CONSTRUCTION. SEE REQUIREMENTS OF MASS. ARCHITECTURAL ACCESS BOARD (521 CMR).
- THE FLOOR DRAIN HOLDING TANK, PIPING, VENTS AND RELATED COMPONENTS SHALL BE PROVIDED AND INSTALLED BY PLUMBING. THE EXCAVATION, BALLAST PAD, HOLD-DOWNS, CONCRETE AND REINFORCING, BACKFILL, DEWATERING AND TRENCHING SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. THE ALARMS SHALL BE PROVIDED BY PLUMBING AND WIRED BY ELECTRICAL.
- PRIOR TO CONSTRUCTING THIS DRAIN LINE THE CONTRACTOR SHALL UNCOVER AND LOCATE UTILITIES IN THIS AREA AND PROVIDE TO THE DESIGN ENGINEER EXISTING PIPE AND CONDUIT LOCATIONS, SIZE AND ELEVATION, TO ACCESS POTENTIAL PIPE CONFLICTS.
- ALL REINFORCED CONCRETE DRAINAGE PIPE TO BE AT A MINIMUM CLASS III UNLESS OTHERWISE NOTED.
- THE PAVED AREA AROUND DCTB#9, DCTB#10, DMH G AND DMH H SHALL BE REGRADED TO DIRECT RUNOFF TO THE RELOCATED CATCH BASINS.

PROPOSED SURFACE DRAINAGE FLOW

PERIMETER ROOF DRAIN ELEVATIONS

LOCATION	INV. ELEV. #
A	176.75
B	176.92
C	177.28
D	177.37
E	177.52
F	177.56
G	177.41
H	177.29
I	176.84
J	176.65
K	176.75

* INVERT AT END OF JOG IN PERIMETER ROOF DRAIN

Sudbury Board of Selectmen

APPROVAL UNDER SITE PLAN REVIEW REQUIRED
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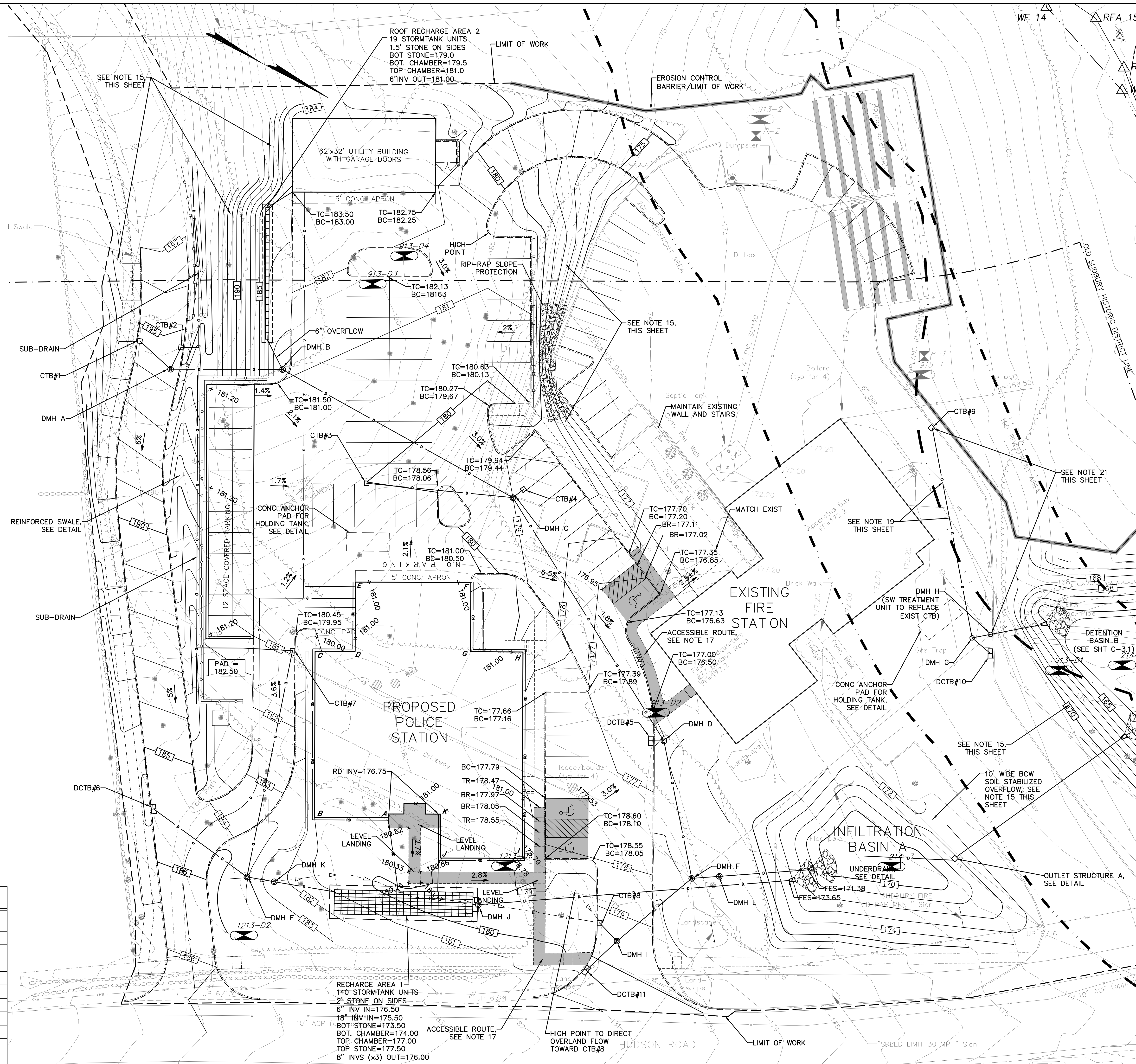
DATE OF APPROVAL:

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PLANNING DIRECTOR:

BUILDING INSPECTOR:



RECHARGE AREA 1
 140 STORMTANK UNITS
 2' STONE ON SIDES
 6" INV IN=176.50
 18" INV IN=175.50
 BOT. CHAMBER=174.00
 TOP CHAMBER=177.00
 TOP STONE=177.50
 8" INVS (x3) OUT=176.00

ACCESSIBLE ROUTE, SEE NOTE 17

HIGH POINT TO DIRECT OVERLAND FLOW TOWARD CTB#8

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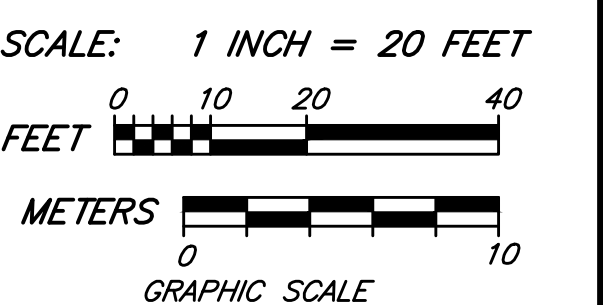
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 2-10-14 DRAINAGE SYS. MOD.
 2-20-14 DRAINAGE SYS. MOD.

PERMIT SET
 January 3, 2014



SUDBURY POLICE HEADQUARTERS

SUDBURY, MASSACHUSETTS
GRADING & DRAINAGE PLAN

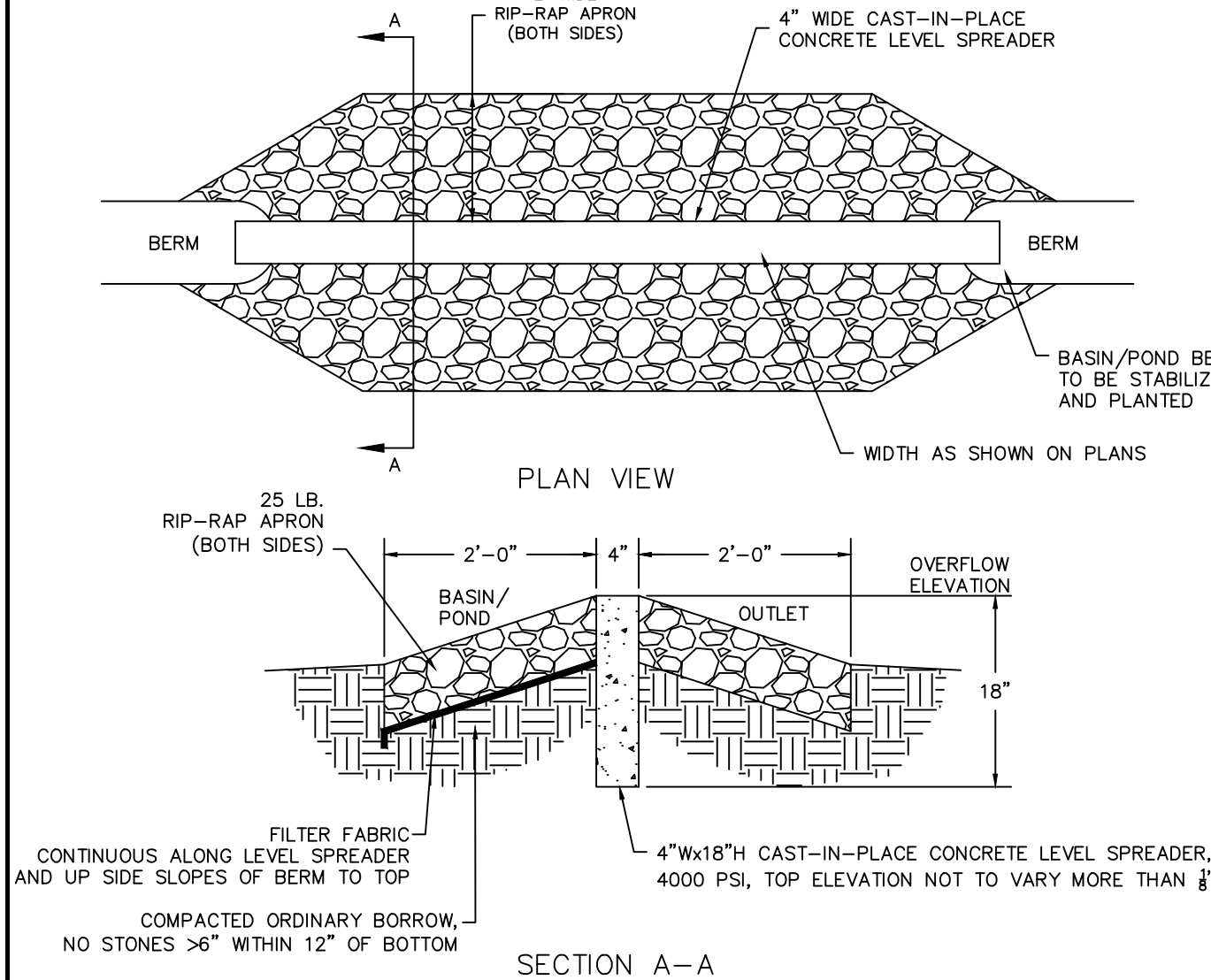
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 date JANUARY 3, 2014
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C-3.0

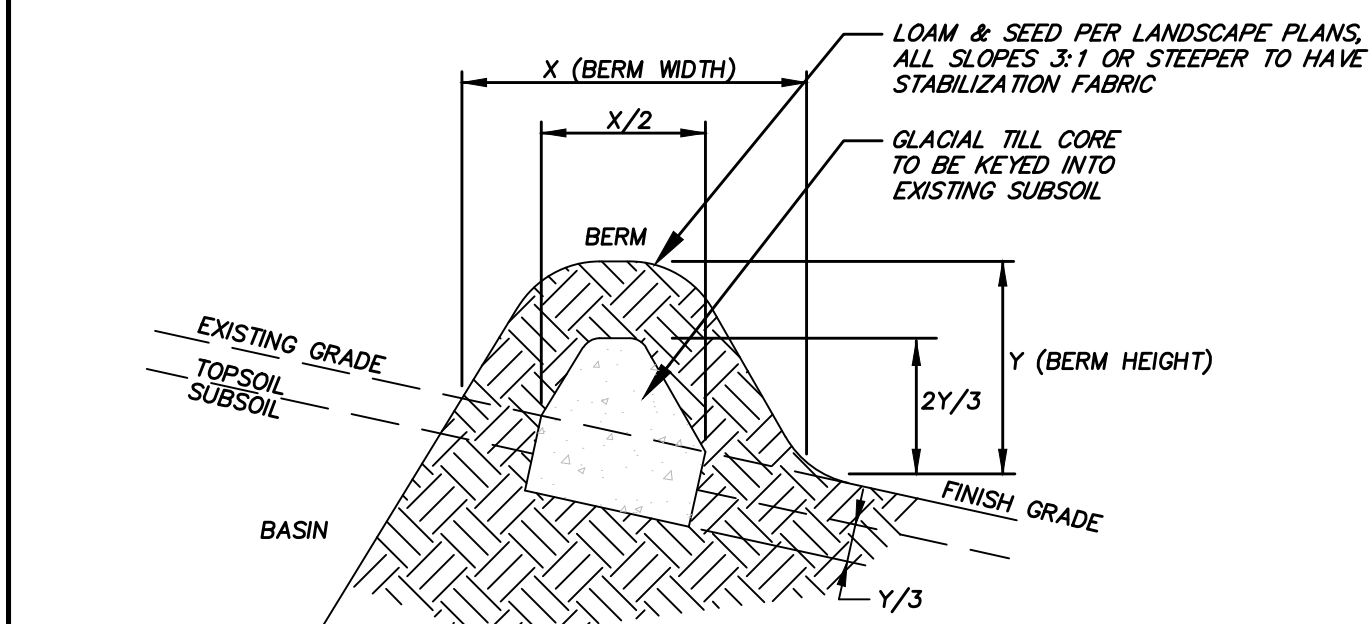
PLAN NOTES:

1. SEE PLAN NOTES SHEET C-3, AS APPLICABLE, FOR CONSTRUCTION SHOWN HEREON.

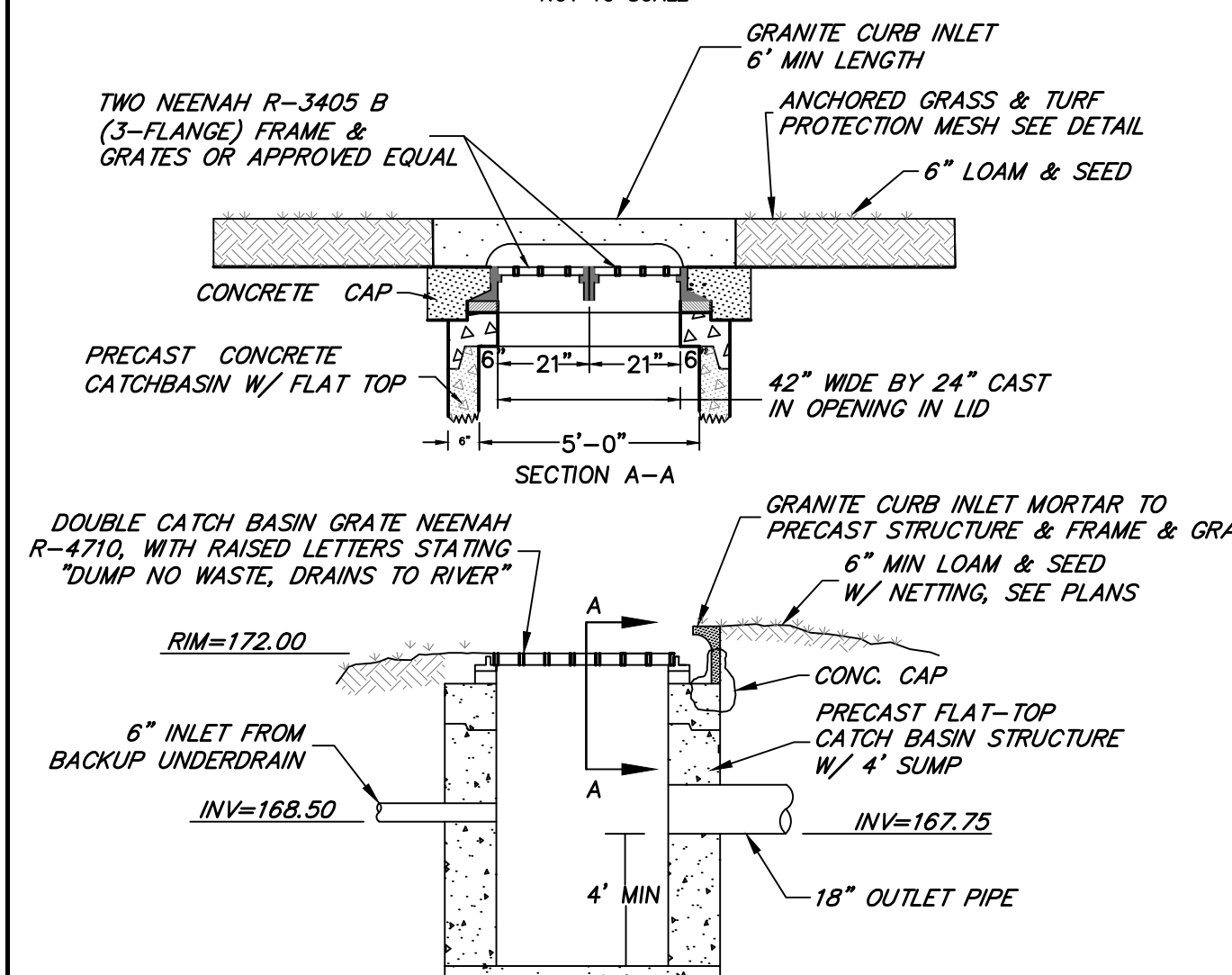
2. THE DRAINAGE SYSTEM SHALL BE BUILT FROM THE DOWN STREAM END UP, WAITING WITH THE CONSTRUCTION AND STABILIZATION OF THE DRAINAGE BASIN.



LEVEL SPREADER/BASIN OVERFLOW
NOT TO SCALE



BASIN BERM CROSS SECTION (BASIN B)
NOT TO SCALE



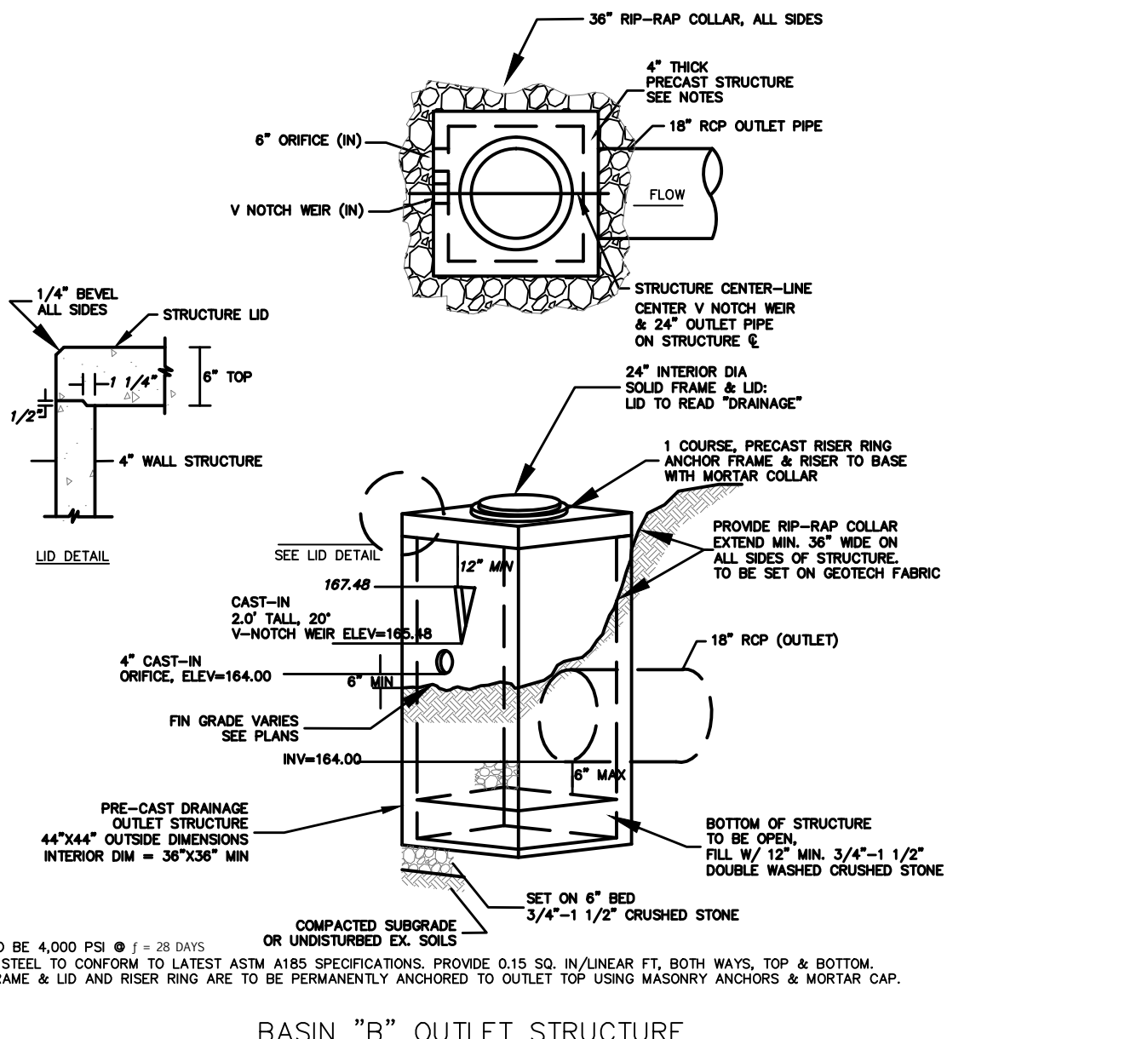
OUTLET STRUCTURE A (BASIN A)
NOT TO SCALE

Sudbury Board of Selectmen	
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<input type="checkbox"/> APPROVED	<input type="checkbox"/> APPROVED WITH CONDITIONS
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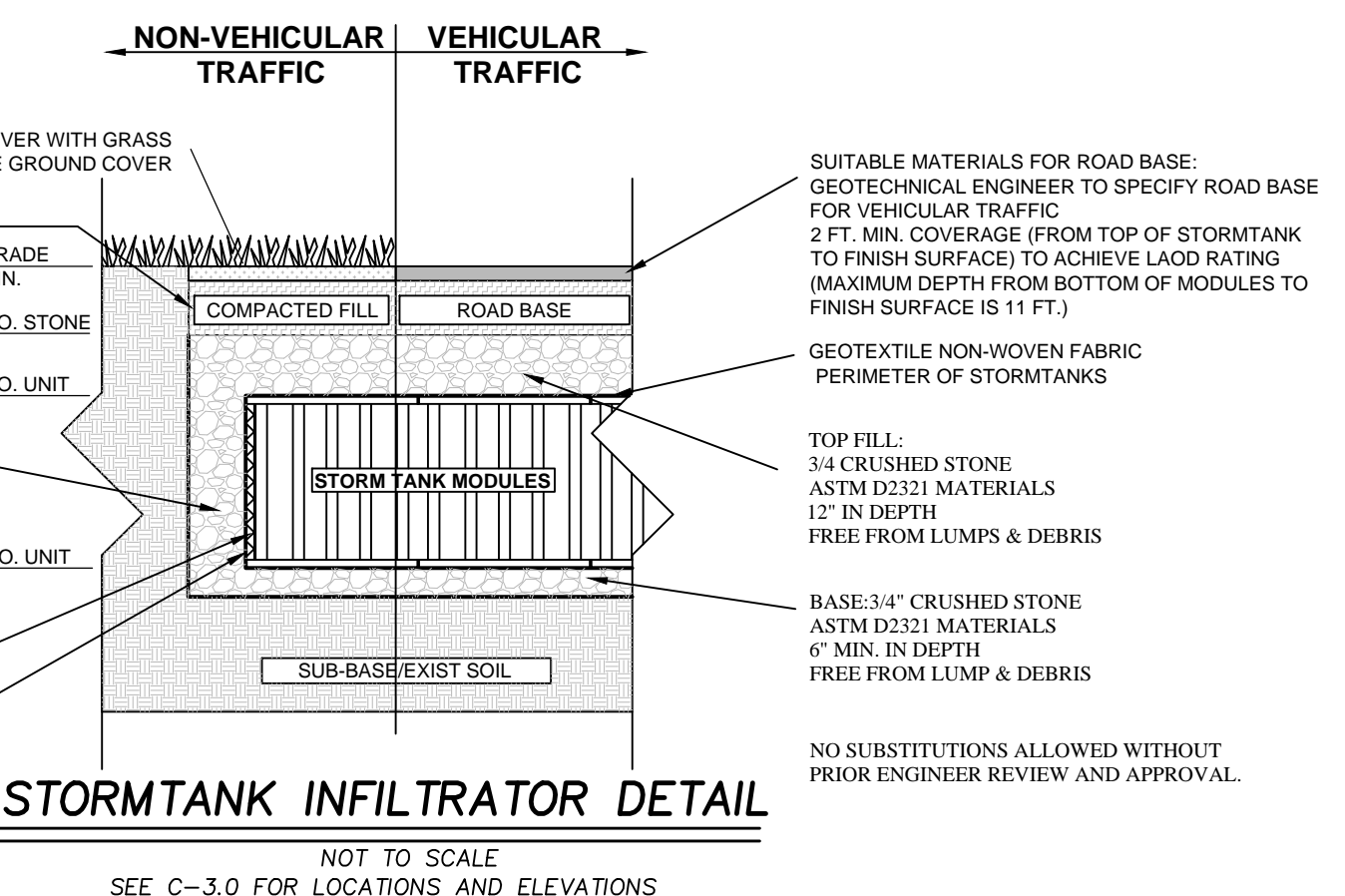
SCHEDULE OF DRAINAGE STRUCTURES

STRUCTURE	RIM ELEV.	INVERT IN	DIA. (IN.)	INVERT OUT	OUTLET PIPE
CTB 1	194.80		12"	190.00	18' 12" RCP S=0.02 FT/FT (DMH A)
CTB 2	194.80	191.30 (SUB-DRAIN)	12"	190.00	10' 12" RCP S=0.02 FT/FT (DMH A)
DMH A	194.30	189.64 (CTB 1) 189.60 (CTB 2)	12"	183.00	48' 12" RCP S=0.113 FT/FT (DMH B)
DMH B	181.60	177.60 (DMH A) 177.60 (RECH*)	12"	177.10	114' 12" RCP S=0.018 FT/FT (DMH C)
CTB 3	180.00		12"	176.00	63' 12" RCP S=0.016 FT/FT (DMH C)
CTB 4	178.90		12"	175.40	10' 12" RCP S=0.04 FT/FT (DMH C)
DMH C	179.00	175.00 (CTB 4) 175.00 (DMH B) 175.00 (CTB 3)	12"	175.00	123' 12" RCP S=0.015 FT/FT (DMH D)
DCTB 5	176.38		12"	172.88	10' 12" RCP S=0.01 FT/FT (DMH D)
DMH D	177.10	173.10 (DMH C) 172.78 (DCTB 5)	12"	172.28	60' 18" RCP S=0.005 FT/FT (DMH F)
DCTB 6	184.50		12"	180.00	50' 12" RCP S=0.02 FT/FT (DMH E)
CTB 7	180.90	177.40 (SUB-DRAIN)	12"	176.90	99' 12" RCP S=0.01 FT/FT (DMH E)
DMH E	184.00	179.00 (CTB 6) 175.91 (CTB 7)	12"	175.90	12' 18" RCP S=0.011 FT/FT (DMH F)
DMH K	182.50	175.78 (DMH E)	18"	175.78	26' 18" RCP S=0.011 FT/FT (RECH-1*)
CTB 8	179.30		12"	175.30	10' 12" RCP S=0.02 FT/FT (DMH I)
DCTB 11	180.30		12"	176.30	18' 12" RCP S=0.067 FT/FT (DMH I)
DMH J	179.50	176.00 (RECH-1*)	8"	175.00	135' 18" RCP S=0.01 FT/FT (FES***)
DMH I	179.50	175.10 (CTB 8) 175.10 (DCTB 11)	12"	173.14	42' 12" RCP S=0.01 FT/FT (DMH F)
DMH F	177.90	172.72 (DMH I) 171.98 (DMH D)	12"	171.98	12' 18" RCP S=0.01 FT/FT (DMH L)
DMH L	177.80	171.76 (DMH F)	18"	171.76	38' 18" RCP S=0.01 FT/FT (FES***)
CTB 9	171.50		12"	167.50	93' 12" RCP S=0.01 FT/FT (DMH G)
DCTB 10	170.57		12"	166.60	10' 12" RCP S=0.01 FT/FT (DMH G)
DMH G	170.67	166.51 (CTB 9) 166.50 (DCTB 10) 165.80 (DMH F)	12"	165.30	10' 24" RCP S=0.010 FT/FT (DMH H)
DMH H**	170.60	165.20 (DMH G)	24"	165.20	22' 24" RCP S=0.01 FT/FT (FES***)

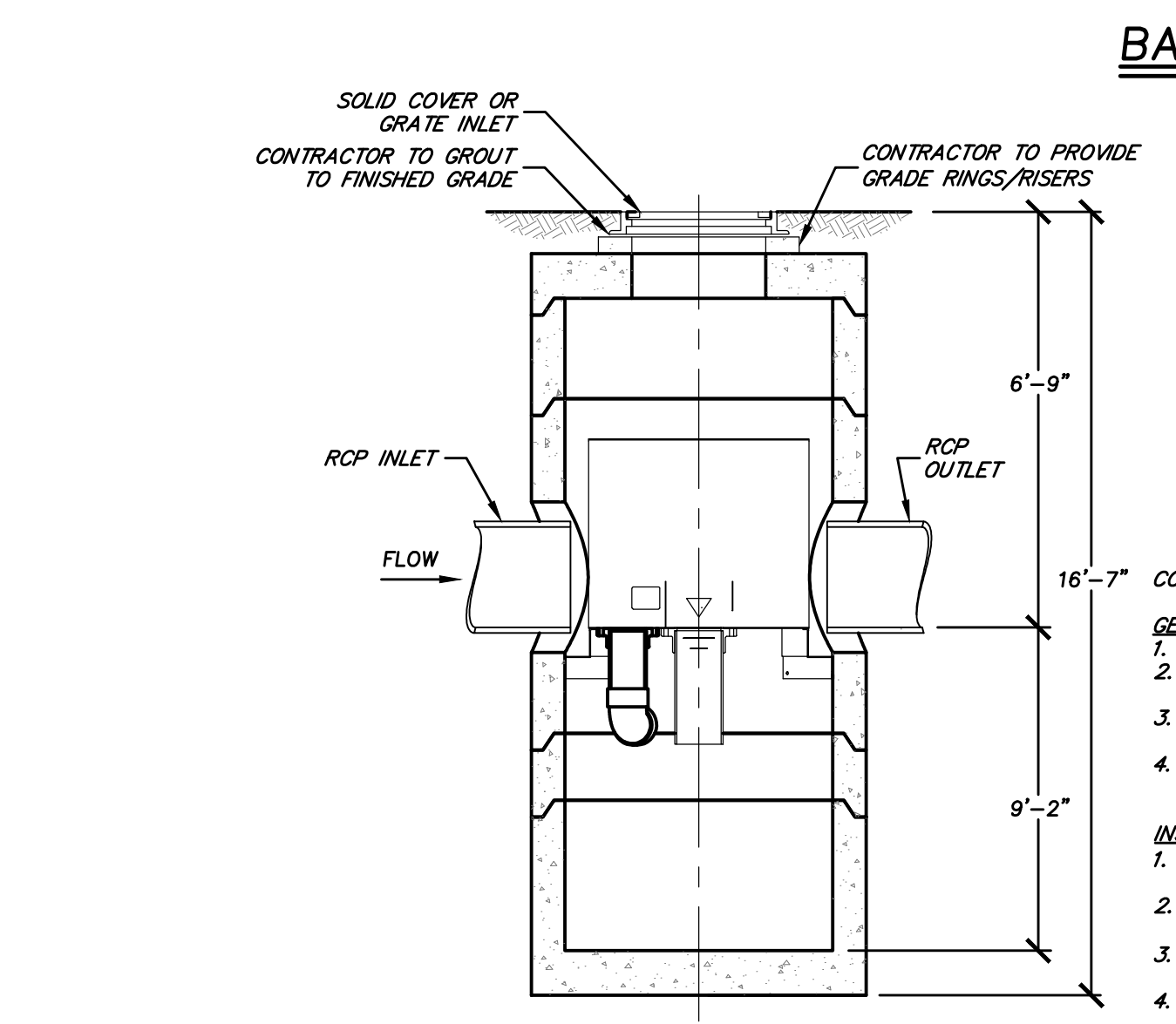
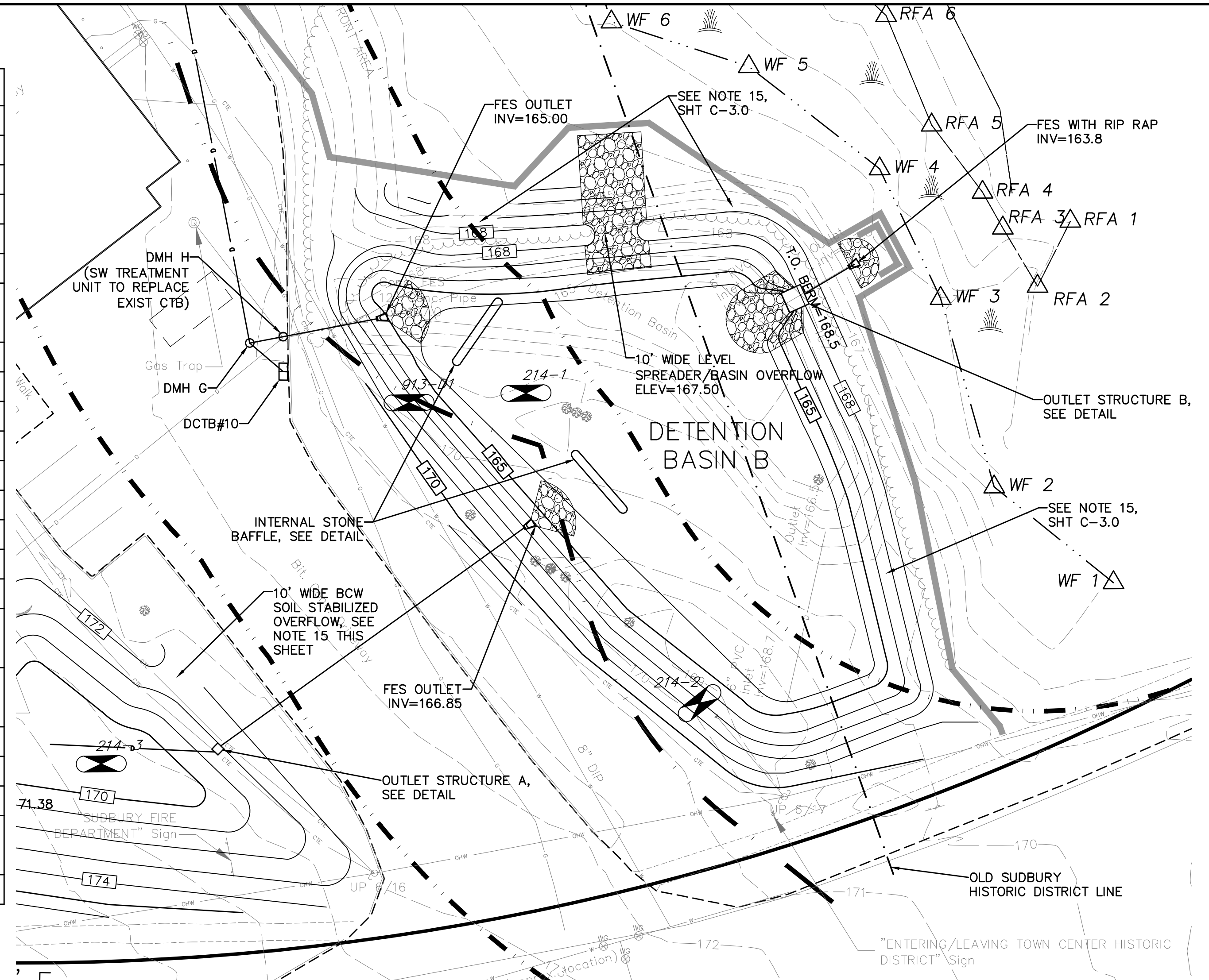
* SEE RECHARGE SYSTEM DETAIL FOR DESCRIPTION
** SEE STORMWATER TREATMENT UNIT DETAIL
*** SEE PLAN FOR INVERT OUT



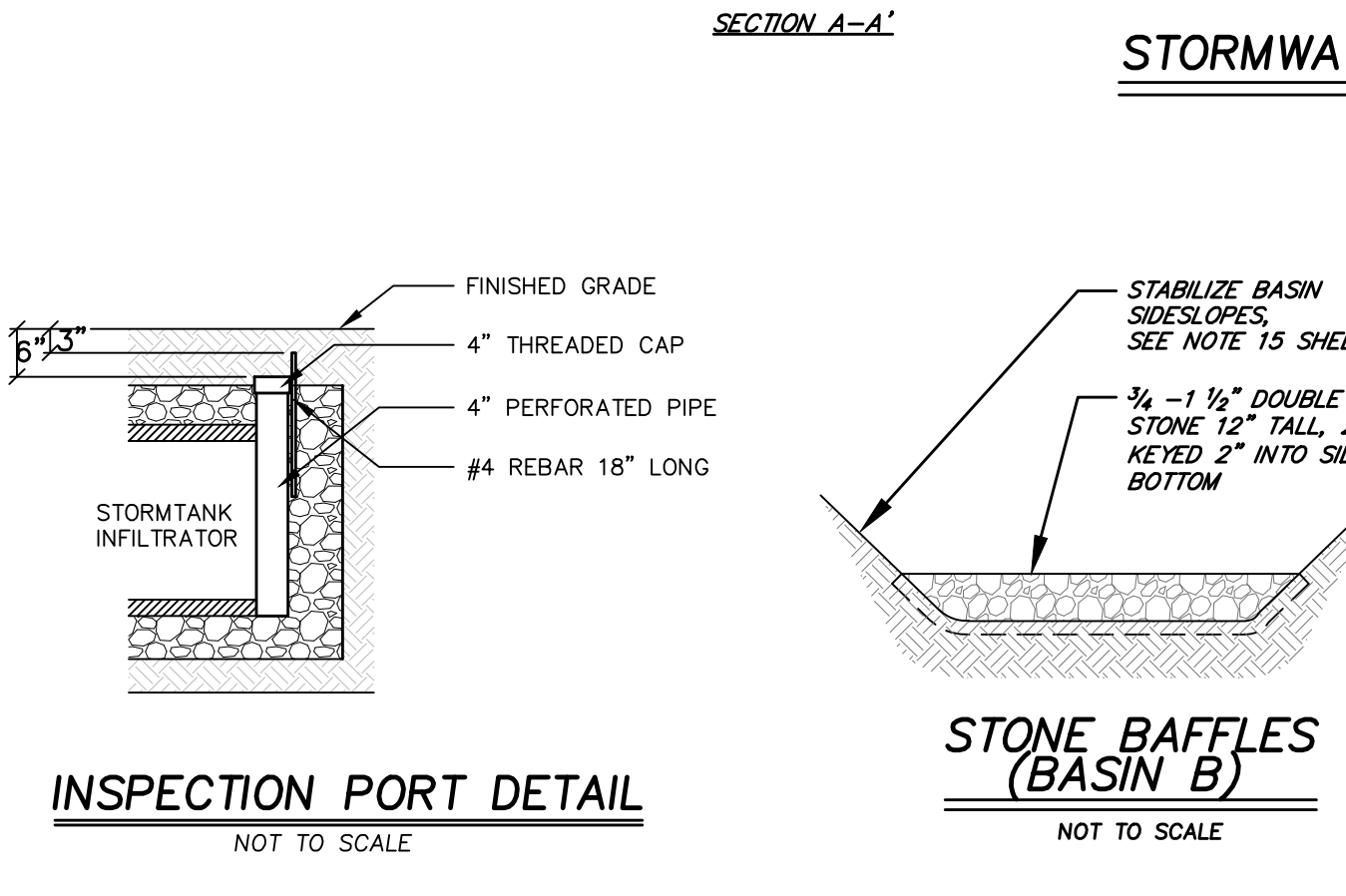
BASIN "B" OUTLET STRUCTURE
NOT TO SCALE



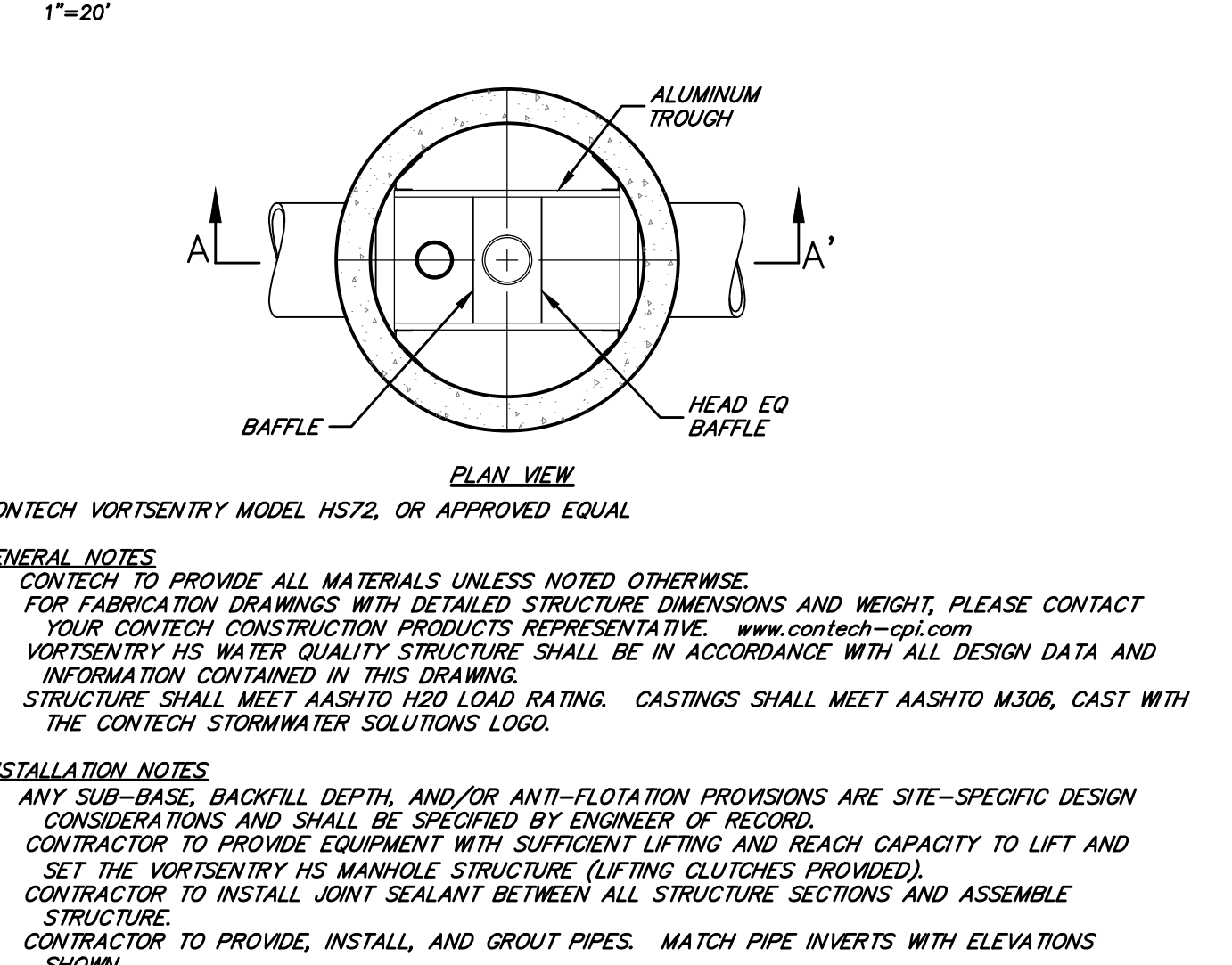
STORMTANK INFILTRATOR DETAIL
NOT TO SCALE



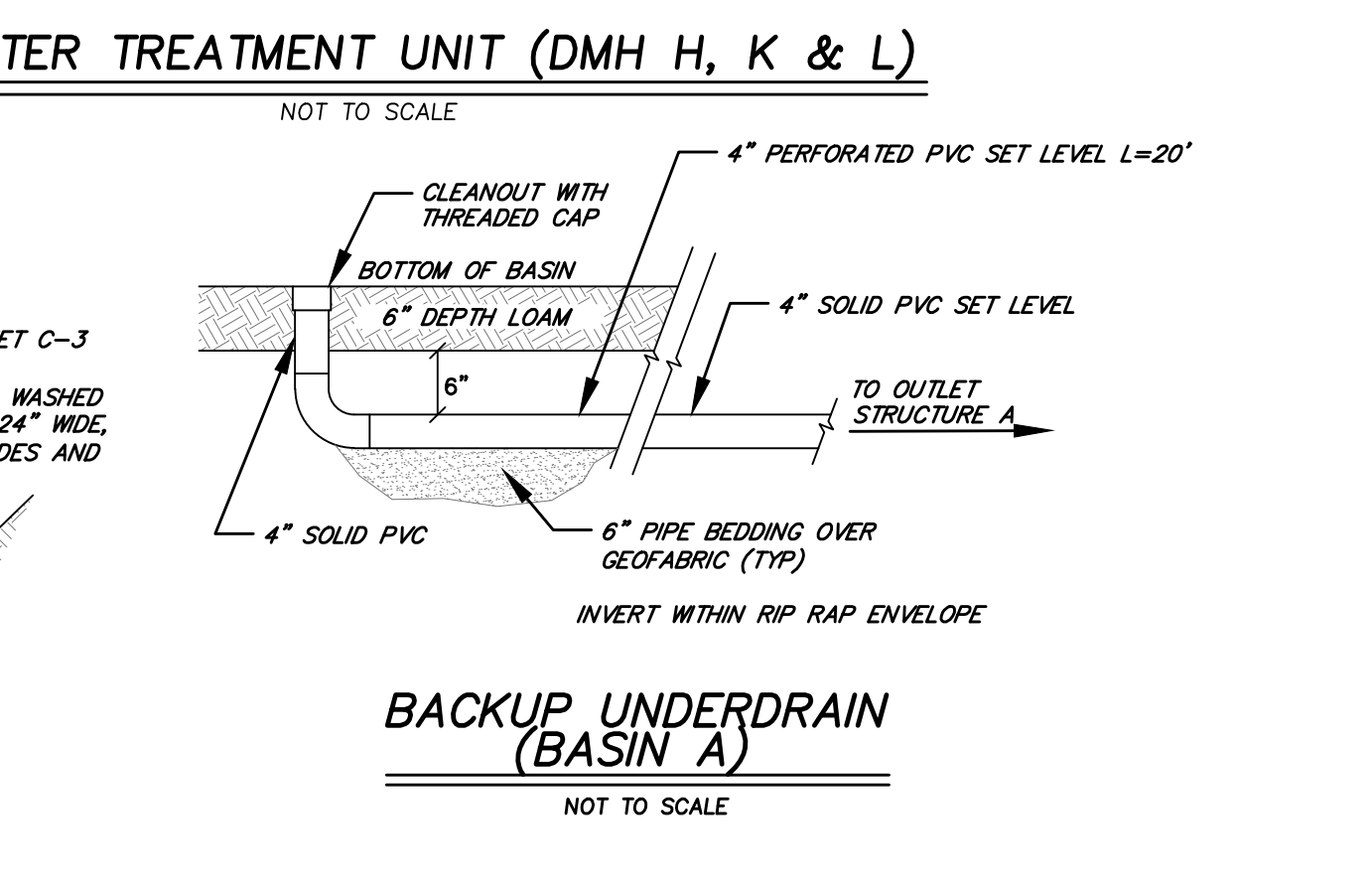
BASIN DETAIL
1"=20"



STORMWATER TREATMENT UNIT (DMH H, K & L)
NOT TO SCALE



STORMWATER TREATMENT UNIT (DMH H, K & L)
NOT TO SCALE



STONE BAFFLES (BASIN B)
NOT TO SCALE

BACKUP UNDERDRAIN (BASIN A)
NOT TO SCALE

the carell group

85 main street
hopkinton, massachusetts



Places Associates, Inc.
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978.486.0447 Fax
places@placesassociates.com

REVISED:
1-22-14 GENERAL REVISION
1-31-14 DRAINAGE SYS. MOD.
2-10-14 DRAINAGE SYS. MOD.
2-20-14 DRAINAGE SYS. MOD.

PERMIT SET
January 3, 2014
SCALE: 1 INCH = 20 FEET
0 10 20 40
FEET
0 10
METERS
GRAPHIC SCALE

SUDBURY POLICE HEADQUARTERS

SUDBURY, MASSACHUSETTS

GRADING & DRAINAGE PLAN

scale 1" = 20'
date JANUARY 3, 2014
drawn by MAA
job no 13-7201
sheet

C-3.1

N/F
Sudbury
Housing
Authority

PLAN NOTES:

1. SEE ARCHITECTURAL PLANS FOR DETAILS ADJACENT TO BUILDINGS.
2. SEE SHEET C-1 FOR LEGEND AND ADDITIONAL NOTES AND INFORMATION.
3. SEE SHEET C-2 FOR BASIC SITE INFORMATION.
4. SEE SHEET C-3 FOR GRADING AND DRAINAGE INFORMATION.
5. SEE SHEET C-2 FOR ON-SITE UTILITY LOCATION AND INFORMATION.
6. SEE SHEET C-5&6 FOR SOFTSCAPE SURFACE TREATMENT AND PLANTING INFORMATION.
7. CURBING SHALL CONSIST OF VERTICAL GRANITE, SLOPED GRANITE AND INTEGRAL CURB/WALK, AS NOTED. ALL OTHER CURBING TO BE CAPE COD CURBING.
8. CURB TRANSITIONS TO BE PROVIDED AT DROP INLETS, ACCESSIBLE RAMPS AND ALL OTHER SUCH REQUIRED TRANSITIONS.

GENERATOR AND
TRANSFORMER PADS - SEE
SEE ELECTRICAL FOR
LOCATION, LAYOUT AND
CONSTRUCTION CRITERIA

N/F
William E. &
Judith A. Mack

Sudbury Board of Selectmen

APPROVAL UNDER SITE PLAN REVIEW REQUIRED
 APPROVED APPROVED WITH CONDITIONS

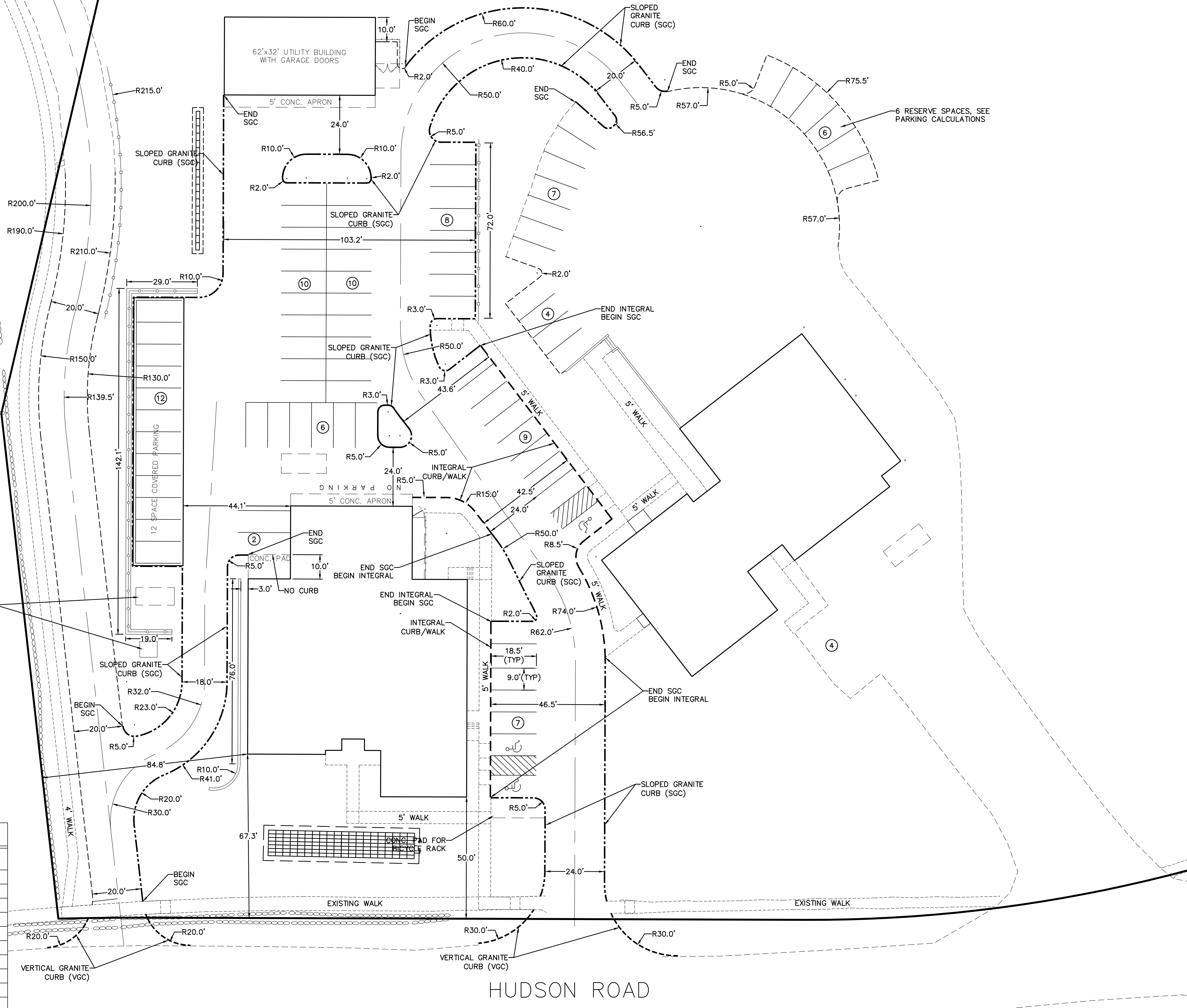
DATE OF APPROVAL:

DATE OF ENDORSEMENT:

TOWN ENGINEER/DPW DIRECTOR:

PLANNING DIRECTOR:

BUILDING INSPECTOR:



HUDSON ROAD

the
carell
group

85 main street
hopkinton, massachusetts



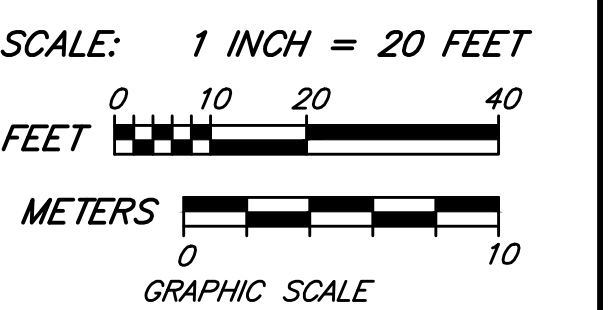
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 2-10-14 DRAINAGE SYS. MOD.

PERMIT SET
January 3, 2014



SUDBURY
POLICE
HEADQUARTERS

SUDBURY, MASSACHUSETTS

LAYOUT & PAVING
PLAN

scale 1" = 20'

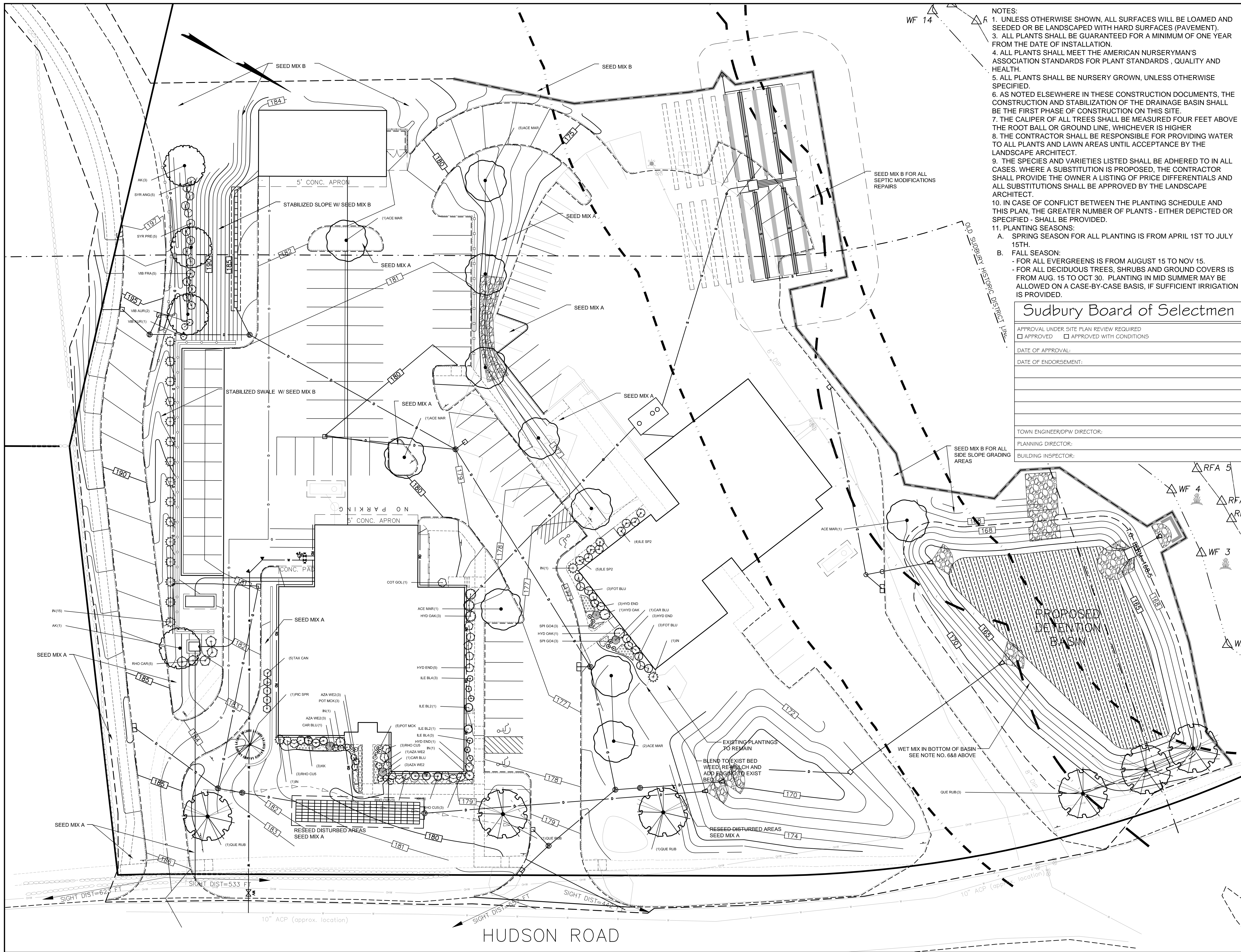
date JANUARY 3, 2014

drawn by MAA

job no 13-7201

sheet

C-4



- NOTES:
1. UNLESS OTHERWISE SHOWN, ALL SURFACES WILL BE LOAMED AND SEEDED OR BE LANDSCAPED WITH HARD SURFACES (PAVEMENT).
 2. ALL PLANTS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF INSTALLATION.
 3. ALL PLANTS SHALL MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS FOR PLANT STANDARDS, QUALITY AND HEALTH.
 4. ALL PLANTS SHALL BE NURSERY GROWN, UNLESS OTHERWISE SPECIFIED.
 5. AS NOTED ELSEWHERE IN THESE CONSTRUCTION DOCUMENTS, THE CONSTRUCTION AND STABILIZATION OF THE DRAINAGE BASIN SHALL BE THE FIRST PHASE OF CONSTRUCTION ON THIS SITE.
 6. THE CALIPER OF ALL TREES SHALL BE MEASURED FOUR FEET ABOVE THE ROOT BALL OR GROUND LINE, WHICHEVER IS HIGHER.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO ALL PLANTS AND LAWN AREAS UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
 8. THE SPECIES AND VARIETIES LISTED SHALL BE ADHERED TO IN ALL CASES. WHERE A SUBSTITUTION IS PROPOSED, THE CONTRACTOR SHALL PROVIDE THE OWNER A LISTING OF PRICE DIFFERENTIALS AND ALL SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 9. IN CASE OF CONFLICT BETWEEN THE PLANTING SCHEDULE AND THIS PLAN, THE GREATER NUMBER OF PLANTS - EITHER DEPICTED OR SPECIFIED - SHALL BE PROVIDED.
 10. PLANTING SEASONS:
 - A. SPRING SEASON FOR ALL PLANTING IS FROM APRIL 1ST TO JULY 15TH.
 - B. FALL SEASON:
 - FOR ALL EVERGREENS IS FROM AUGUST 15 TO NOV 15.
 - FOR ALL DECIDUOUS TREES, SHRUBS AND GROUND COVERS IS FROM AUG. 15 TO OCT 30. PLANTING IN MID SUMMER MAY BE ALLOWED ON A CASE-BY-CASE BASIS, IF SUFFICIENT IRRIGATION IS PROVIDED.

Sudbury Board of Selectmen

APPROVAL UNDER SITE PLAN REVIEW REQUIRED
 APPROVED APPROVED WITH CONDITIONS

DATE OF APPROVAL: _____
 DATE OF ENDORSEMENT: _____

TOWN ENGINEER/DPW DIRECTOR: _____
 PLANNING DIRECTOR: _____
 BUILDING INSPECTOR: _____

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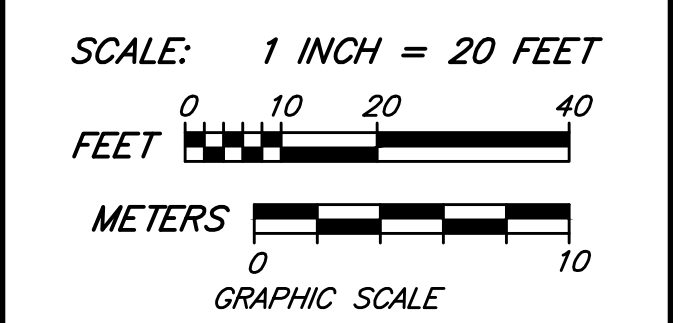
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PERMIT SET
 January 3, 2014



SUDBURY POLICE HEADQUARTERS

SUDBURY, MASSACHUSETTS

LANDSCAPE PLAN

scale 1" = 20'
 date JANUARY 3, 2014
 drawn by WEM
 job no 13-7201
 sheet

C-5