

LORING PARSONAGE

Sudbury, Massachusetts



CONDITIONS ASSESSMENT & FEASIBILITY STUDY

December 2014

SPENCER & VOGT GROUP
architecture preservation

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EXECUTIVE SUMMARY & METHODOLOGY

“The Museum, like the Library, is a community enterprise by its very nature.”
Edward P. Alexander, *The Museum in America*

The Sudbury Historical Society has embarked on the first steps in re-envisioning itself as a public institution with the architectural study contained in this report. Future steps may include refining its mission and collections policies, creating organizational development and operating procedures, developing close partnerships with community and area organizations, and over it all – raising the resources to support the building and its activities. This may seem like a lot for a small volunteer organization, and it is, but keep this metaphor in mind: play like a string quartet, not an orchestra – meaning be flexible, responsive and directed.

Over the years the Sudbury Historical Society (SHS) has developed a particularly strong identity in public programs with audiences upwards of 100 attending events that are filmed and available on the SHS website. The wonderful outreach to local schools offers informative insights into the life of Sudbury over the centuries while preparing young minds for the future. The Society has also garnered strong archival collections and many artifacts of unique local value. But the most compelling resource is the active engagement of its volunteers and members.

For many years the Society has enjoyed its cozy quarters on the second floor of Town Hall in the space formerly serving as assembly for Town Meeting and the like. With the impending renovation of Town Hall for municipal purposes, the need to relocate the Historical Society inspired this study of the potential of the adjacent Loring Parsonage to serve the needs of the Society and its community efforts.

Spencer & Vogt Group was engaged by the Society in 2014 to conduct a comprehensive assessment of physical conditions at the building, develop treatment recommendations for restoration/preservation, and provide conceptual design for improvements to existing space and potential expansion. Chronicling the many changes and alterations that have taken place at the building over almost three centuries, an interesting research challenge, was beyond the scope of this project.

The Project

The selected conceptual design was the outcome of the exploration process undertaken by the Building Committee and the Spencer & Vogt Group (SVG) over a period of three months. It contains 6,576 square feet, sufficient space to support the program of needs. The estimated cost is \$2.1 million.

The design includes full renovation of the Parsonage and construction of an attached gable-roofed barn-like addition. The links connecting the addition to the Parsonage evoke the connected house and outbuilding form of traditional 19th century rural homesteads. A farmers porch is reintroduced providing modern accessibility while recalling a porch that had existed in the late 19th century. The

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floor plan of the Parsonage is respected with the first floor serving as exhibition space and the second floor as offices and workspace.

With an overall estimated cost of just over \$2 million, it is natural to look for phasing opportunities. The hard reality is that dividing the project into parts does not address the space needs of the organization as it exists today much less the organization it wishes to grow into.

It is useful to look at the factors that affect costs:

Structural requirements: The Parsonage has several defects that must be addressed resulting from inherent design at the time of construction, age and weathering. However, it is today's building codes that have the most significant impact. With the change to a public assembly building the code mandates upgrading the floor load capacity to 100 pounds per square foot. The new additions will be built to that capacity.

Handicapped access: The building code requires full accessibility. The design concept locates the elevator in such a way that the Parsonage and the new additions are served. However, the narrow doorways of the Parsonage will need to be modified. A system similar to the demountable magnetic door frames used at the Buckman Tavern in Lexington will fulfill this requirement. Other impacts are seen in entrances, restrooms, and the kitchenette.

A phasing approach could renovate the Parsonage and rebuild the ell in a first phase, with the additions for the elevator and meeting/exhibit and collections storage in a second phase. The phase one approach would require a variance from the Massachusetts Architectural Access Board for lack of access to the second floor.

Life safety and emergency egress: The building code has strict requirements for public assembly buildings, the classification for the renovated Parsonage and its addition. This includes a fire suppression system (sprinklers) in addition to a state of the art fire detection system connected to the Fire Department.

Infrastructure: In addition to code-mandated standards for ventilation in public assembly uses, conventional standards for public occupancy and the care of collections and archives lead to changes to central heating, ventilation and air conditioning. The provision of sufficient electricity to operate an elevator as well as lighting calls for three phase power. Water and sanitation will connect to the existing facilities.

Site Work: Happily, the large parking lot behind the Parsonage is available and the Historical Society active hours tend to be off-peak of the municipal uses. Sadly, the expansion of the Parsonage necessitates the removal of the mature sugar maple at near the driveway. The plan also moves that driveway slightly to the east, which is consistent with preliminary recommendations in a previous study for the renovation of the Town Hall.

The Report

Part One of the report, **History & Significance**, includes a brief historic synopsis, a physical description of the building, and a list of character defining features (the physical elements that define the building's architectural significance and must be retained in any restoration scheme). It also includes guidelines for preservation of the historic fabric of the building and its character defining features.

Part Two, **Existing Conditions & Treatment Recommendations**, comprises a comprehensive examination of conditions at the building, both exterior and interior, a survey of mechanical systems, and recommendations for repair and improvements. It also includes a regulatory review of the existing structure, a structural analysis, and a summary of costs to stabilize the building and restore its exterior.

Part Three of the report, **Interpretive Discussion & Feasibility Study**, includes a narrative on space needs and the evolution of programming; the latter was informed by a lively discussion with museum educator Cynthia Robinson. The preferred conceptual design option for optimization of the existing space and expansion with a building addition is included, along with the associated cost estimate of \$2.1 million.

The **Appendix** includes narrative and drawings describing the evolution of the conceptual design that culminated in the final accepted design. It also includes the communications dialogue between the Historical Society and the architect as the conceptual design progressed, miscellaneous Historical Society and historic building documentation, and the transcript of the interpretive planning session with museum education consultant Cynthia Robinson.

Moving Forward

In the early stages of the study, the idea of a separate structure to accommodate the needs of the Society was studied. The idea was to spare the Parsonage the required structural reinforcement, fire suppression, illuminated exit signs and the like. After due consideration the Building Committee expressed its wish to renovate and enlarge the Parsonage as its headquarters. The identity of this fine old structure along with its central presence in the historical town center is compelling and resonates with the mission of the Society. Historic images remind us that the Parsonage was once the center of a series of outbuildings that supported it as a residence and farm. This offers inspiration for the connected barn concept of the proposed design, taking its cue from the "big house, little house, back house, barn" of 19th century progressive agriculture practices.

Past friends of the Society have generously provided bequests that form that start of a capital campaign. As the Society plans for the future, the initial costs of construction should be joined by planning for annual operating costs for insurance, utilities, maintenance, and possibly personnel costs.

The renovation of the Parsonage offers a transformative vision for the Sudbury Historical Society as it reaches out to the future while drawing on the experience of the past. Grounded realism should be joined with vision and energy in creating a compelling entity in the renovated and expanded Loring Parsonage. The Historical Society's concept of a history center imagines a partnership with the Sudbury Historical Commission, local schools and educational and cultural organizations offering the prospect of a vital and enduring contribution to community life.

METHODOLOGY

The Conditions Assessment and Treatment Plan represents a collaborative effort between Spencer & Vogt Group (SVG) and the Building Committee representing the board of directors at the Sudbury Historical Society. The Committee was chaired by Stewart Hoover, now president of the Society.

The project team was assembled and coordinated by Lynne Spencer, partner and preservation principal at Spencer & Vogt Group. Project Architect Patrick Guthrie was responsible for onsite investigations and provided the building and zoning code analysis and schematic designs. Nick Curtis produced the annotated drawings that describe the work necessary to preserve the building and bring it into compliance. Lynn Smiledge, preservation planner, developed the historic components of the report and coordinated its final assembly.

SVG assessed the building envelope, interior conditions and building systems; documented them with narrative and photographs; and created CAD drawings of the existing floorplans and elevations. John Wathne of Structures North Consulting Engineers conducted the structural engineering assessment of the building and prepared a report explaining the actions needed to bring the structure into compliance with building code requirements.

A preliminary program of needs derived from surveys and the Historical Society's internal audit was used as a basis for conceptual designs.

Museum education consultant Cynthia Robinson worked with Spencer & Vogt Group and the Society on continued programming exercises and provided invaluable input on public educational and interpretive opportunities, emphasizing collaboration and the need for flexible spaces for exhibits and programs. Cost estimates were provided by M.J. Mawn Construction.

All photographs were taken by Spencer & Vogt Group unless otherwise indicated. The final report was issued both as a printed document and in electronic format as a portable document format (pdf). Three hard copies were delivered along with a compact disc.

BUILDING HISTORY & DESCRIPTION

The Loring Parsonage was built ca. 1730 by the Rev. Mr. Israel Loring, Sudbury's first minister. After Loring's death in 1772 the house was purchased by Walter Haynes and used as a tavern. Ownership was transferred to the Town of Sudbury in 1931 as a site for a new town hall, with the parsonage building to serve as the custodian's home and meeting rooms for the local fire department. Today half of the first floor is occupied by the Lincoln-Sudbury Town Employees Federal Credit Union. The second floor is not occupied on a daily basis, with those rooms used for meetings.

Like many venerable New England structures, the ca. 1730 Loring Parsonage has undergone considerable physical change over its nearly 300 year existence. Framing evidence suggests that the first structure on the property was an early two-room house that was later encapsulated by a larger structure with a hipped roof. That structure was subsequently enlarged and altered to the building's current form and appearance, which blends Georgian (1725 - 1780), Federal (1780 - 1830), and Greek Revival (1830 - 1860) elements. The original central chimney was replaced with centered paired chimneys on the north and south roof slopes.



Loring Parsonage, 1905. Photograph by Frank Hadley. Courtesy of Sudbury Historical Society.

The 1960 and 1961 Sudbury Town Reports describe a restoration of the building to a pre-revolutionary appearance. The 6-over-6 windows were replaced with "proper" 12-over-12s, the Georgian doorway was restored, and extensive interior restorations performed. The kitchen ell was replastered in the "early manner," wainscot and mantle details were restored, and the fireplace and cooking ovens were reopened. Panelling and secondary woodwork was restored in the west room on the second floor, where a fireplace and cooking oven were discovered under layers of additions. Rest rooms were added in the center of the building and a new furnace and rear cellar entrance installed.

An extensive exterior preservation and restoration project implemented in 2009 included new siding and wood shingle roofing. The work was approved by the Sudbury Historical Commission and will ensure many more years of protection from the elements.



Loring Parsonage. South elevation.



North and east elevations.

Description

The Loring Parsonage occupies a grassy lot southeast of Town Hall in the old town center. It is adjacent to two municipal parking lots – a smaller lot to the west and a large lot to the north.

The building is a 5-bay rectangular structure with a shallow gabled roof. A 3-bay ell extends parallel to the building from the east elevation and is set back slightly from the facade. There is a small shed roofed addition at the same elevation. Centered chimneys pierce the north and south roof slopes; there is a smaller chimney at the ell.

The building is sided with wood clapboards and has narrow corner boards. The cornice at the main block is ornamented with dentils with returns at the gables.

There are four door openings including the main entry at the facade with its pedimented surround and unornamented doors at the south elevation of the ell, the west elevation, and the shed-roofed addition. The doors are paneled; the main entry has a multi-light storm door and the secondary doors have single-light storms. Windows are 12-over-12 lights except for 6-over-6 and 3-over-6 at the additions. The wood storm windows are 2-over-2. All the fenestration has flat casings and trim.



West elevation.



CHARACTER DEFINING FEATURES

Every old building has a distinctive identity and character. Character defining features are the significant observable and experiential aspects of a building that define its architectural power and personality. These are the features that should be retained in any restoration or rehabilitation scheme.

Character defining elements include the overall shape of the building and its materials, craftsmanship, decorative details and interior spaces and features, as well as the various aspects of its site and environment. They are critically important considerations whenever building work is contemplated. Inappropriate changes to historic features can undermine the historical and architectural significance of the building, sometimes irreparably.

This survey of Loring Parsonage identifies the elements that contribute to the unique character of the building and its site. Features listed in this section and marked by (■) should be considered important aspects of the historic nature of the building and changes to them should be made only after careful consideration.

EXTERIOR

Setting: *The topography, population density and other influences that are noteworthy to the property.*

- The south-facing building is on a knoll, set back from Sudbury Road and adjacent to Town Hall. It is located in Sudbury’s old town center, which is sparsely dotted with public and residential properties.



Relationship of Town Hall (left) to Loring Parsonage.

Shape: *The form of the building. The massing that gives the initial visual impression of the structure.*

- Two story rectangular structure with a parallel ell and small shed addition.



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Roof and Roof Features: *Typically the most dominant element of a building. Often the element that most informs the shape of the building.*

- Gable roofs at main block and ell.
- Shed roof at small addition.
- Paired, centered brick chimneys at the front and rear roof slopes of the main block; single chimney at the rear slope of the ell.

Openings: *Windows and doors. These often reflect the hallmark features of specific architectural styles.*

- Symmetrical window placement at the main block.
- Transoms at main entry.
- Early multilight window sash configurations: 12-over-12, 6-over-16, 3-over-6, 2-over-2 (storms). NOTE: the 12-over-12 sash replaced 6-over-6 sash in 1960 in a speculative restoration.
- Raised panel doors.

Trim and Secondary Features: *Casings at windows and doors, moldings, cornices, watertables and other additive features.*

- Flat window casings, lintels, sills and cornerboards.
- Pedimented door surround at main entry with pilasters, entablature, and dentils.
- Dentilled cornice.

Materials: *The visible kit of parts that comprise the exterior envelope of the buildings.*

- Wood (clapboards, windows, doors and trim).
- Brick chimneys and sidewalk.
- Granite stoop, fieldstone foundation.



12-over-12 light sash with 2-over-2 wood storm window.



Pedimented door surround with pilasters, transom, and dentilled cornice and entablature.



Greek Revival cornice return at gable end. Note dentils.

- Glass lights.
- Metal door hardware.

INTERIOR

Individual Spaces: *Individual spaces that are character-defining.*

- First and second floor plans and room configurations.

Features & Details

- Visible framing elements.
- Wainscot and paneled walls.
- Wide plank wood flooring.
- Stair rails, balusters, newels and pendant ornaments.
- Fireplaces and surrounds.
- Early paneled and vertical board doors.
- Door hardware.



Wainscot of wide horizontal boards. Framing elements at ceiling.



Stair hall. Note pendant details.



Paneled woodwork and door with wrought iron latch. Fireplace and oven.



PRESERVATION GUIDELINES

The consideration of repairs, maintenance, and future renovations of the Loring Parsonage should be guided by the significance of the building and site as framed by the National Register of Historic Places and the character defining features identified in this report. *The Secretary of the Interior's Standards for the Treatment of Historic Properties* should be used to inform all work at the building. The Standards provide advice on the preservation and protection of cultural resources and recognize four treatments: Preservation, Rehabilitation, Restoration and Reconstruction. The first three are relevant to this project.

PRESERVATION is defined “as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.”

REHABILITATION is defined “as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural or architectural values.”

RESTORATION is defined “as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.”

GENERAL APPLICATION OF THE STANDARDS

Additions

Additions to a historic structure should be respectful and subordinate to the original building. Although the addition should possess similar mass, proportions and materials, and can feature complementary stylistic details, it should not replicate the original building and should be readily distinguished as new construction.

Materials

When repairs are required, original building materials should be replaced in kind – granite for granite, wood for wood, slate for slate. When traditional replacement materials are not available or are economically unfeasible, substitute materials that

mimic the look, feel, and workability of original materials may be considered. Care should be taken when deciding to use a synthetic material, however, since modern products may interface poorly with traditional building materials, offer limited longevity versus traditional materials, and experience color shifts and other deteriorative changes.

Siding

Substitute siding materials cannot rival the distinctive, historic appearance of wood clapboards or shingles. Although substitute materials such as vinyl or cement board siding may offer short-term benefits in terms of maintenance and durability of color finish, they have inherent disadvantages. Vinyl siding severely compromises the historic integrity of a building and its application often obscures character-defining trim elements or necessitates their removal. Cement board siding lacks the distinctive tapered profile of wood siding, is difficult to install (it requires screws instead of nails), and degrades over time. It performs poorly and takes on water during freeze-thaw cycles and where butt ends have not been properly prepared.

Wood Windows and Doors

Wood windows and doors are character defining features and essential elements in a historic building's distinctive architectural design. Repairing and weatherizing existing wood doors and windows is always the preferred approach for historic buildings and provides energy efficiency comparable to new elements. When windows have exceeded their useful lives and retention is not practical or economically feasible, an approach that combines repairing old windows where possible and introducing new windows where necessary is recommended. Where original windows cannot be salvaged, historically appropriate, high quality wood windows with true divided lights and pane configurations matching the originals are acceptable.

Paint Finishes

Original paint formulations and colors are character-defining elements that are often lost over time because the paint materials themselves are relatively short-lived. When repainting is necessary to preserve the integrity of the envelope, the colors chosen should be appropriate to the style and setting of the building. If the intent is to reproduce the original colors or those from a significant period in the building's history, they should be based on the results of a scientific paint analysis.

Traditional lead-based paints, which offer excellent longevity, durability and color stability, are no longer available in the United States. The highest quality latex-based paints available should be employed instead, after thorough surface preparation and priming. The application of a permanent vinyl or ceramic liquid coating system is damaging to wood siding, irreversible, and historically inappropriate.

APPLICATION OF THE STANDARDS AT THE LORING PARSONAGE

Preservation of the character defining features and architectural integrity of the Loring Parsonage should be of paramount concern for the building's stewards.

Preservation of the Setting and Landscape

The building is sited specifically for its historic function. Its spatial relationship with the street should be retained in any rehabilitation scheme.

Preservation of Exterior Character Defining Features

Roofing

The original wood shingle roof, an important character defining feature, has been replaced in kind on the building. Wood shingle roofing is historically appropriate and should be retained.

Wood Siding, Windows, Doors and Trim

All wood materials should be retained, repaired and maintained. If the replacement of damaged elements is unavoidable, the original wood profiles should be replicated.

Preservation of the Interior Plan & Character Defining Features

The structural engineering report generated for this study states that reuse of the parsonage will require structural intervention. When stabilization is performed, the framing should be accessed from above in order to maximally preserve historic building fabric. This entails the removal of floor boards, structural reinforcement, and the reinstallation of boards in their original locations.

The comprehensive renovation plans being considered by the Society require some loss of the historic floor plan and removal of some of the character-defining features on the interior of the parsonage. This loss of historic fabric should be weighed carefully against the practical gains of any renovation scheme.

Prior to any intervention, the building interior and its constituent materials should be carefully documented, both photographically and with a written narrative. If interior demolition takes place, character defining elements should be salvaged and reused when possible.



EXISTING CONDITIONS & TREATMENT RECOMMENDATIONS



Loring Parsonage. South elevation.



North and east elevations.



West elevation.

EXTERIOR & INTERIOR CONDITIONS

This section of the report deals with the Parsonage as it is today. Treatment recommendations apply to current conditions and areas identified for improvement. Please see Part 3 of this report, Interpretive Discussion & Feasibility Study, for conceptual design and work related to that design.

EXTERIOR CONDITIONS

Roofs & Chimneys

Conditions

The roof was replaced in 2009 with Alaskan yellow cedar shingles which have weathered naturally. It is in good condition with no visible signs of deterioration except at the intersection of the shed-roofed addition and the ell, where gutter drainage has stained the shingles. New flashing was installed at the brick chimneys when the roof was replaced; the chimneys are in good condition. Gutters and downspouts at the shed-roofed addition and the north elevation of the ell direct water away from the roof.

Recommendations

- Fix gutter to address water backup at shed roof.
- Maintain the cedar shingle roof. With good care, it should have a life expectancy of 25-30 years.
- Clean gutters and downspouts annually.



East elevation.



Water staining at the shed roof intersection with the east ell.

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Facade

Conditions

The clapboard siding on all elevations was replaced and aluminum flashing installed at wall intersections in the comprehensive restoration project of 2009. Wood trim elements were repaired or replaced at that time including door surrounds, window casings and trim, and dentils at the cornice. Paint damage was observed at the base of the pilasters and baseboard at the main entry, where it appears that water collecting on the stone stoop may run off and infiltrate the framing.

Recommendation

- Prep and repaint trim at base of main entry. Address associated water drainoff at stoop.



South elevation.



East ell.



Moderate paint failure at pilaster at main entry.



Note wood storms on the windows and rubble stone foundation.

Side & Rear Elevations

Conditions

As noted earlier, all elevations were resided and restored in 2009 and are in good condition. There is a generous drip line at the rear (north) elevation lined with 1/4" gravel to accommodate roof runoff. There is some sill rot at the door on the west elevation.

Recommendation

- Repair, prep and repaint damaged areas at the door sill and molding.



North elevation.



East elevation.



Water damage at sill and door framing.



Bulkhead at north elevation.

Windows & Doors

Conditions

Most of the fenestration is reproduction that dates to the 1960s restoration.

There are 2-over-2 wood storms over all 12-over-12 first floor windows. Those at the ell are screwed in place and not sized properly for the windows.

Recommendations

- Maintain glazing integrity and paint finishes on all windows.
- Consider installing properly sized storm windows at the ell.

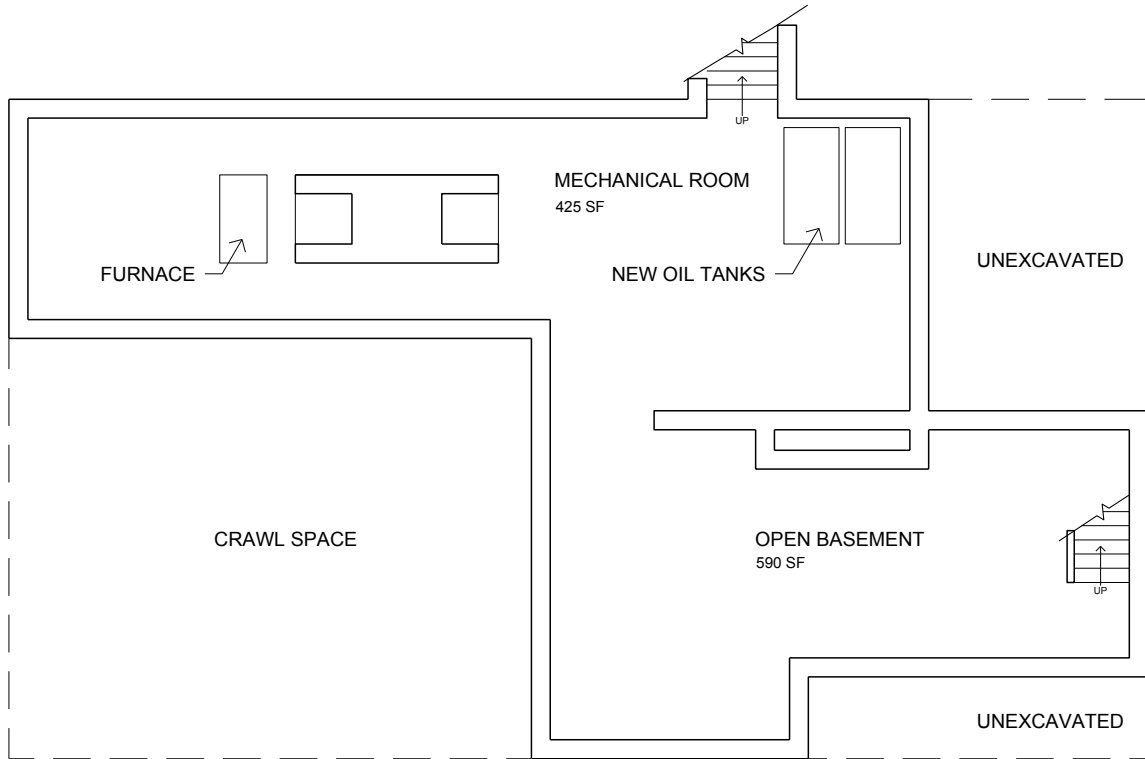


Main entry with pedimented surround.



2-over-2 storm window in place over 12-over-12 window.





1 EXISTING BASEMENT FLOOR PLAN



INTERIOR CONDITIONS

Basement

Conditions

A full height basement with a concrete floor occupies the space under the north rooms and parlor of the main block and the ell. There is a crawl space under the main entry and the rooms at the southwest corner of the main block. There is no basement or crawl space under the shed-roofed addition (the toilet room). A concrete haunch is poured at the foot of the whitewashed rubble foundation walls. There is past evidence of water infiltration from the southeast corner. The floor framing has been reinforced over several campaigns but more work is required.

Recommendations

- Maintain existing conditions.
- Continue annual inspections.
- Please see the Structures North report for framing repair recommendations.



Note concrete haunch at the foot of the whitewashed rubble walls.



New oil tanks.



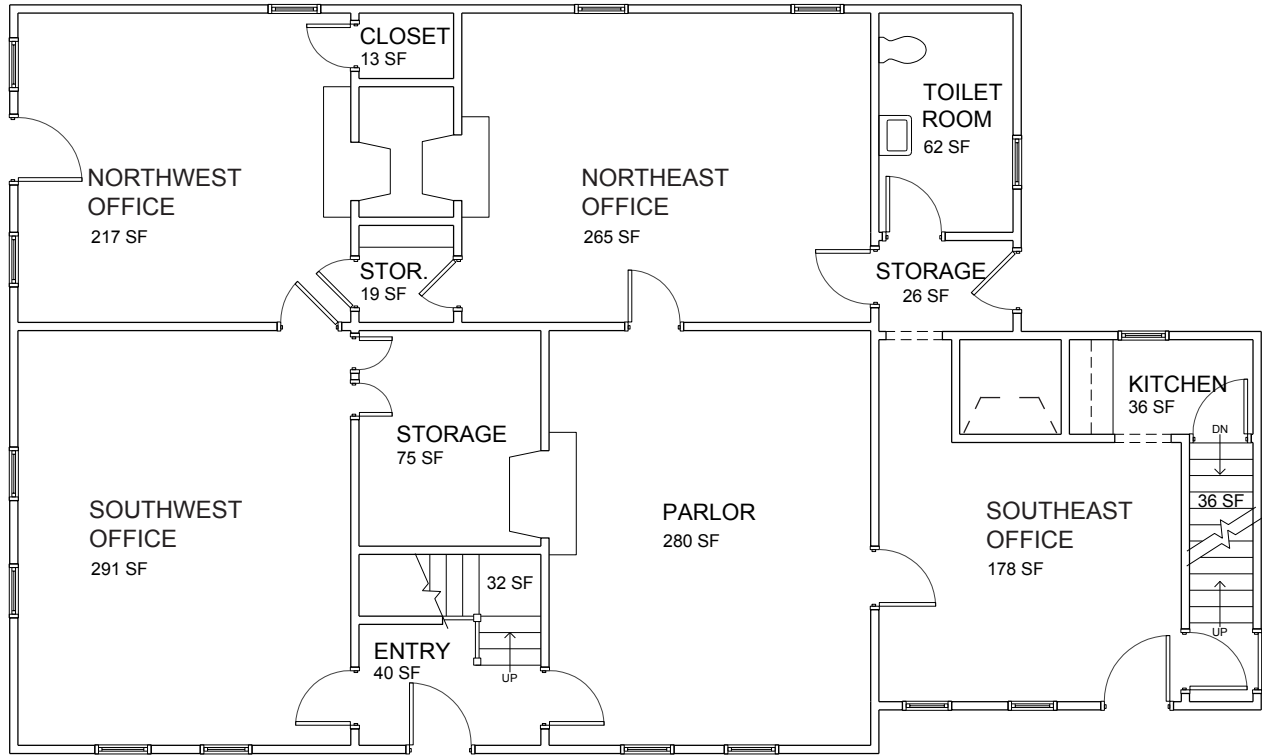
Copper piping from the existing boiler and the vent from the boiler to a modern brick connection to the historic chimney are visible in this view.



In this view the opposite side of the historic chimney breast from the photo above is visible along with largely redundant telephone switch gear, the waste line from the kitchen and areaway steps.



The electrical meter box and the main breaker box bracket one of the historic beams shored by a steel column with a corroded base.



1 EXISTING FIRST FLOOR PLAN



First Floor

Conditions

The first floor rooms have plaster walls and ceilings. Woodwork consists of flat crown, base and door molding throughout; paneled doors; horizontal wood dados in the parlor, southeast office and kitchen; and raised paneled walls in the southwest office and stair hall. There is exposed framing consisting of girts and floor joists in the southeast office. The wood flooring is wide plank covered throughout in carpet at the office spaces. Heat is provided by baseboard units.

Recommendations

- Remove carpeting.
- Remove fluorescent lighting.



First floor, southwest office.



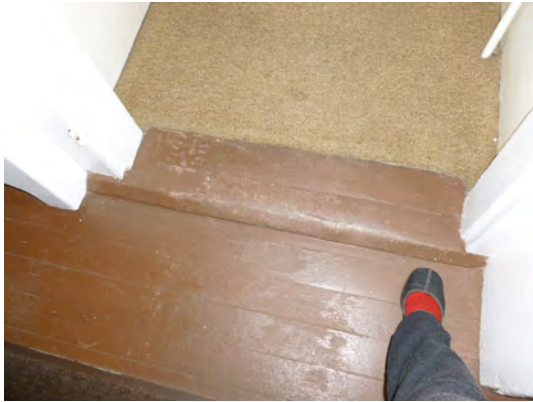
Exposed framing in the southeast office. The fireplace has been closed in.



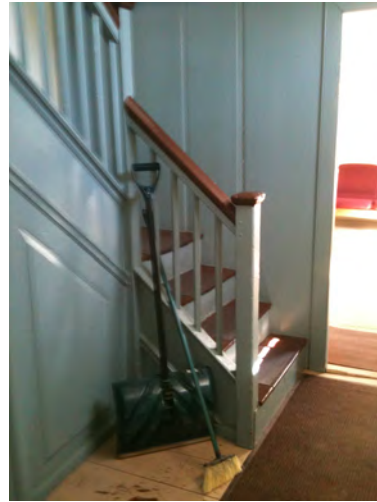
Wood paneled wall and fireplace with oven in northwest office.



Narrow strip floor in the kitchen. Note horizontal plank dado.



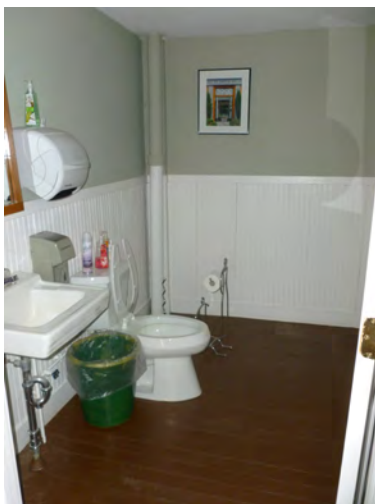
Worn wide plank flooring.



Paneling in stair hall.

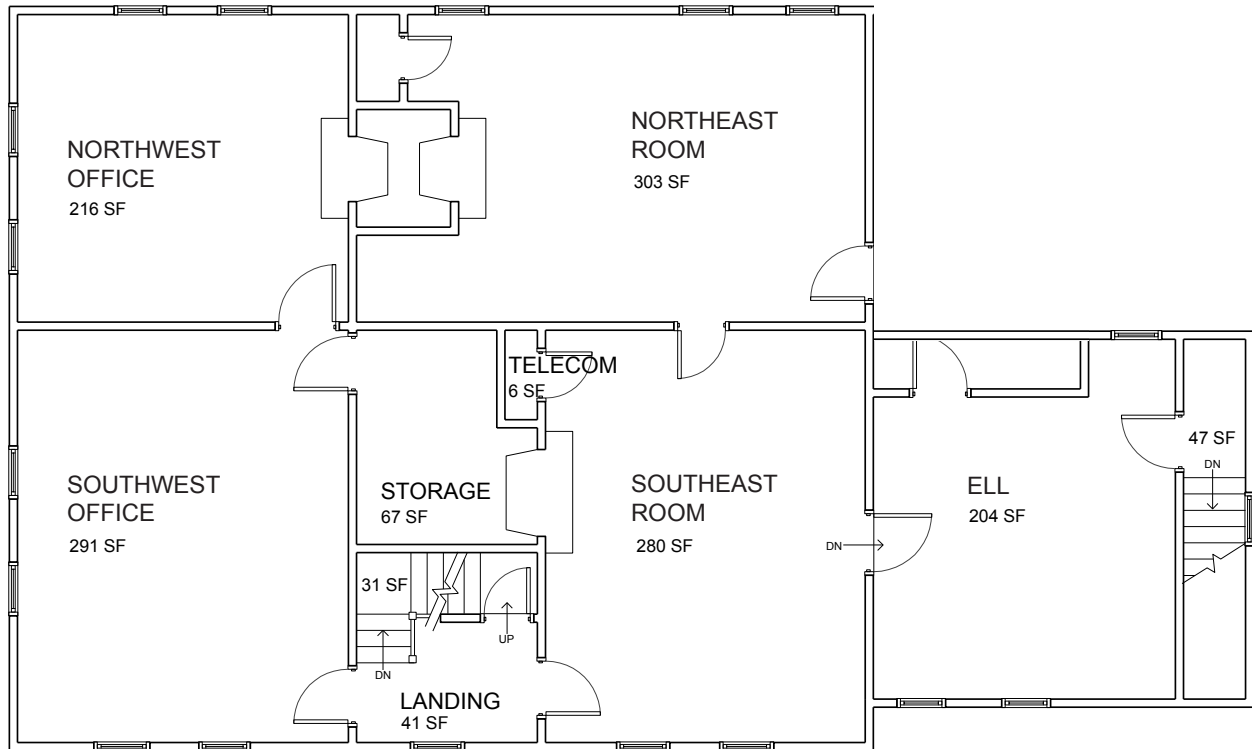


The plaster walls in the parlor have been papered. Note the Federal era fireplace insert.



Beadboard wainscot in the toilet room.





1 EXISTING SECOND FLOOR PLAN

Second Floor

Conditions

The second floor rooms have plaster walls. Ceilings are plaster except in the northwest office, which has a board and batten ceiling. Woodwork consists of flat crown, base and door molding throughout and raised wall paneling in the conference room and storage area. Flooring is wide wood plank throughout; the wood is covered by carpet in the conference room and vinyl flooring in the small storage room. Heat is provided by baseboard units.

Recommendation

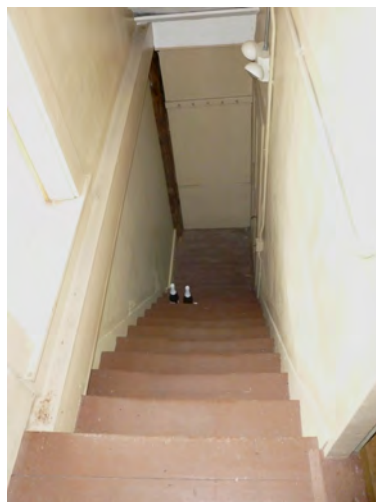
- Repair ceiling plaster in ell storage room.



Paneled wall, boxed framing and wide plank flooring in southeast room. Fireplace has been closed in.



Wide plank flooring and open fireplace in ell storage room.



Stairs between first and second floors at ell.



Wide plank flooring and open fireplace in northeast room.

Attic

Conditions

The Loring Parsonage attic has exposed framing that shows the long sequence of building and renovation that has occurred. Loose fill insulation is spread between the ceiling joists. Brick masonry chimneys pass through the space. Although there is evidence of historic water infiltration, this seems to have been remedied with the new roof.



Loose fill insulation between ceiling joists.



saw cut rafters visible in the attic attest to the gable roof being much newer (19th century) than the still visible posts and dragon trusses of the earlier (18th century) hip roof of the Parsonage.

MECHANICAL SYSTEMS

Conditions

Hot water is provided by a 30 gallon electric tank equipped with a 1 1/2" diameter backflow preventer. There is 1" copper service to the building. There is no vacuum breaker installed on the building exterior; this is a code issue.

Heat is provided by a boiler with a newer oil burner installed in 2001. Two 235-gallon oil tanks were also installed in 2001. Three hot water zone pumps provide heat via baseboard radiation and convectors. The rest room on the first floor lacks an exhaust fan.

An underground feed provides service for the 200A, 120/240 volt, 1 phase, 3-wire electrical system. The distribution panel is in good condition.

The building is fire alarmed and has heat detectors. It is not sprinklered.

Recommendations

- Update fire alarm devices when Town Hall system is replaced.
- Install LED exit signs at main door, volunteer office and second story storage room.
- Provide ventilation for the first floor rest room.
- If the building footprint is expanded for changed use, it will be necessary to install a full sprinkler system.



STRUCTURAL ASSESSMENT

John Wathne of Structures North Consulting Engineers conducted the structural engineering assessment of the building on April 22, 2014, and prepared the following report. The report is short but comprehensive and is included in its entirety in the following pages. The areas of most immediate concern are the floor framing at the first and second levels and the sagging at the southwest corner; these should be reconstructed for any change of use.





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April 22, 2014

Spencer & Vogt Group
1 Thompson Square, Suite 504
Charlestown, MA 02129

Attention: Patrick Guthrie

Reference: Loring Parsonage, Sudbury, MA

Dear Patrick:

On 3 April 2014 we observed the structural conditions of the Loring Parsonage in Sudbury, MA. The following is a summary of our observations and of *our recommendations*. For the purposes of this report, the front of the building will be considered to face south.

General Description

The house is a timber- and stick-framed structure on a rubble stone foundation with interspersed brick piers and steel columns at the interior. The majority of the house is laid out as a rectangular, two-story structure with accessible attic. There is a one-and-a-half story wing to the east and a one story ell, also to the east of the main house and to the north of the wing. The roofs of the main portion and wing are gables. There are two chimneys, located on the north-south center line, one in the north half and one in the south half of main portion of the parsonage. The chimney on the south side is two chimneys at the first and second floor and comes together in the attic to create one stack exiting the roof. There is also a chimney in the wing, which is centered in the north half of the wing.

A large section of the basement at the southwest corner is a crawl space while the remaining footprint is of full height.

The attic floor is divided into three framing bays by heavy timber wall plates and tie girts, with secondary girts and joists running between them. Ascending from the pair of inner girts are two timber posts that meet the tops of timber principal rafters and hip rafters that ascend within the front slope of the roof. This combined with the presence of dragon beam connections at each corner of the attic suggests that the roof was once framed like a hip.

Structures North
22 April 2014

Loring Parsonage
Sudbury, MA

Timber gable rafters are also present running toward the ridge from hip rafters suggesting that the turned into a gable during a period when heavy timber framing was still used. Other than for these older members, the roof today is entirely framed in modern dimensional lumber. Possible reasons for this reframing could include weakness, rot damage or fire.

Noted Conditions and Recommendations

We have noted the following during our investigation:

Basement -

- In the northwest section of the basement, there is a combination of original joists and newer joist sisters. The original joists are beetle eaten and rotted however the sisters are in good condition. *The new joists should be analyzed to confirm that they can support the floor load. All the joists should be treated with boric acid.*
- Throughout the eastern section of the basement, there is moderate section loss due to beetle damage and rot. *The capacity of the existing members should be assessed and reinforcing members and/or posts added if needed.*
- In the south-central bay, the original joists are bad, but they have been sistered with new joists that are in good condition. The sisters are nailed to the ends of the deteriorated joists. *Hangers should be added to the ends of the sisters to ensure proper support of the floor above. The joists and sisters should be borate treated to prevent the rot from spreading.*
- There is a stacked girt running north-south between the southeast and south-central bays. The upper member is mostly beetle eaten and the lower member is beginning to show signs of beetle damage. *The surrounding structure should be temporarily shored and the girt replaced with a new, properly sized member.*
- In the southeast bay of the full height basement, there is greater than two inches of section loss at the bottom of the joists from rot. The remaining area is suffering from beetle damage.
- A section of the existing sill along the east wall near the top of the stairs to the first floor has rolled outward, which is a sign that the outer edge is rotting. *The wall above should be temporarily supported and the rotated sill replaced.*



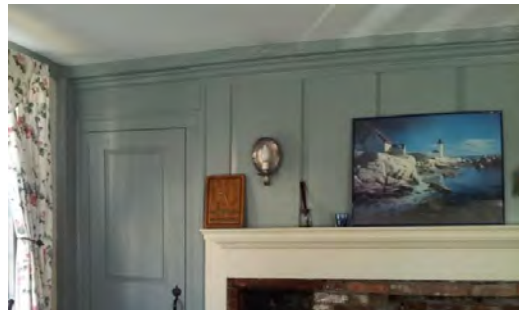
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Loring Parsonage
Sudbury, MA

- At the north chimney, there is minor to moderate damage in the brickwork due to rising dampness from below the floor slab. There is also similar damage in the brick walls built off the north wall of the east section. *The affected areas should be cleaned, cut, and pointed. Any bricks that come loose in the cutting process should be re-set.*
- There are reports of occasional flooding on the concrete floor. The condition of the crawlspace in the southeast portion of the basement and the northeast corner could not be observed.

First Floor -

- The floor and ceiling of the first floor are uneven in many places, including:
 - The floor in the southwest room slopes to the southwest corner and top of the north and south walls slope down to the west. The west wall slopes down to the south.
 - The tops of the walls in the northwest room slope to the southwest and northeast corners. The floor also slopes to the northeast including the closet to the east of the room.
 - In the north central room, the west door head dips to the south and there is a gentle sag in the top of the wall at the center. The girt along the south wall dips at the center and twists towards the room.
 - The floor and ceiling of the northeast room and storage area slope to the north.
 - The floor and ceiling of the southeast room in the northern third of the room slope radically to the north. Also, there are high points in the floor at the center of the room, in front of the chimney, and in a linear area from the chimney to the west window. There is a low point in the southeast corner and a dip at the door of the north elevation. The basement is visible through gaps in the floor boards.
 - The floor of the ell slopes down to the north and south, away from the center of the room.



The damage reflects deteriorated conditions of the floor framing observed from the basement. The repairs discussed in the previous section will help to address the issues.

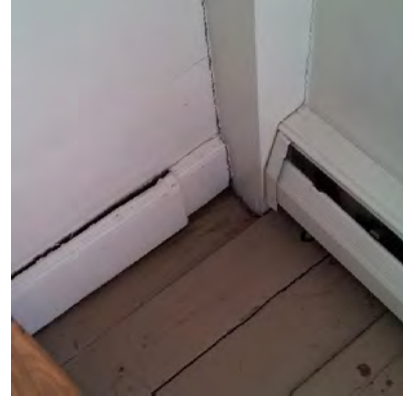
- In the southwest room, there is a crack in the wall girt at the summer beam connection into the west wall. The summer beam has twisted due to spiral grain

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22 April 2014

Loring Parsonage
Sudbury, MA

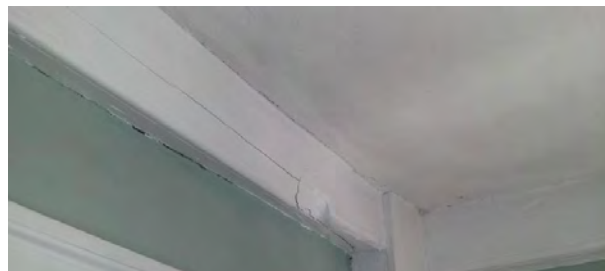
with the top of its west end moving towards the south wall. *The end connections of the summer beam should be inspected to make sure that they have not been affected by the rotation.*

- The fireplace in the northwest room has been rebuilt and there is a crack between the fireplace and dutch oven. *The crack should be cut and pointed and then injection grouted.*
- The base of the south wall of the ell has moved out with respect to the top of the wall. There is also a crack between the floor and wall at the south end of the east wall in the southeast room. At the south end of this crack, the corner post has pushed down into the floor. This movement has probably been caused by a crushing sill at the wall return between the main section of the house and the ell. *The sill should be exposed and replaced.*
- There is a crack between the ceiling and wall on the west wall of the ell. There is a split in the finishes at the north doorway of this room.



Second Floor -

- The general slope of the floor and ceiling of the second floor matches that of the first floor. The overall direction is towards the southwest corner and the north wall. The girt over the door between the north and south central rooms sags as it does on the first floor. Other signs of movement in the building are a differential shear in the wall paper at the alcove by the north window and the trim has buckled at the south corner of the alcove. This movement is in direct relation to the movement noted below, and a result of conditions that exist in the sill, posts bases and framing and support of the first floor.
- The floors are moderately bouncy in the four rooms of the main section of the house. *The framing should be checked confirm that it is sufficient for present and intended uses, and reinforced if needed.*
- There is torsional shear failure in the beam above the west south door of the southeast room due to a combination of shear load and twisting due to spiral grain. *The damaged girt end should be repaired using concealed pins and plates.*



Structures North
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Loring Parsonage
Sudbury, MA

- The attic tie girt at the wall between the eastern rooms of the main portion of the house sags in the same manner as at the first floor.
- The plaster and lath have peeled off the rafters in the east room, which is part of the ell. The wall leans out at the eave line and the rafters sag. The sagging and eave bowing is probably due to a lack of sufficient stiffness in the raftres to fully restrain the roof eave, which is atop a knee wall several feet below the ceiling. The bottom of the knee wall sits on a timber plate, which acts as a hinge, making the lateral alignment of the eave totally dependent upon bending in the rafters and stiffness of the roof sheathing. The resulting curvature may have contributed to the loosening of the plaster furring. *The rafters should be checked for bending strength and most likely stiffened, and the ceiling should be reattached, or of the rafters must be stiffened, removed and replaced.*
- There are cracks in the walls in the ell and creased wallpaper that relate to a combination of roof eave spreading and wall movements below.
- The east end of the summer beam in the southeast room has rotated with the top of the beam moving towards the north. The wall girt sags where the summer beam bears on it. *The rotation is due to spiral grain in the timber and the connection should be checked.*



Attic -

- There are visible cracks at the top of the south chimney on the west and south faces. *The deteriorated area should be cut and pointed. Any bricks that come loose during cutting should be re-set or replaced if damaged.*
- The north chimney feels generally solid, but there are streaks water is leaching through the brickwork eventually to weaken it. *The condition of the chimney and flashing should be checked above the roofline, and chimney repaired or pointed and flashing improved if needed.*
- The north side of the roof noticeably sags. *The existing framing, which is a combination of original and modern framing, should be analyzed to assess the actual capacity and reinforced if necessary.*



Exterior -

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22 April 2014

Loring Parsonage
Sudbury, MA

- There is a gentle dip in both the north and south sides of the main roof and shorter ell.
- The west and south elevations have a general outward bow in the full height of the wall.
- The eave at the south elevation of the ell is moved out of plane, away from the building. And the east corner is shifted out at the base.
- The eave at the ell slopes down to the north.

These movements are reflected in interior movement and damage discussed above with recommended repairs.

Considerations for Continued Use

The Loring Parsonage is currently being used as secondary office space by the town. The present, low density loading on the floors appears to be roughly equivalent to the residential load that the parsonage would have originally been built for, with one person per first floor office (plus a few visitors) and not more than six persons sitting around the table on the second floor. As long as the repairs that are recommended in this report are completed, the structure should continue to function in the same way.

If the Parsonage is ever used for a more load intense usage, this should be limited to the first floor and the second floor restricted to a very minimal and controlled occupancy. Because the first floor structure is such a mixed-up combination of damaged original members and supplemental sisters and bolsters, the entire floor should be reconstructed with any change in use.

Thank you for the opportunity to assess this historic property. Please contact us if you have any questions, or if we can be of further assistance.

Respectfully Yours,
Structures North Consulting Engineers, Inc.



John M. Wathne, PE, President

PROGRAM OF NEEDS

Program and Conceptual Design Development Process

Spencer & Vogt Group and the Building Committee arrived at an understanding of the Society's programming needs and a preferred conceptual design approach with a series of productive meetings and work sessions. The first working meeting, held on April 29, 2014, was informed by a document produced by architect Patrick Guthrie on April 17 describing his observations on the condition of the Parsonage, its potential for reuse, and attendant challenges. Committee members then completed space needs assessment worksheets for the various activities of the Society which the Architect summarized in a program spreadsheet. The version included on the following pages of this report reflects subsequent updates and refinements.

On May 22 the team reviewed the initial space needs summary and conceptual design Options A and B, which were based on the initial program of needs. After reviewing the building code as it relates to renovation of the Parsonage with the Building Committee and incorporating their feedback, a revised needs program and design Option C were submitted by the Architect on May 23. The Building Committee met several times and prepared two documents that further informed the design process, including direction that focused on the full renovation of the Parsonage. On June 9 museum educator Cynthia Robinson met with the Committee and shared her ideas on audience development, collaboration, and a dynamic approach to exhibitions and programs.

The Committee followed up on June 16, 2014 with a message to the Architect that reinforced the desire for full use of the Parsonage, a new addition connected to the Parsonage, an elevator serving the entire building, and further refinement of the collections and archives storage requirements. Design Option D was prepared in response to this guidance. After a final round of input, Option E was developed and selected as the final design. It appears on page 52 of this report along with a narrative description. Earlier Options A, B, C and D are included in the Appendix.

Summary: Discussion with Museum Educator Cynthia Robinson

On June 9, 2014, the Building Committee was augmented by several Historical Society Board members in a session with museum/interpretive consultant Cynthia Robinson and Lynne Spencer. Cynthia's experience as a museum educator and as executive director of the Bay State Historical League, a state-wide organization now reorganized with the New England Museums Association and Massachusetts Humanities, focused on services to small historical organizations much like the Sudbury Historical Society. Cynthia is now associated with Tufts University's Museum Studies Program. Cynthia led a lively two hour discussion, the transcript of which is included the appendix.

Highlights of the session included –

There is an evolution underway with how historical organizations are perceived and how they are remodeling themselves into a new paradigm. It started a few years ago

when there was a desire to identify as museums, stepping away from the perception of the historical society as a dusty old place filled with odd stuff and the occasional treasure. That being said, the perception of museums as arcane and elitist then led to the idea of the history center, an idea embraced by the Sudbury Historical Society in the brief that outlined the goals for the present study. Cynthia's suggestion was to think beyond history center and begin to think cultural center.

Cultural center opens a wide net, where programs and activities can draw on a number of disciplines. History, art, music, and film may be typically ascribed to culture, yet culture can also link to craft and technology-oriented activities, to environmental and agricultural activities, and to the entire realm of human experience. Culture is central to the way we view, experience, and engage with all aspects of our lives and the world around us. The physical artifacts created by a society, its so-called material culture, which can also be extended to documents and photographs, are an expression of society and in the case of the Historical Society, an important part of its mission.

As the Historical Society begins to envision the way the Center operates, think hard about exhibits and programs that 'share, not tell.' Simply put, this means moving away from the didactic forms typical to exhibits and to creative and engaged outreach. The recent "Picturing Sudbury: A Celebration of Our Town" is a great example of community engagement. The photographs elicited in the context not only resulted in displays on the Society's web site, but also resulted in important additions to the Society's archives.

The idea of 'light' exhibits was also explored. The typical 'big' exhibit can be costly in terms of research time, organizing objects (including occasional loans from other institution), and fabrication. Few small museums can maintain an active exhibit schedule on their own.

Collaboration with partners was strongly encouraged. The idea of student organized exhibits was also discussed. Cynthia described examples of exhibits put together by members of the community. Hosting exhibits created by other organizations is another way of attracting people for what is often their first visit.

By thinking widely, focus on topics of contemporary interest to your community: the environment, climate change, sustainability, and the local food movement would all be topics of relevance to Sudbury. And remember that publications are an important asset to sharing and perpetuating the research and thinking that go into an exhibit or program.

Cynthia also encouraged activities that create active participation and lasting memories, for example, costume balls. With Sudbury's long history of militia re-enactors, there are natural associations with the Revolutionary War era. But what about the Civil War and its aftermath? Or the Depression or the home front of World War I?

As in many New England towns, the demographics of Sudbury have changed. No longer rooted in agriculture and small manufacturing, most residents now work outside of the town they live in. Many families depend on two wage-earners. Time is precious so the things that draw people have to have special meaning and interest.

Understanding your audience is critical. In many ways, the audience now most engaged with the Historical Society is typical of such organizations – retirees with time and interest serve as volunteers, while school children studying Sudbury history as part of the state mandated curriculum are at the other end of the spectrum. Engaging the in-between audiences is a challenge. Many organizations focus on young children and older adults, involving young mothers with small children and sometimes people with early forms of dementia.

Also interesting is the relationship with adjoining towns such as Lincoln, Acton and Marlborough. Collaborative programs encompassing exhibits and activities make sense. Models are the regional entities like the Essex Heritage and Freedom's Way National Heritage Areas.

Collections policies are essential to clarifying the organization's posture on both 3-dimensional and archival materials. Artifacts are particularly heavy obligations in terms of space for both storage and display. Moreover they raise questions about what stories are being told. There is often a randomness to what is being collected; what is thought of as significant may vary greatly based on the inclinations of donors, tastes and perceptions. There may be competing collections within communities. For example, public libraries often have fine art, Native American artifacts and natural history collections dating to the time that libraries were seen as leaders in the public education and cultural movement. Having a clear and carefully drafted collection policy is essential to managing acquisitions and at times, the de-accessioning of items that do not meet the criteria.

The bottom line is that institutions like the Sudbury Historical Society must look outward and resist the natural inclination to look inward.



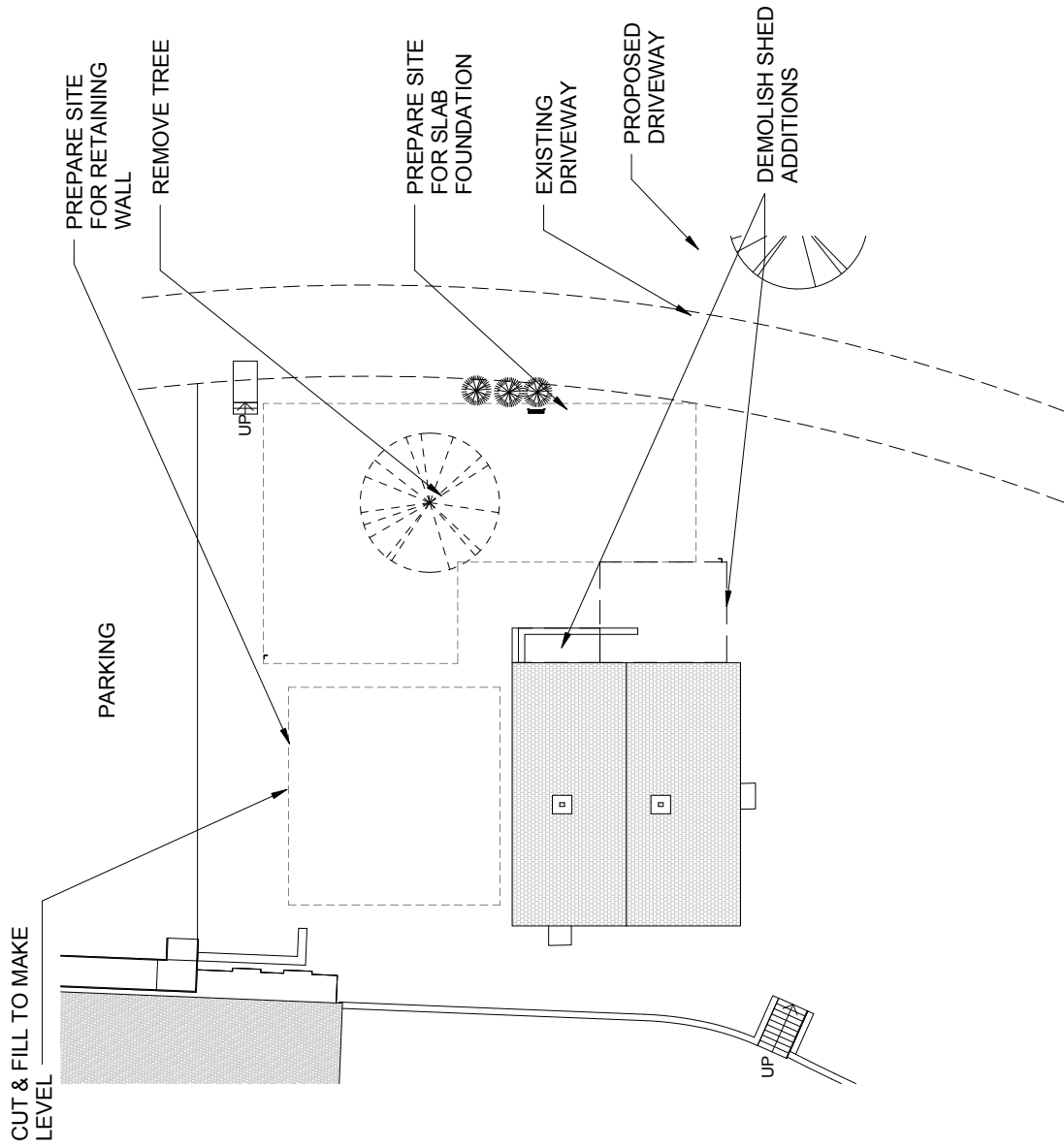
CONCEPTUAL DESIGN

Option E, the selected conceptual design, was the outcome of the exploration process undertaken by the Building Committee and the Spencer & Vogt Group (SVG) over a period of three months. It contains 6,576 square feet, sufficient space to support the program of needs.

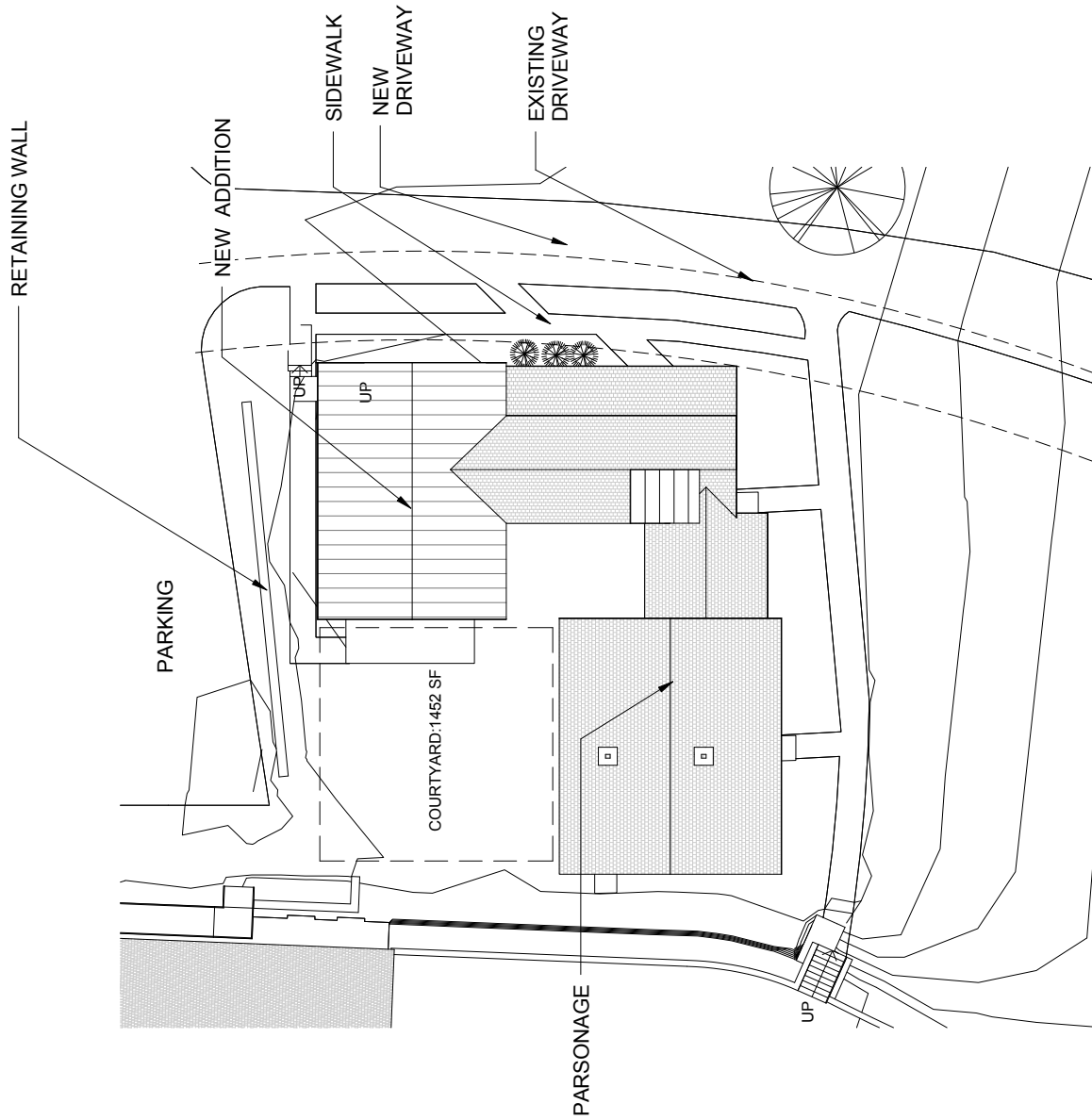
The design includes full renovation of the Parsonage and construction of an attached gable-roofed barn-like addition. The links connecting the addition to the Parsonage evoke the connected house and outbuilding form of traditional 19th century rural homesteads. A farmers porch is reintroduced providing modern accessibility while recalling a porch that had existed in the late 19th century. The floor plan of the Parsonage is respected with the first floor serving as exhibition space and the second floor as offices and workspace.

The following key considerations accompany the conceptual design.

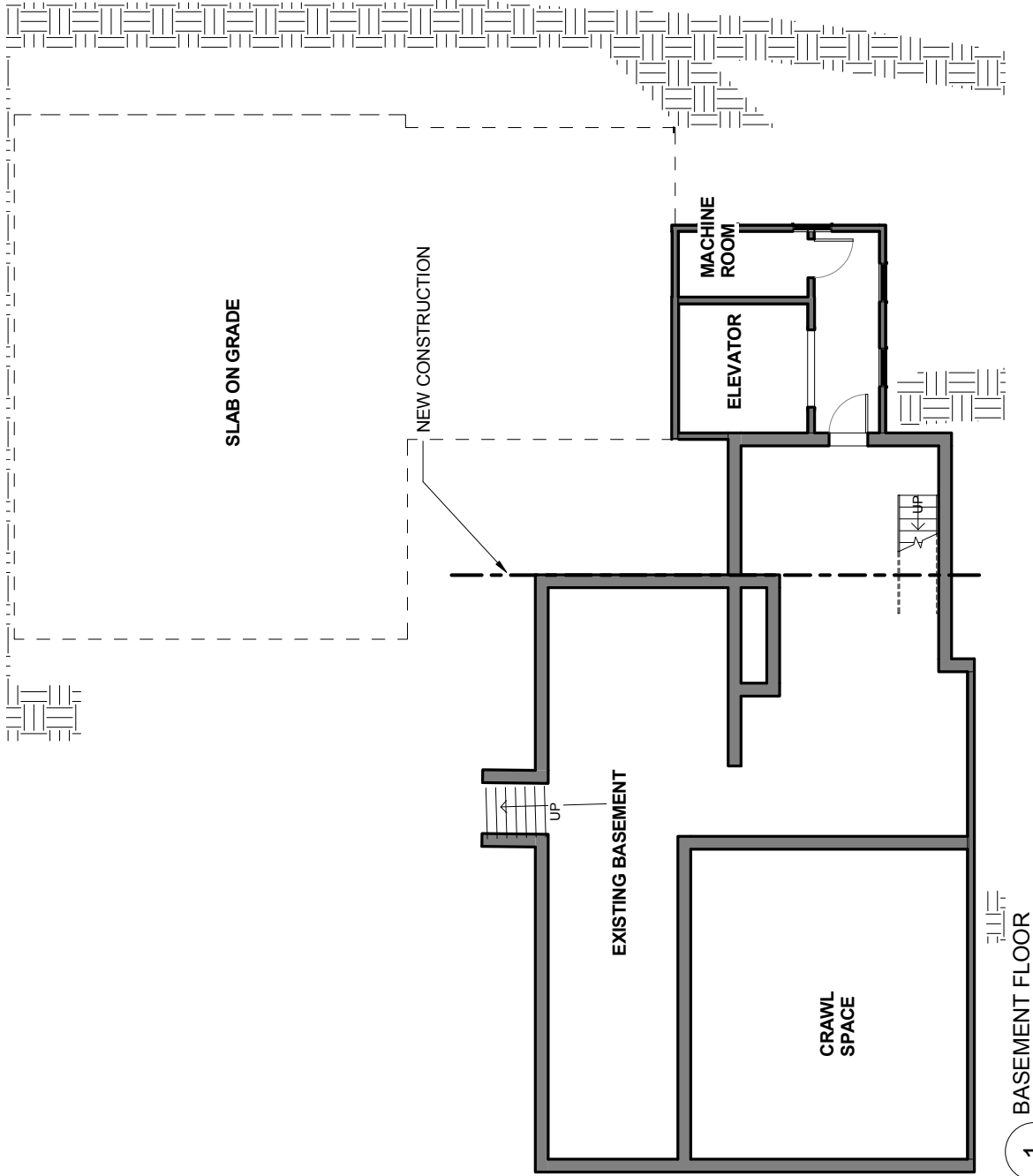
- The plans are conceptual and show the spaces as defined by the programming carried out with the Historical Society over several sessions and the application of building code requirements.
- The plans are based on information available to SVG about the existing site.
- The perspective views are intended to convey the massing of the concept design and represent the beginning of the design process. The details of doors, windows, siding, heights, etc. are placeholders and can be modified as the design evolves.
- The design illustrates the idea of a connected farm building stretching between the more formal symmetry of the historic Parsonage through a series of additions to a more barn-like structure.
- The new additions step back further from the Parsonage, retaining its prominence. From the east, the active building will be seen but the Parsonage will be foremost. From the west, the Parsonage will screen the new additions.
- The massing of the linking additions is broken up to subordinate them to the Parsonage.
- Changing materials will signal levels of refinement. The Parsonage will retain classical, clean architectural features while the details of the linking buildings will become simpler. The Parsonage will predominate.
- The desired physical connection between the Parsonage and exhibit/meeting/archival space allows sharing of a single elevator and makes both levels of the Parsonage accessible.
- The design calls for the documentation and removal of the 19th century ell to accommodate installation of an elevator providing access to the second floor.



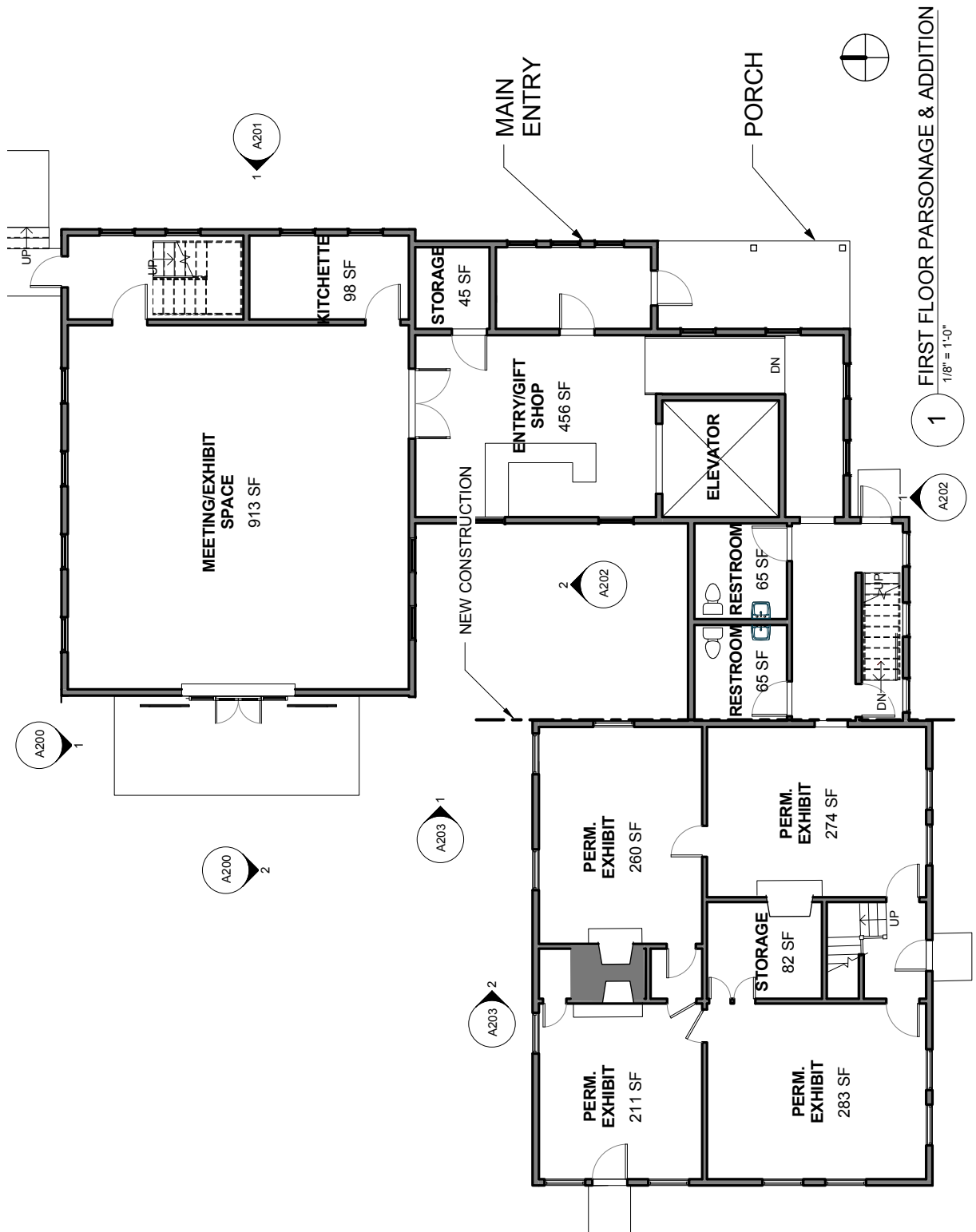
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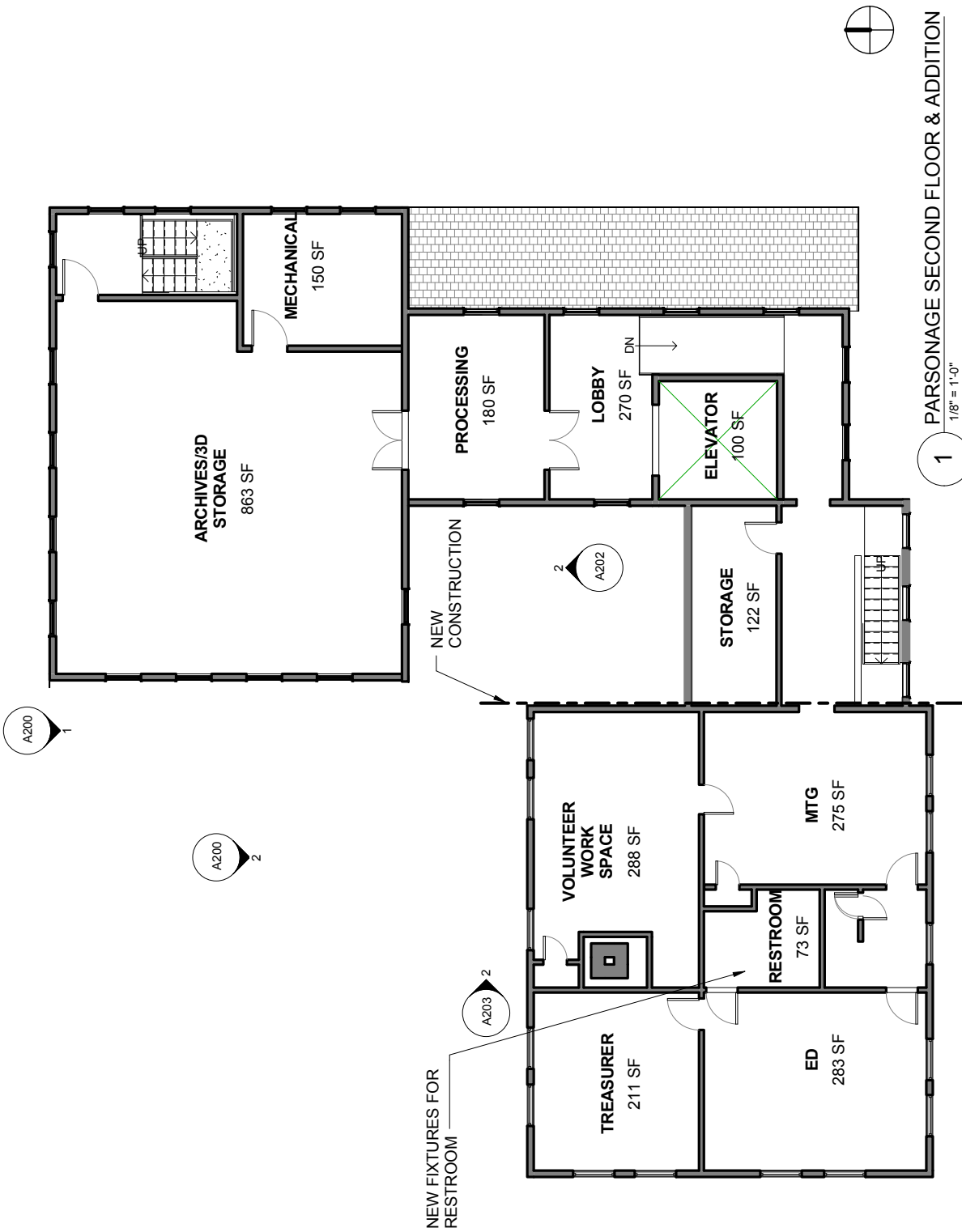


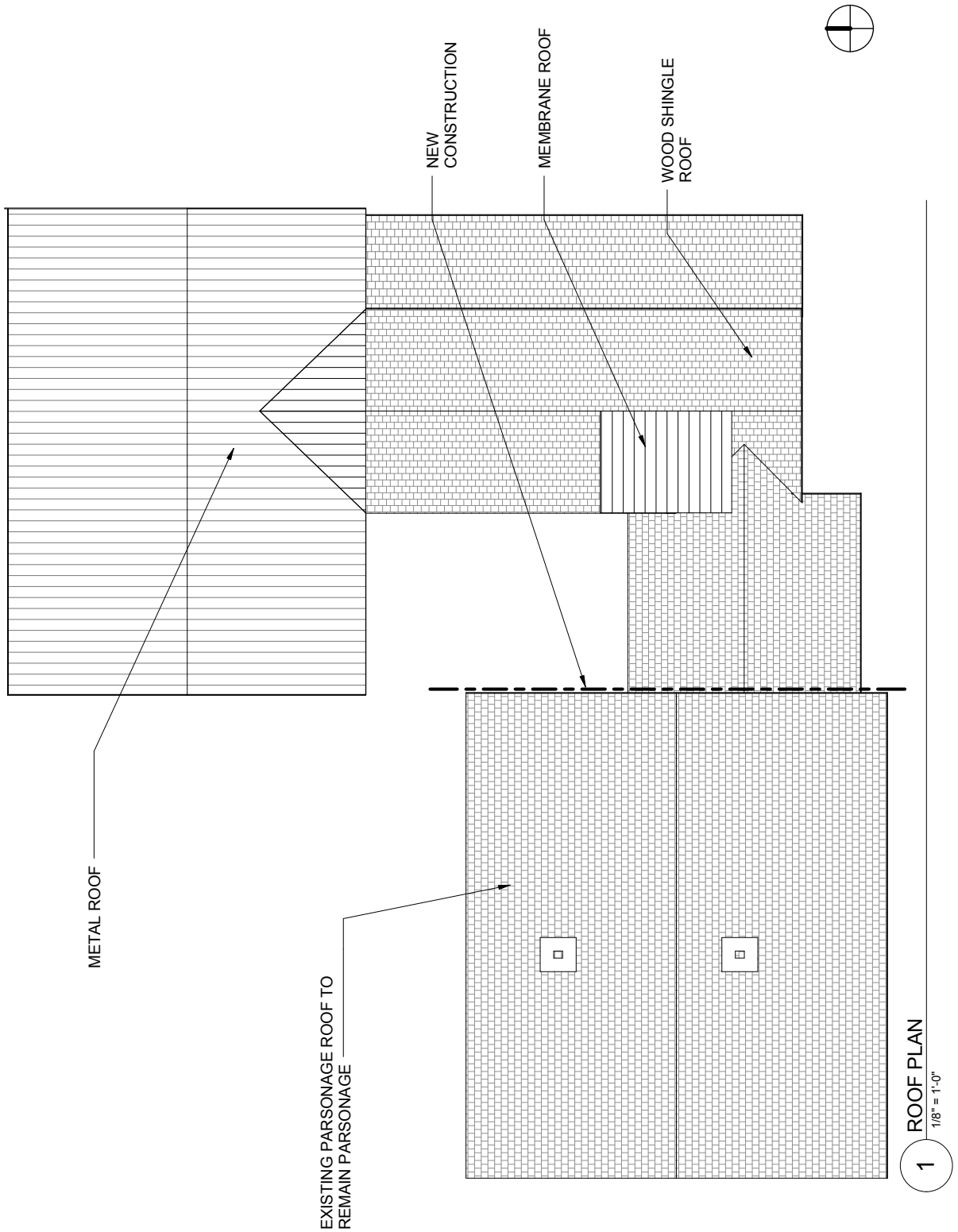
1 Site
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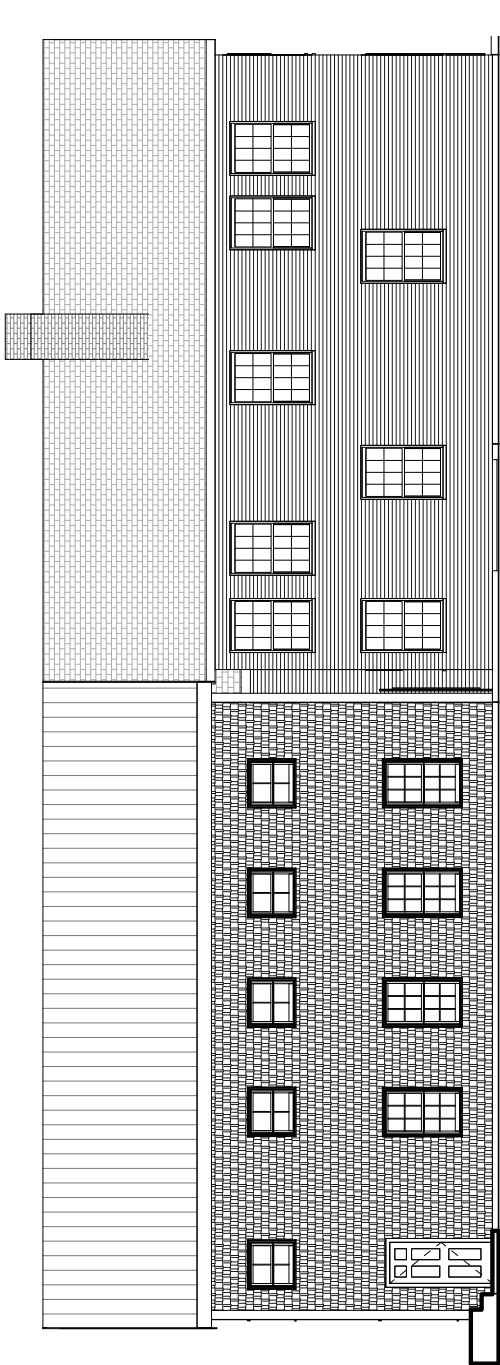


1 BASEMENT FLOOR
1/8" = 1'-0"

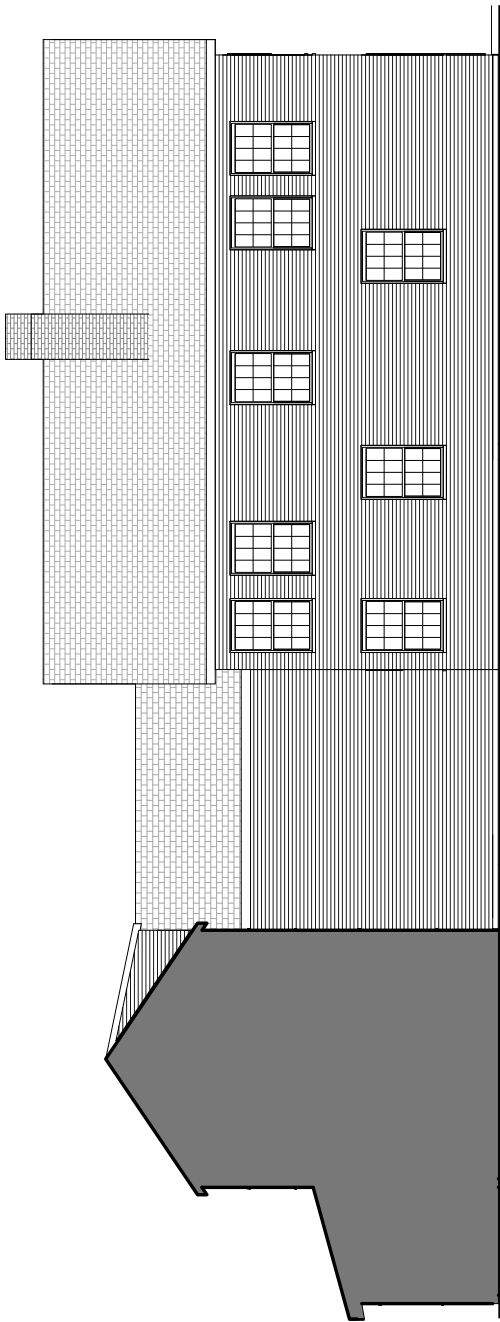




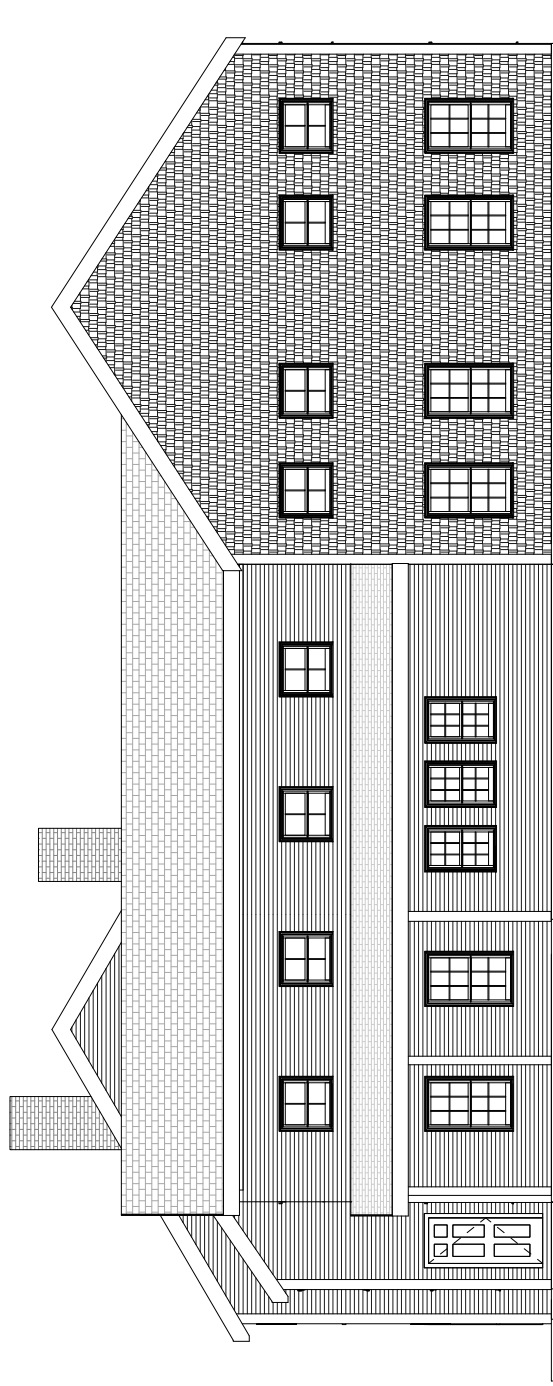




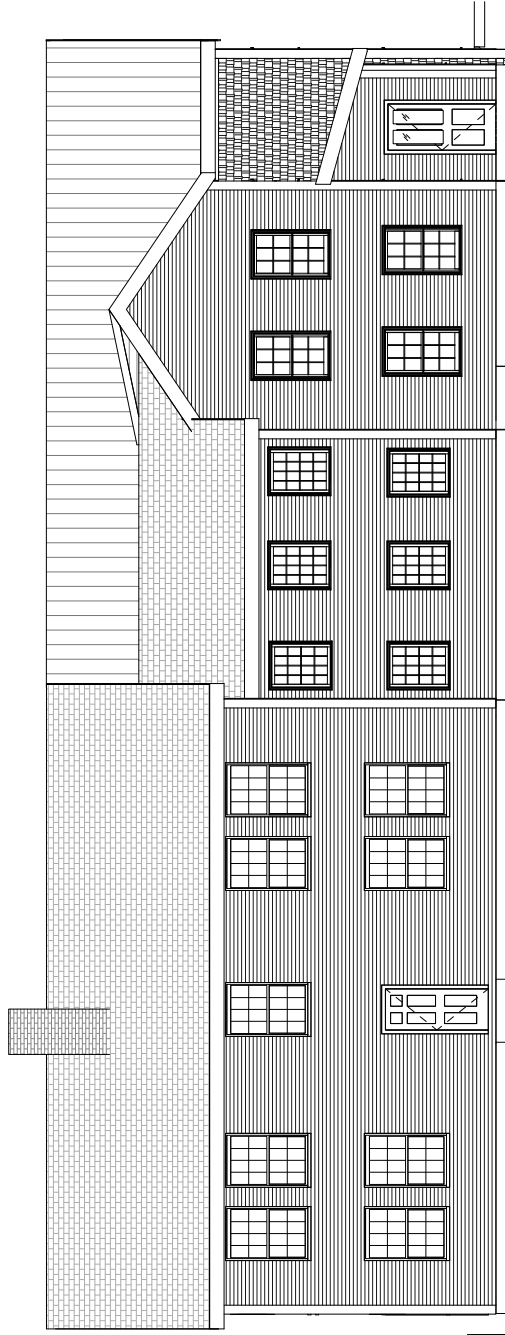
1 NORTH ELEVATION AA
1/8" = 1'-0"



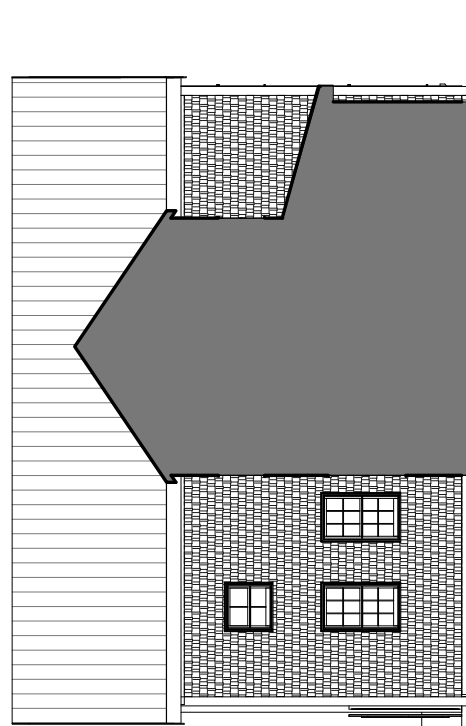
2 NORTH ELEVATION BB
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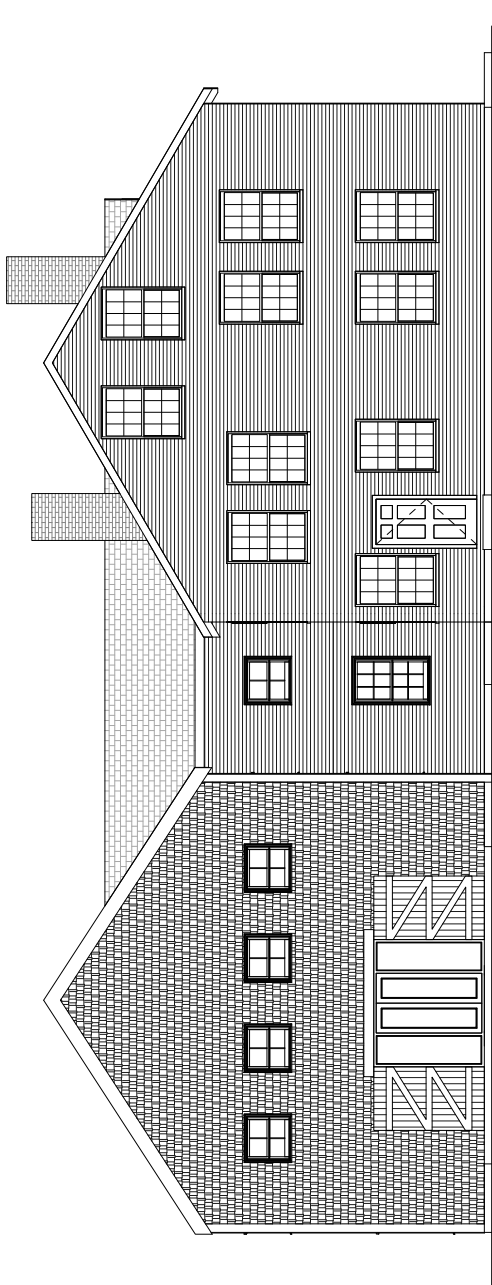
1 EAST ELEVATION
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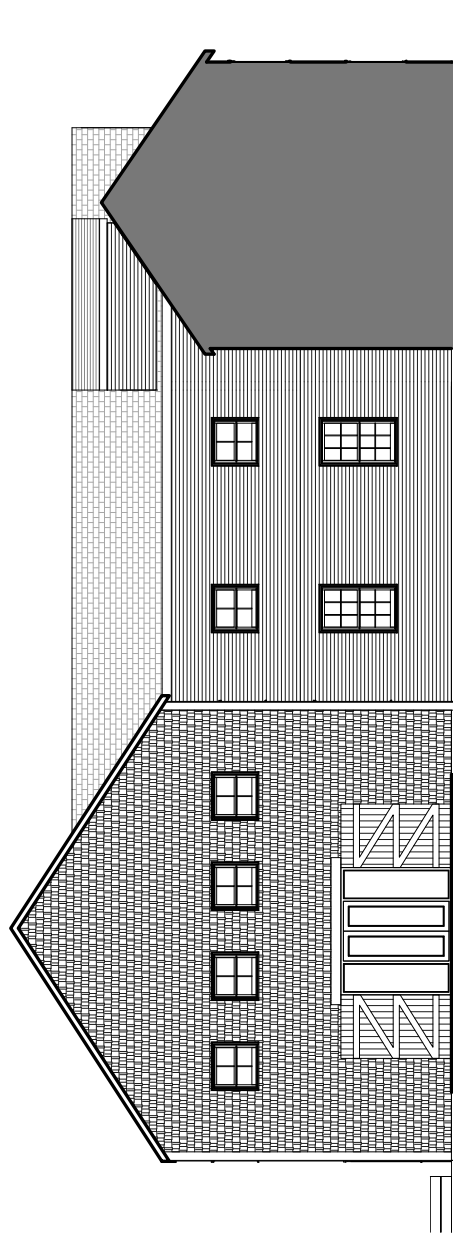
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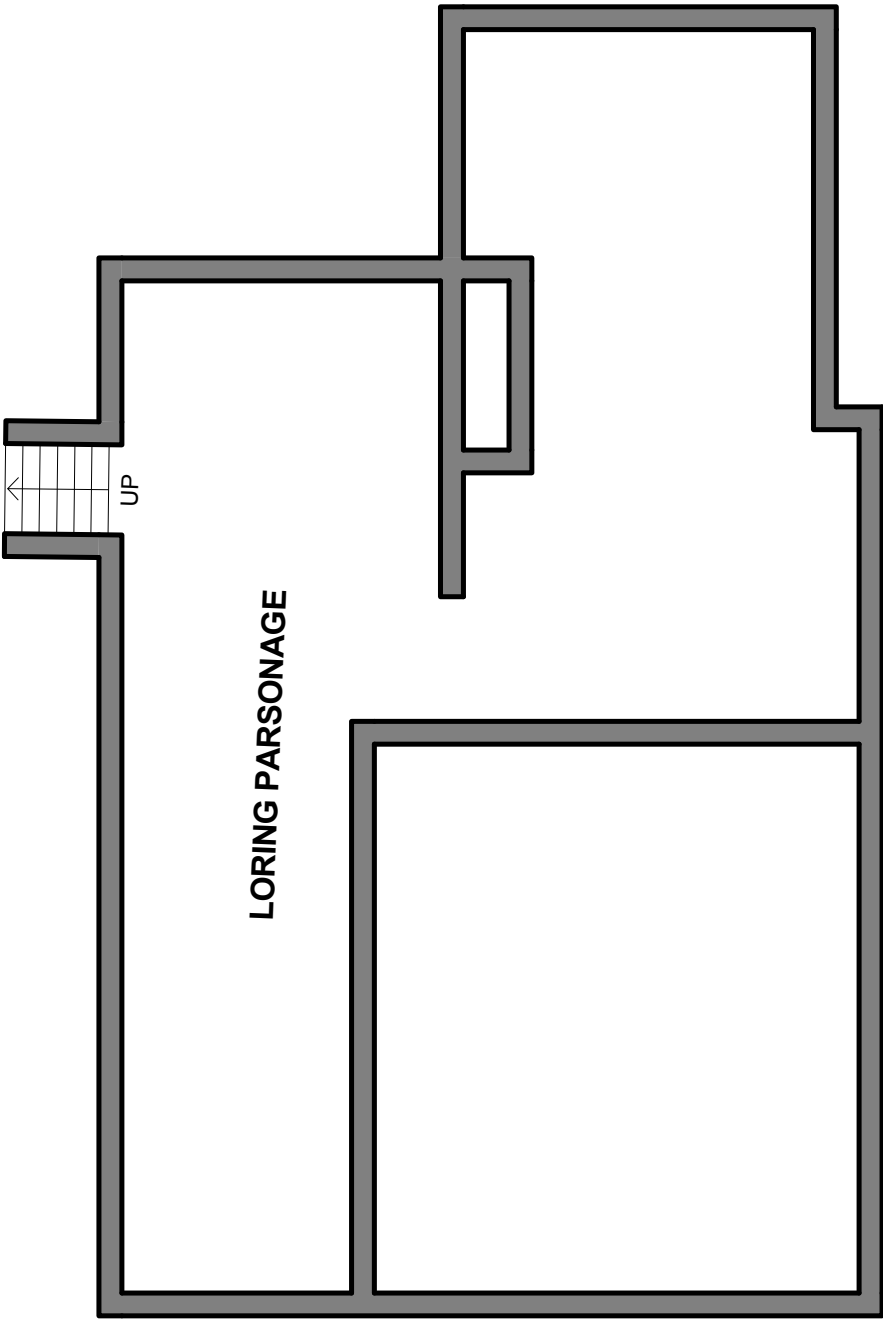
2 SOUTH ELEVATION BB
1/8" = 1'-0"



1 WEST ELEVATION AA
1/8" = 1'-0"

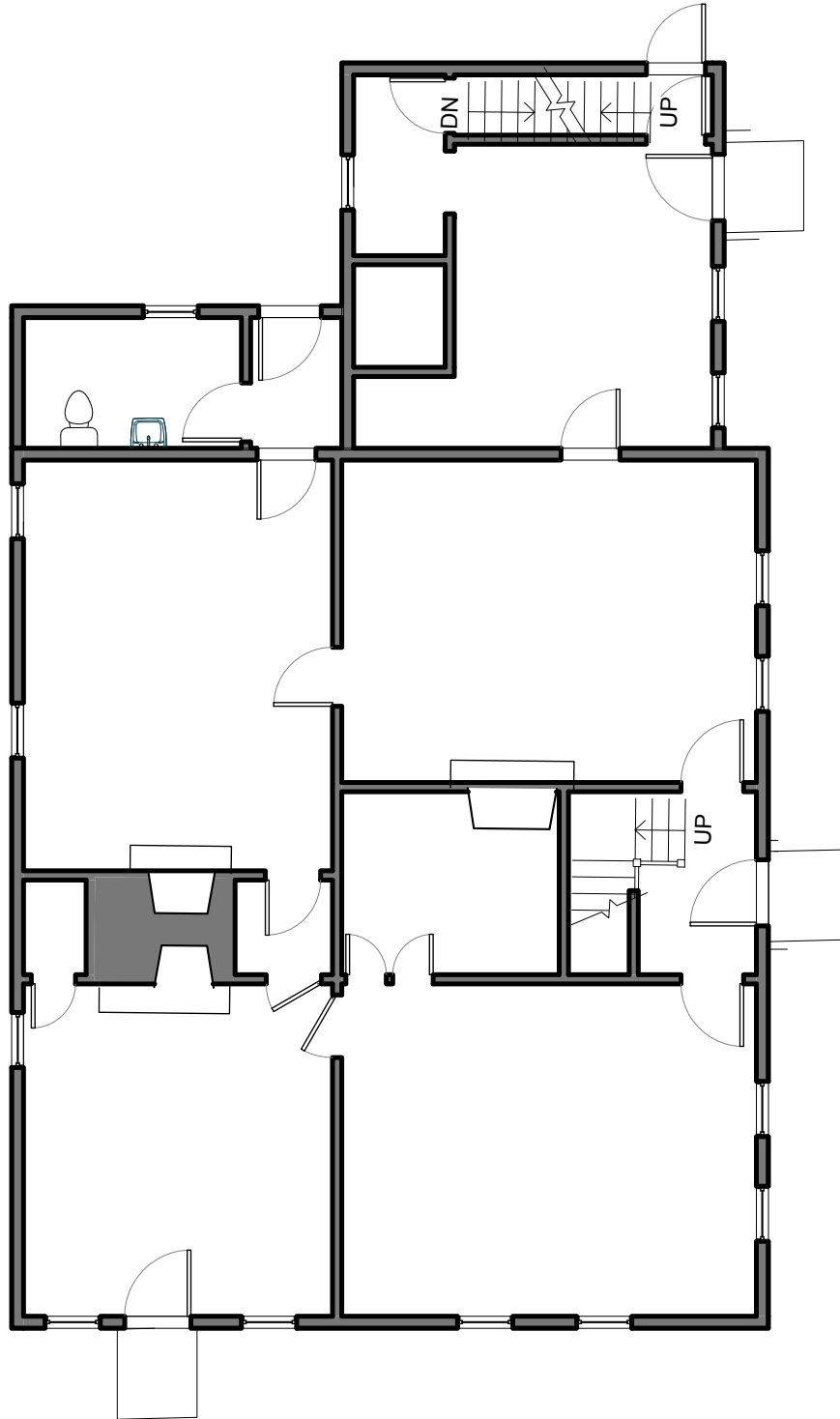


2 WEST ELEVATION BB
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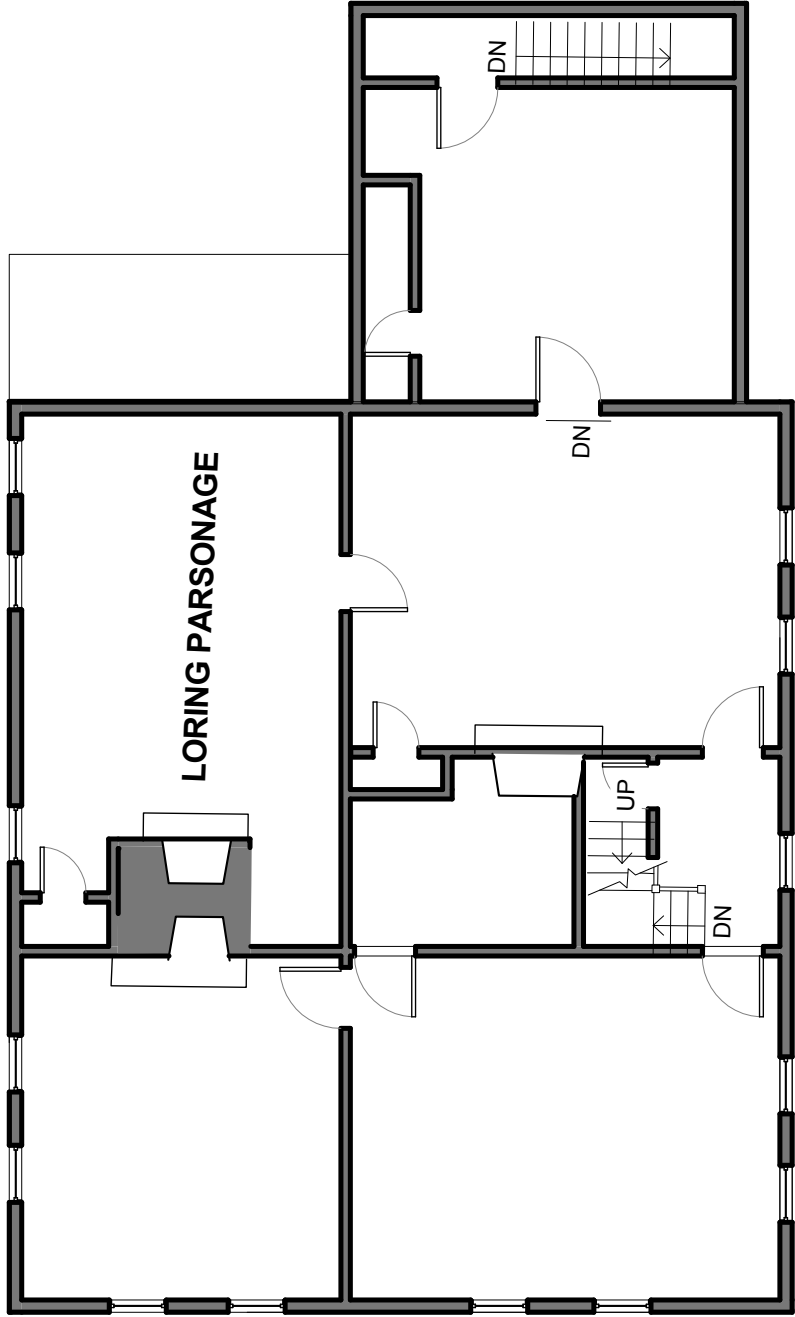


1 PARSONAGE EXISTING BASEMENT
1/8" = 1'-0"

SUMMARY OF PROBABLE COSTS



1 PARSONAGE FIRST FLOOR EXISTING
1/8" = 1'-0"



1 PARSONAGE SECOND FLOOR EXISTING
1/8" = 1'-0"



1 SOUTH EAST FACADE



SOUTH FACADE



1 Courtyard View



1 PARKING ENTRY VIEW



1 BIRDS EYE VIEW



REGULATORY REVIEW - BUILDING CODE

The Loring Parsonage, 288 Old Sudbury Road, is currently used as office space. It is located on the 27-acre parcel H09-0062 and shares the lot with the Town Hall, the Peter Noyes School, playing fields, and parking areas for Town Hall business and school buses.

Continued use without additions or alterations or changes to the exterior would result in no additional regulatory requirements since the present use and occupancy has historically been accepted by the authorities having jurisdiction.

This proposal constructs a substantial addition and would change the use from offices to museum. These changes have implications with respect to the regulations governing buildings.

Town Regulations

1. Res A-1
 - a. Non-profit educational corporation – allowed use.
 - b. Parking – Assembly – 1 for every 3 seats plus one for each employee.
 - i. Since the addition will increase the parking needs and no parking is planned to be added there will need to be a zoning variance.
2. Zone III water resource Protection District – aquifer recharge zone.
 - a. Special Permit for grading and excavation will be required.
 - i. High ground water level will need to be established.
 - b. Stormwater management requires delineation since the addition will reduce the permeable area on site and add additional roof water run-off.
3. Site Plan Review – since construction of more than 500 square feet of an institutional use and change in driveway.
4. Design Review Board reviews and advises on all building permit applications. Project will be subject to Design Review Board advisory report.
5. Old Sudbury Historic District
 - a. Use of simulated divided lights requires approval.
 - b. Historically appropriate materials will need to be used on the addition.

The proposed modifications and addition trigger sprinkler, restroom count increase, fire alarm, exit signs, doorway widening, and second floor accessibility.

Building Code

The Building Code governs construction projects in Massachusetts. The current code is in its 8th edition and consists of several volumes of the International Building Code and elements unique to Massachusetts collected in periodically updated amendments to the code.

The review of the building code cites the relevant section in **bold** followed by a brief description of the requirements as they apply to the Loring Parsonage project.

Applicable Building Code: **Massachusetts State Building Code 780 CMR 8th Edition**

Building Area Existing (**Table 502**)

Basement	1,065 sf (unoccupied)
First Floor	1,385 sf
<u>Second Floor</u>	<u>1,385 sf</u>
Total	3,835 sf total

Building Area Addition (**Table 502**)

Basement	450 sf (unoccupied)
First Floor	2,080 sf
<u>Second Floor</u>	<u>2,000 sf</u>
Total New	4,530 sf total

Total New and Existing

Occupied	6,850 sf total
Unoccupied	1,515 sf total

Use Group Classifications

Assembly (Museum) and Office (Historical Society offices and work areas) and Storage (Collections Storage).

Use Group (**Sections 303 and 304 and 311**): A-3 (Meeting space and exhibit rooms) and B (for the offices) and S-2 (storage of the collections).

Building Height and Building Area (**Section 504, Table 503 and Section 506**): Because an automatic sprinkler system will be installed and there is access to the entire perimeter of the building from parking lots or public ways, the project may be 2 stories in height, 60 feet in height and 18,960 square feet in area. Concept design is 2-stories, 29' high at the ridge and 6,850 square feet in area.

Incidental Occupancy Areas (**Table 508.2.5**):

Because the furnace/boiler room BTUH output is less than 400,000 and the building is fully sprinklered, no fire rated separation is required.

Occupancy Separation (**Table 508.4**):

Because a sprinkler system is installed a fire rated separation is not required between the assembly function and the business function and the storage function.

Construction Classification

Type 5B, unprotected for both existing and new (**Section 602**):

This classification is any allowed exterior wall construction, any allowed material interior construction, unprotected, equipped throughout with an automatic sprinkler system.

Fire resistance ratings (hours separation) (**Table 601**):

No fire resistance ratings required for general construction of interior partitions and exterior walls.

Elevator Shaft (Section 708.4):

A 1- Hour fire resistance rating since it is connecting less than 4 stories

Fire Protection System(Section 903.2.1.3):

Where the fire area exceeds 5,000 sf or the A-3 occupant load on any floor other than the level of exit discharge, an automatic sprinkler system is required. Since the fire area of the building exceeds 5,000 sf a fully automatic sprinkler system is provided. System drawings will be prepared by a Fire Protection Contractor and shall be affixed with the seal of a registered fire protection engineer.

Length of Exit Access Travel (Table 1016.1):

In buildings with multiple uses, the use with the most restrictive requirements is used to determine this limit. For the assembly use of the building, 250' is the maximum allowed travel distance with an automatic sprinkler system. The farthest travel distance from the most remote location at the Parsonage to farthest exit door is 193' from the second floor of Parsonage northwest room to the northeast exit of the barn addition. For this purpose all interior spaces are considered exit access corridors. No fire resistance rating is required. (see above).

Building Occupancy (Table 1004.1.1):

The maximum occupancy of individual spaces is used to determine number of persons on each floor. The population of the building is used for determining number of exits, stair and door and corridor widths and determining number of plumbing fixtures required.

Archival storage & mech. space = 2100 sf at 1 occupant per 300 s.f. =	7 occupants
Assembly space in barn/2nd floor of Parsonage. = 1300 s.f. at 1 occupant per 7 s.f.=	185 occupants
Permanent exhibits in the Parsonage = 1,000 s.f. at 1 occupant per 15 s.f. =	66 occupants
Gift shop = 450 sf at 1 occupant per 30 s.f. =	15 occupants.
<u>Offices at second floor of Parsonage = 770 s.f. at 1 occupant per 100 s.f. =</u>	<u>7 occupants</u>
Total Occupants	280

Egress Width per Occupant (1005)

- 0.3 - inches per occupant at exit access stairways
- 0.2 - inches per occupant for other egress components
- Total egress required for doors: 280 persons x .2 = 56''required (3) 36'' doors provided = 108''
- Total egress required for stairs based on 2nd floor occupancy
- 49 occupants x .3 = 14.7'' required, (2) 36'' stairs provided = 72''
- (1009.1 exception 1 stairs serving occupancy less than 50 may be 36'' wide)**

Egress Width for 2nd Floor Occupancy

- 49 occupants x .2 = 9.8'' required minimum width 36'' provided
- (1018.2 exception 2 corridor serving occupancy less than 50 may be 36'' wide)**

Egress width for First Floor Occupancy

- 280 occupants x .2 = 26'' required minimum width 48'' provided (44'' minimum per 1018.2)

Minimum number of exits for Occupant Load from Building (Table 1021.1) under 500 occupants: 2 exits required, 3 doors with exit signage and hardware provided and 4 additional exterior doors on building.

■

From a room or space (**Table 1015.1**) under 50 occupants: one exit access door is required, for 50 to 500 occupants two doors are required. All rooms except for the meeting room in the barn will have less than fifty occupants. They will have one door. The barn meeting space has three doors out of the space. Two are assigned as exit doors.

Basement 1 person = 1 exit (second means provided) (**1015.3 mechanical space less than 500 sf**)

Dead Ends (**1018.4**):

Where one or more exit or exit access doorway is required the exit access shall be arranged such that there are no dead ends in corridors more than 20 feet in length.

Minimum width of passageways, aisles and corridors (**1018.2**):

36" minimum with required occupancy less than 50 and 44" minimum when over 50. The way out from the meeting room at the barn exceeds the 44 inch requirement. All other spaces have 36-inch minimum widths.

Maximum travel distance to a door from within a space with one means of egress = 75' (**Table 1021.2**):

Proposed maximum distance is from the northwest upstairs room to the head of the new stairs in the new ell is 50'.

Doors shall swing in the direction of egress where serving an occupant load of 50 or more:

The doors out of the meeting room in the barn will swing out. Doors in A-3 use with occupancy 50 or more shall be equipped with panic hardware (**1008.1.10**). All the exterior exit doors of the building will swing out and have panic hardware. Historic exterior doors not marked exit will be retained as is.

Plumbing Requirements are published in a separate code book.

248 CMR: Board of State Examiners of Plumbers and Gas Fitters. (Section 10.10, Table 1)

For assembly 1 toilet required per fifty females, 1 toilet required per 100 males. Three female toilets and two male toilets are required. Meeting this requirement will consist of new fixtures at existing restrooms in the Parsonage and two new accessible restrooms in the reconstructed ell. Note that for the A-3 occupancy a drinking fountain is not required. It could be added as a public convenience.

Although published separately, the accommodation of users with special needs is an integral part of the building code.

521 CMR The 2006 Rules and Regulations of the Massachusetts Architectural Access Board (Section 14 Places of Assembly, 14.2 Number of Accessible Seats, 14.5 Assistive listening systems)

The renovated Parsonage will be considered a place of assembly. The large meeting space will need to have an assistive listening device.

Section 20.00 Accessible Route: An accessible route from handicap parking to the accessible entrance will be provided. For the renovated Parsonage two accessible means of egress need to be provided. In the proposed design an area of rescue assistance will be created outside the "Barn" meeting room.

Section 22.00 Walkways: The grading of the new sidewalk from handicap parking to the new entry needs to be 5-percent or less slope.

Section 24.00 Ramps: Interior ramps introduced to allow for higher ceiling in barn meeting room will have a slope not to exceed 1 in 12 which will require hand rails on both sides. One of the primary goals of the renovation and restoration project is to ensure the greatest possible access to the historic and public features of the parsonage.

Section 25.00 Entrances: All public entrances to a building must be accessible or a variance must be obtained. Variances will be sought for the front entrance to the Parsonage and the west entrance at the north-west corner of the Parsonage west wall. Note that new doors placed in series need to have 48 inches of clear space between the width of any door swinging into the space and the next door.

Section 26.00 Doors and Doorways: All doors in public spaces will need to be accessible. In the parsonage the width will be achieved by modifying the jambs of the doors to create a 32 inch clear opening. All public doorways in new construction will be accessible. Improvements will provide access to both public entries.

Section 27.00 Stairs: All public stairs must be designed with the minimum requirements of the access code in mind. The existing stairs at the Parsonage will require a variance from the access board. New stairs will meet the code requirements.

Section 30.00 Public Rest Rooms, 30.2 Location: Though accessible toilet rooms are provided, because they are separate from the other restrooms a variance must be obtained.

Section 32.00 Kitchens: The kitchenette will need to conform to accessibility requirements including knee space under the sink and maneuvering clearance.

Regulations of conveying systems are under a separate set of regulations that are incorporated into the building code.

524: Board of Elevator Regulations

Section 17.40 Medical Emergency (1) Medical Emergency Elevators: This establishes that at least one elevator in new construction be sized to accommodate a gurney in the horizontal position. An advantage of the large cab size is that there will be capacity to move medium sized objects from second floor curatorial storage to the ground level.



SUMMARY OF PROBABLE COSTS

Cost estimating services were provided by M. J. Mawn, Inc., a construction company experienced with restoration and preservation projects. The cost opinion anticipates public bidding as a requirement of construction.

The opinion of cost is presented in two scenarios at the request of the Historical Society – no phasing and a two phase approach. If completed as a single construction project the probable cost is \$2,107,560.

The phasing scenario renovates the Parsonage and rebuilds the ell for \$953,955. The new entry, assembly and rotating exhibit space, elevator, and archives space are deferred for later construction for an additional \$1,227,359. This approach configures the ell as the accessible entry and would require variances from the Architectural Access Board for lack of access at the second floor. It poses the possibility that phase two is not funded, leaving most of the Society's space needs goals unmet.

In addition to examining the cost for a phased approach and a single construction project we were asked to provide a third cost breakdown showing only the renovations to the Parsonage. This scope of work differs from Phase One in many ways. There is no HVAC component and sprinklers are not required, so they are not shown. The ell is retained, not reconstructed, and the existing stairs are also retained. This work does not satisfy the many requirements of the Historical Society and its plans for relevance and growth, but it does preserve the Parsonage. The construction cost for renovation of the Parsonage alone: construction (\$243,202) plus all soft costs (\$88,836) and furnishings and fittings (\$24,150) for a total of \$356,189.

The costs include construction, contractor overhead and profit, architect and engineering fees, permitting, building permit (which could be saved if the town waived this fee), a 15% contingency and a furnishings number. For the phasing option there is also a subtotal showing what the escalation would be if the work of Phase Two is deferred to the future.

No Phasing and Two-phased Opinion of Cost

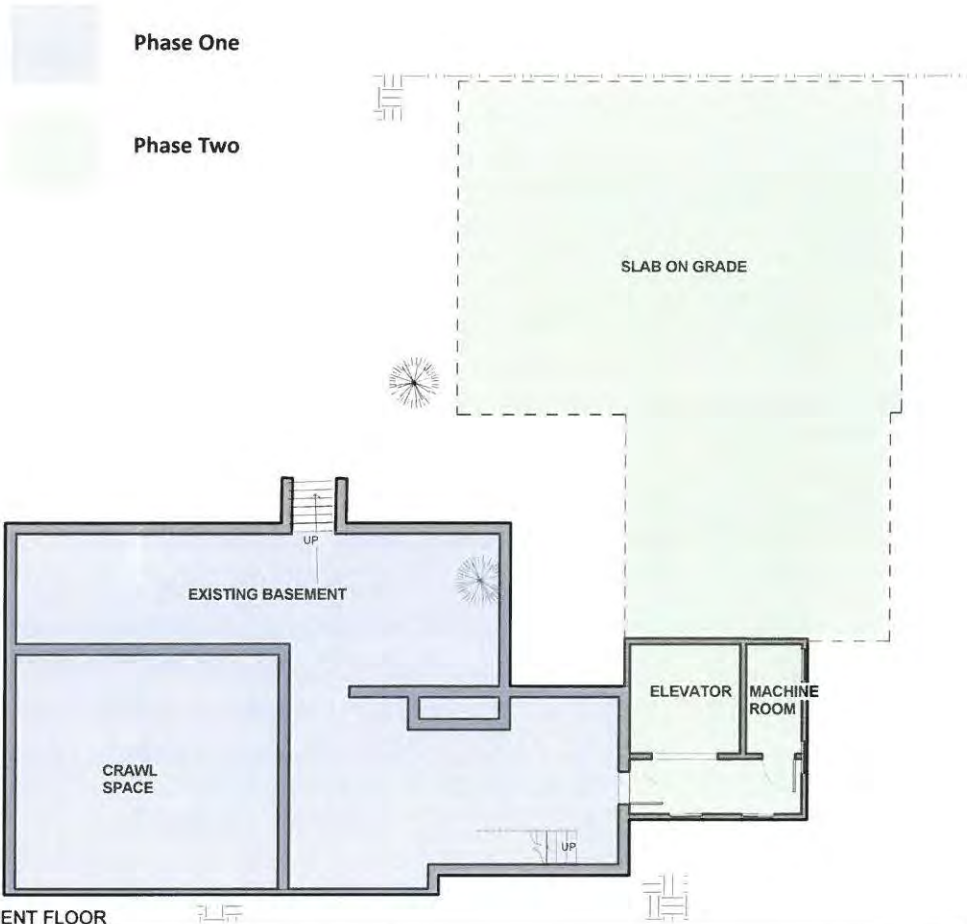
ITEM	NO PHASING	PHASE ONE		PHASE TWO
		Historic	Rebuilt EII	Barn and entry wing
General Conditions	\$51,200	\$46,000	\$0	\$40,000
Site work	\$68,800	\$11,000	\$11,000	\$46,800
Retaining Walls	\$35,000	\$0	\$0	\$35,000
Demolition	\$14,400	\$0	\$12,100	\$2,300
Concrete	\$47,800	\$5,500	\$16,500	\$25,800
Masonry	\$6,000	\$6,000	\$0	\$0
Metals	\$47,100	\$37,800	\$0	\$9,300
Wood & Plastics	\$170,000	\$21,800	\$42,510	\$105,690
Thermal & Moisture	\$139,500	\$0	\$27,250	\$112,250
Doors & Windows	\$91,200	\$5,200	\$11	\$85,989
Finishes	\$136,900	\$35,650	\$28,750	\$72,500
Specialties	\$3,000	\$0	\$3,000	\$0
Equipment	\$400	\$0	\$0	\$400
Conveying Systems	\$79,800	\$0	\$0	\$79,800
Plumbing	\$51,500	\$18,530	\$0	\$32,970
Heating	\$53,500	\$17,600	\$4,400	\$31,500
Air Conditioning	\$115,000	\$57,150	\$38,100	\$19,750
Electrical	\$122,200	\$77,700	\$11,100	\$33,400
Fire Alarm	\$34,500	\$27,000	\$0	\$7,500
Fire Protection	\$90,000	\$50,220	\$0	\$39,780
Security	\$6,500	\$5,750	\$0	\$750
TOTAL HARD COSTS	\$1,364,300	\$422,900	\$194,721	\$781,479
Contractor OH & P	\$204,645		\$92,643	\$117,222
TOTAL COST	\$1,568,945		\$710,264	\$898,701
Design & Engineering Fees	\$188,273		\$85,232	\$107,844
Permitting (other than building), legal and	\$20,000		\$18,529	\$23,444
Building permitting \$15/1,000 of construc	\$20,000		\$9,240	\$11,715
Contingency @15%	\$235,342		\$106,540	\$134,805
Furnishing and fittings	\$75,000	\$24,150	\$0	\$50,850
TOTAL BUDGET	\$2,107,560		\$953,955	\$1,227,359
	Escalation 5%	If Phase 2 is in 2016		\$1,288,727
	Escalation 5%	If Phase 2 is in 2017		\$1,353,163

Opinion of Cost for Parsonage Renovation Only

	PARSONAGE
ITEM	Historic
General Conditions	\$46,000
Site work	\$11,000
Retaining Walls	\$0
Demolition	\$0
Concrete	\$5,500
Masonry	\$6,000
Metals	\$37,800
Wood & Plastics	\$21,800
Thermal & Moisture	\$0
Doors & Windows	\$5,200
Finishes	\$35,650
Specialties	\$0
Equipment	\$0
Conveying Systems	\$0
Plumbing	\$18,530
Heating	\$5,500
Air Conditioning	\$0
Electrical	\$10,000
Fire Alarm	\$5,000
Fire Protection	\$1,000
Security	\$2,500
TOTAL HARD COSTS	\$211,480
Contractor OH & P	\$31,722
TOTAL COST	\$243,202
Design & Engineering Fees	\$29,184
Permitting (other than building), legal and hearings	\$20,000
Building permitting \$15/1,000 of construction	\$3,172
Contingency @15%	\$36,480
Furnishing and fittings	\$24,150
TOTAL BUDGET	\$356,189







1 BASEMENT FLOOR
1/8" = 1'-0"

Scope of Work

This scope describes the renovation and addition as a single phase project, but includes all elements that would be applicable to construction in phases.

Exterior

Site work:

- New one-way drive 18-width, 150' length – asphalt pavement. (Set price aside as an alternate).
- Regrade for new construction. From driveway to new entry 2% slope maximum,
- At courtyard behind Main Block and outside the Barn to reduce cross slope to 5% max (cut and fill – 25 cubic yards – assume use of material from Barn excavation). (Set price as an alternate).
- Excavate for new construction, New Ell to have full basement, full basement and elevator pit under south end of Entry Wing, slab on grade at “Barn” (note barn will be slightly “bank-built” into slope on north elevation.
- Added drywells, drainpipes for roof run-off control (under regraded yard) – assume CulTec, 1275 cu. Feet of storage – 760 square feet of bed area.
- Remove 20” maple tree and roots.
- 6” Loam and hydro seed full site (between parking, highway, driveway and Town Hall parking) – 2400 s.f..
- Trench for new water line for Fire Protection Sprinkler – assume 150' length.
- Restore concrete walkways disturbed by construction – 150 square feet.

Demo:

- Existing Ell – 2-story, 16' x 20'
- Existing 1-story shed roofed restroom and entry on east side of Parsonage 7x12
- Existing drywell in rear yard-assume 36-inch diameter

Concrete:

- Full height basement/foundation walls for New El 16'x20', south end of Entry Wing with elevator control, elevator pit, access – 25'x15'
- Slab on grade with perimeter frost wall for north end of Entry Wing. 25x20 and 42'x30'
- Slab on grade with perimeter frost wall extended above floor height 3' along north and partial east and west walls to retain bank – 42' + 20' lengths.
- New sidewalks – 150 l.f. asphalt paved, 5' sidewalks.
- Thick parge coat on exposed concrete foundations of new construction – 400 s.f..

Wood, Plastics, Composites:

- Stiffen Main Block second floor framing with flitch plates installed from above (requires removal of plank floor to access tops of beams for concealed flitch plate installation) – assume 8 beams at 20' lengths and posts (16) buried in first floor walls (will be concealed behind plaster).
- Reconstruct sills and first floor post in southwest corner of Main Block 12' each direction
- Reconstruct sills and first floor post in southeast corner of Main Block 8' each direction.
- Sister all beams supporting first floor framing Main Block. 8 beams at 12' lengths.
- Install 10 new steel posts on new footings (existing flooring has dust slab).
- Exterior trim on new construction to be pre-primed, painted wood, cedar or other rot resistant wood.
NOTE: Parsonage siding and trim to remain – infill at removed shed only new siding.
- Beveled siding 3-3/4-inch exposure on New Ell and Entry Wing.
- Natural pre-dipped white cedar shingles on “Barn” – 4-1/2-inch exposure.

- Porch has painted fir decking and painted trim and posts – simple brosko or similar.

Thermal & Moisture Protection:

- At new gable roofs, galvanized round downspouts and half round galvanized 4” gutters linked to new drywells under courtyard at new construction.
- Wood shingle roofs on New Ell and Entry Wing on cedar breather over felt with ice and water at edges, ridges and valleys.
- Metal roof on “Barn”, factory finished, raised lock seam.
- New construction, closed cell spray foam insulation (allow time for shutdown of interior access to job during application).
- Building wrap or zip-system boards as part of sheathing.
- Rigid insulation on inside face of new foundations (with 1x3 nailers for installation of board over face for protection in basements) at slab on grade and full foundation and under slab for slab on grade construction.
- Acoustic insulation at all new partitions.

Openings:

- SDL windows with bronze spacers, wood exterior and interior, preprimed, at new construction.
- Exit door at “Barn” painted, insulated steel- panic hardware, ball bearing hinges, lever on exterior.
- Double doors from “Barn” to yard – glazed French doors, no muntins, panic hardware, closers, coordinators.
- Sliding barn doors on exterior – board and batten doors, overhead door hardware, interior lock.
- Entry doors – Entry Wing (2 doors – 1 into entry vestibule, 1 into entry space) – 4 Panel doors with glazed upper panels with closers, ballbearing hardware, lever exterior and panic interior hardware interior, locking. Weatherstripping.
- Interior doors (New structures) – panic hardware on door out of “Barn” first floor assembly room into gift shop and into stairway. All doors lever sets. Closers on elevator mechanical and restrooms. Ballbearing hinges. Door silencers. Wood frames in public spaces, painted.
 - Stile and rail flat panel on first and second floor
 - Painted steel 90- min rated doors and frames in basement
- Interior doors (Existing) Assume removable jambs required at all room doors. Closet doors need not be altered.

Finishes:

- Paint all exterior woodwork – new and old.
- Paint all interior woodwork – new and old.
- Repaint wood floors, set raised nails.
- Tile floor at Entry Wing first floor entry vestibule and entry room.
- Carpet at New Ell first and second floors, second floor Entry Wing – 36 oz. tufted weight Atlas carpets.
- Carpet in Barn meeting room 36 oz. tufted weight Atlas carpets.
- VCT in Barn storage, mechanical space, restrooms, kitchenette.
- Walls in new construction plaster skim.
- New stair between first and second floor of New El will be open. Wood treads – clear finish, painted risers (red oak treads and risers), wood balusters (painted), wood handrail – clear finish with radiussed returns.
- New stair between basement and first floor of New Ell will be enclosed, Rubber treads and risers, handrail – painted metal with metal brackets
- New stair between first and second floor of Barn will be enclosed, rubber treads and risers, handrail both sides – painted metal with metal brackets.

Miscellaneous interior:

- Stainless steel handicap hardware in restrooms.
- Recessed paper towel, trash in restrooms
- Clear finish wood high/low MAAB ramp handrails both walls along interior ramps at first and second floor of entry wing – each ramp 12' long.
- In kitchenette - Laminate countertop, stock cabinets above and below, undercounter refrigerator, elkay or similar stainless steel sink and faucet.

Electrical:

- 4 exterior WP convenience receptacles
- Site lighting – allow for conduit for building lighting and path lighting at Entry Wing, outside “Barn” and along new sidewalk.
- 400 amp service to building.
- New wiring throughout existing.
- Typical commercial level electrical distribution throughout interior.
- Allowance of \$5 s.f. for lighting in interior.

Plumbing:

- 4 frost free hose bibs at exterior.
- Plumbing and fixtures – wall hung sinks, floor mounted toilets, two single use handicap restrooms, connection to domestic water and sanitary connection to site septic system (existing sanitary piping exits building to south).
- Boiler piping.
- Condensate drainage from air handlers.
- Sink for kitchenette, connection to domestic water and sanitary connection to septic system (no food prep.)

Fire protection

- Dual sprinkler system. Dry for Main Block (existing). Wet for new construction.

Elevator:

- 3-stop, two door (front to back), electric elevator in shaftwall construction – light gauge metal, hoistbeam., exterior sidewall louver for ventshaft with fire actuated louver mechanism.

HVAC:

- Hot water heat throughout. Use existing fuel oil boiler. New distribution.
- Air conditioning in new construction only.

Electrical:

- In basement, new protected porcelain fixtures – mounted to framing – with switches (10). Convenience receptacles. (10), assume power to basement air handler for Ell cooling. Power for dry sprinkler compressor.
- In attic of Barn and Parsonage (2) convenience receptacles each attic, (6) lights each attic, power to assumed air handler in attic of Barn for cooling.
- New addressable FA system.
- Burglar alarm system.
- Lighting protection system.
- Timer for exterior lighting.



APPENDIX

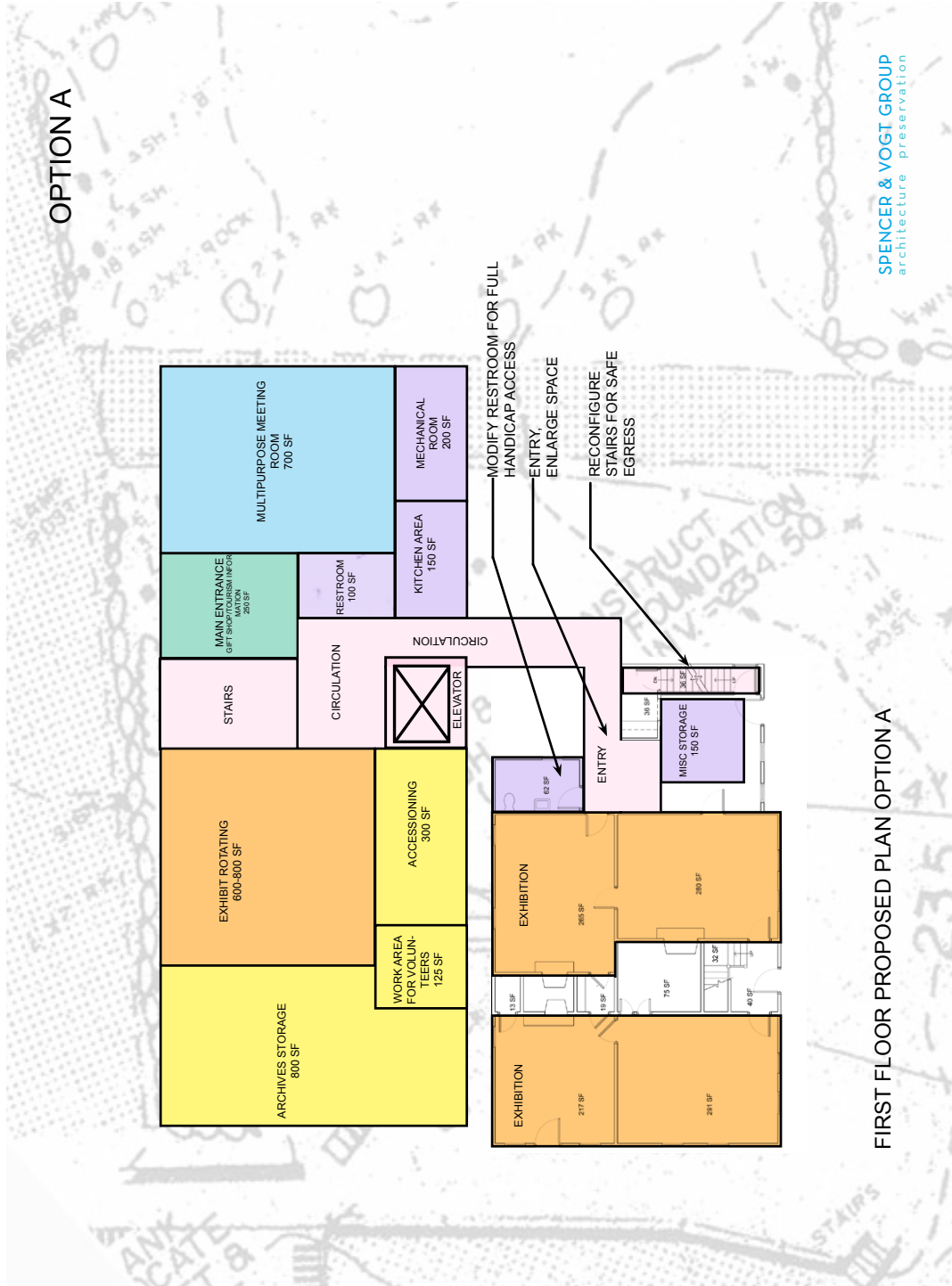
- A) Conceptual Design Evolution - Schemes A, B, C and D
- B) Dialogue Between Architect and Sudbury Historical Society on Design Evolution
- C) Cynthia Robinson Meeting Transcript, 6.9.14
- D) Space Needs Study & Miscellaneous Documents (2001-2008)
- E) 2010 Exterior Preservation Project Plans
- F) Massachusetts Historical Commission Inventory Form B
- G) Sudbury Historical Society Print Communications
- H) American Alliance of Museums: Characteristics of Excellence for U.S. Museums
Minnesota Historical Society: Museum Spaces Organized by Function
- I) Presentation to Sudbury Historical Society, Sept. 19, 2014

A) Conceptual Design Evolution - Schemes A, B, C & D

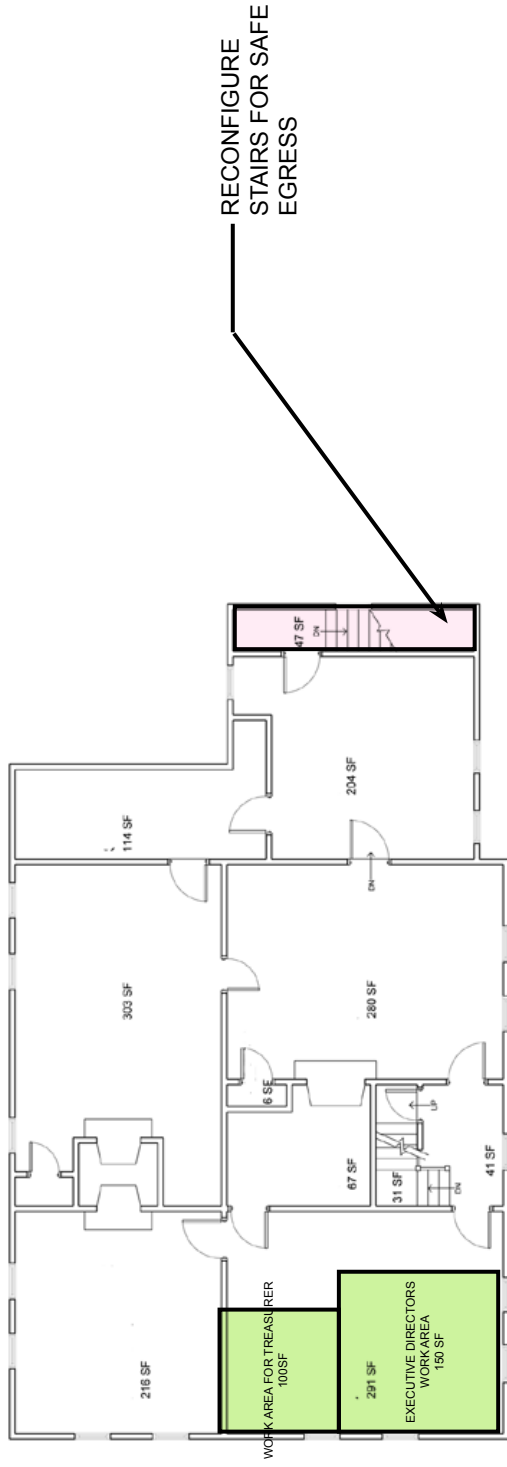
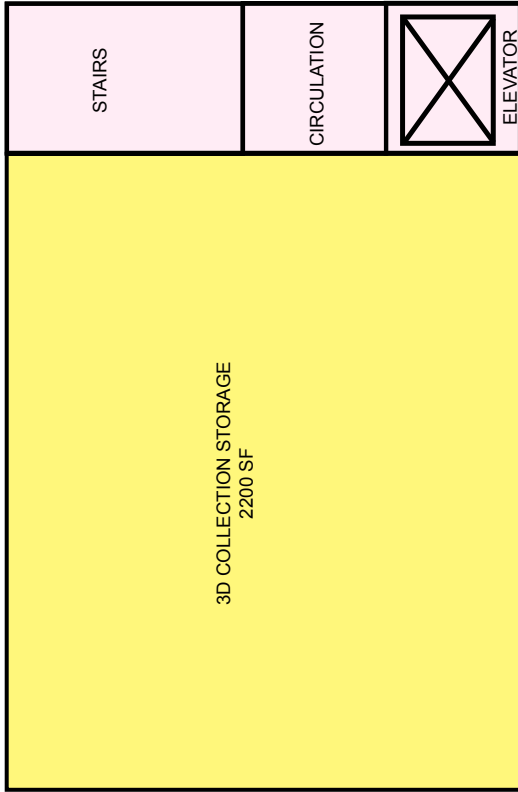


CONCEPTUAL DESIGN

Option A

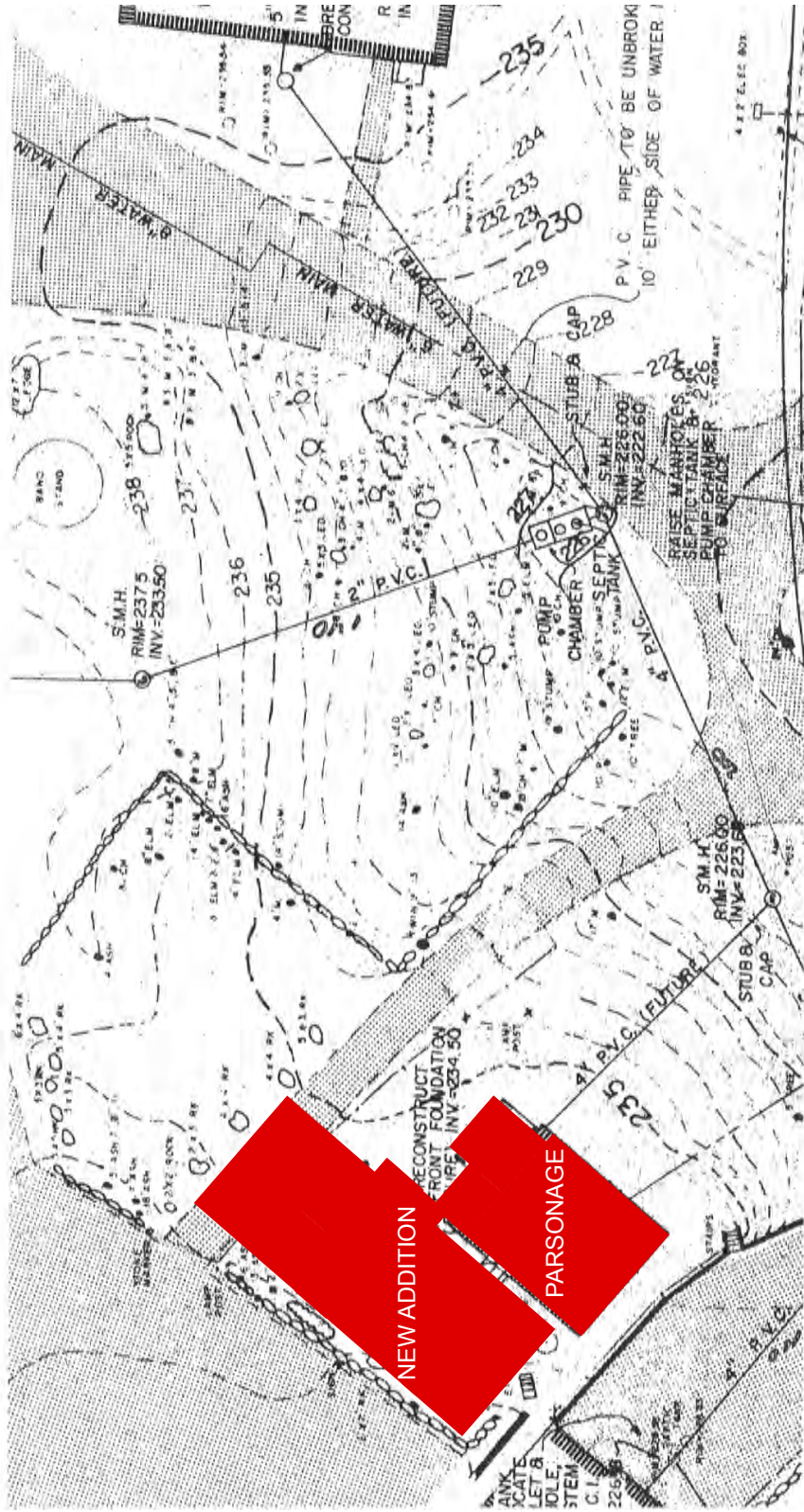


Option A

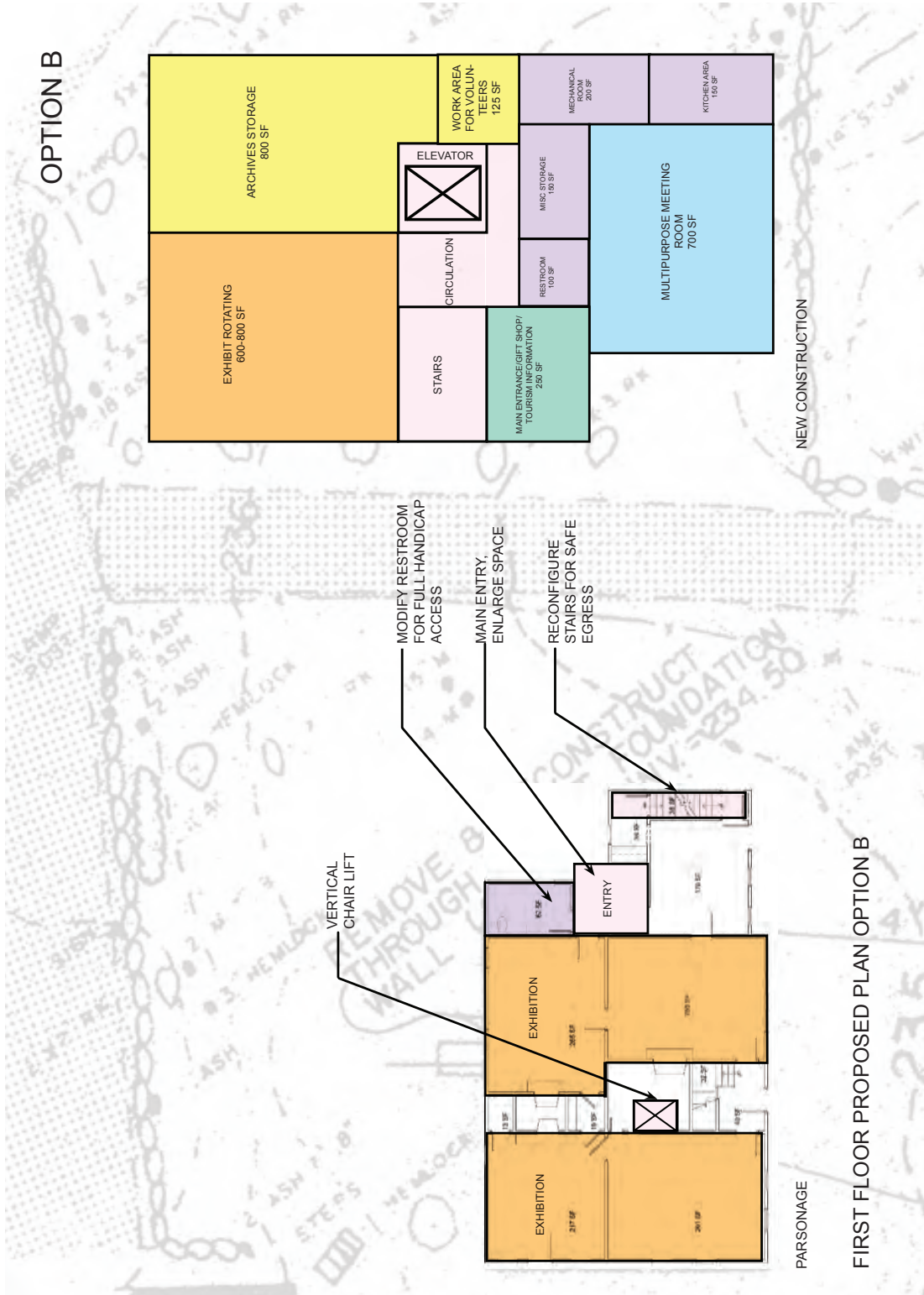


SECOND FLOOR PROPOSED PLAN OPTION A

SITE PLAN - OPTION A



Option B



OPTION B

NEW CONSTRUCTION

VERTICAL CHAIR LIFT

MODIFY RESTROOM FOR FULL HANDICAP ACCESS

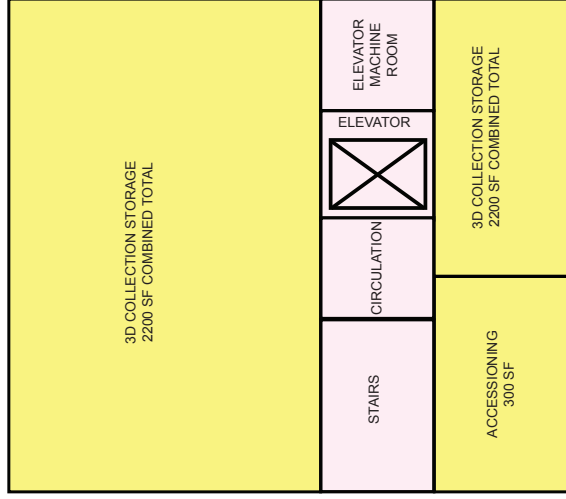
MAIN ENTRY, ENLARGE SPACE

RECONFIGURE STAIRS FOR SAFE EGRESS

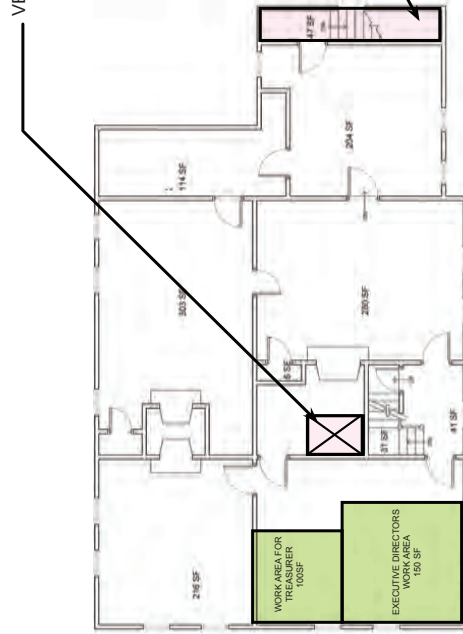
PARSONAGE

FIRST FLOOR PROPOSED PLAN OPTION B

OPTION B



VERTICAL CHAIR LIFT



RECONFIGURE STAIRS FOR SAFE EGRESS

NEW CONSTRUCTION

PARSONAGE

SECOND FLOOR PROPOSED PLAN OPTION B

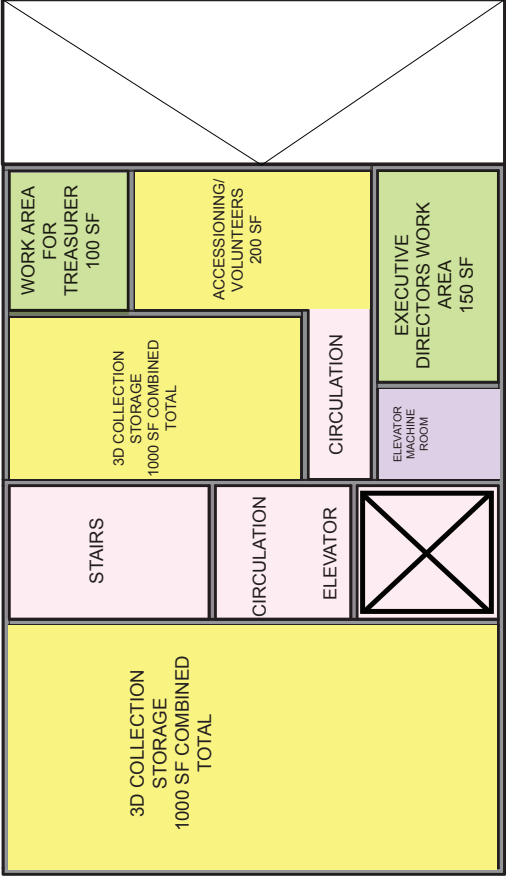
SITE PLAN - OPTION B



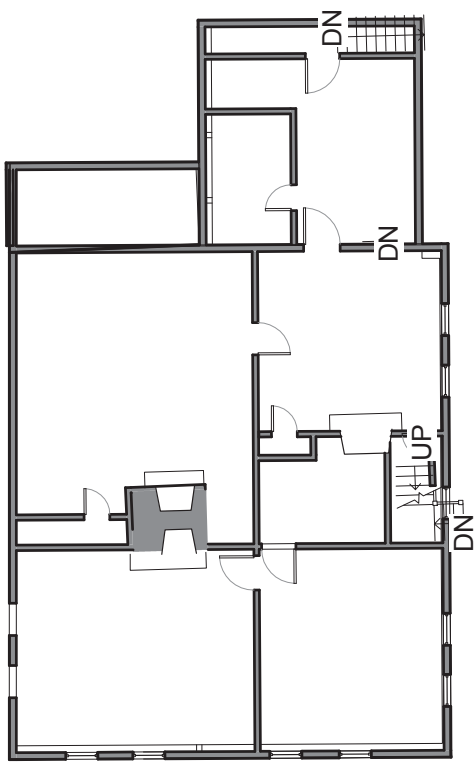
Option C



FIRST FLOOR PROPOSED PLAN OPTION C



NEW CONSTRUCTION



PARSONAGE

SECOND FLOOR PROPOSED PLAN OPTION C

Option D

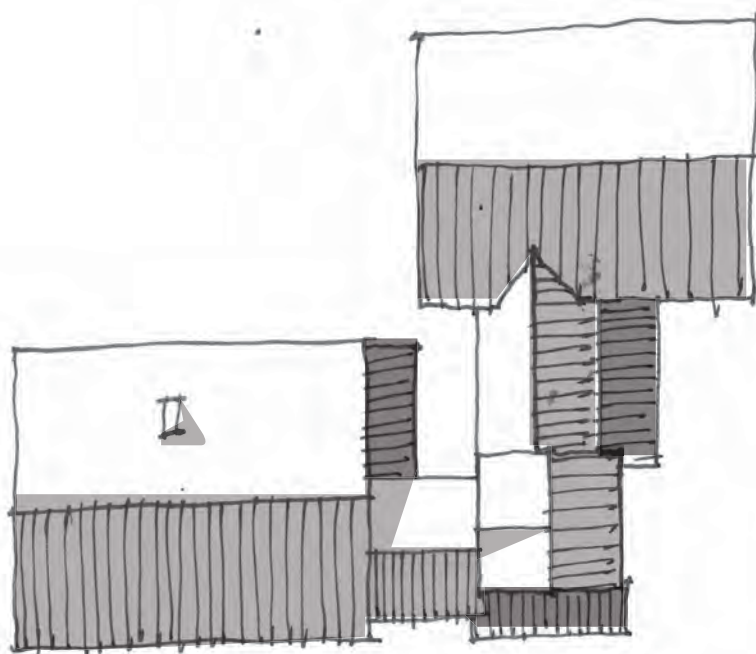
Option D represents the penultimate conceptual design that preceded the final selected option. The following key considerations accompany the conceptual design.

- Extra meeting space (280 square feet) is provided in the Parsonage that was not required in the program. This is a function of the original floor plan and adjacencies logical to the layout based on the program of needs.
- Renovation of the Parsonage entails meeting the building code requirement for load capacity, requiring substantial reinforcement of the floor framing. Woodwork and plaster will need to be removed to access the framing; it will likely be reworked when reinstalled to accommodate the additional framing.
- Systems improvements in the Parsonage will include new electrical wiring and fixtures, a fire suppression system (sprinkler), fire detection, and HVAC.
- The second floor restroom in the Parsonage is removed and the room will be used for storage. The first floor restroom is retained.
- The existing east ell is removed after it has been carefully documented.
- One of the links to the addition recalls the east ell and includes the porch seen in historic photographs.
- An elevator serves both buildings.
- Most of the addition would be slab on grade with a new basement created in the east link for the elevator machine room.
- It is recommended that the existing Parsonage basement not be used for storage.
- The renovated Parsonage and new addition will meet all building code requirements for assembly occupancy as required for museums.



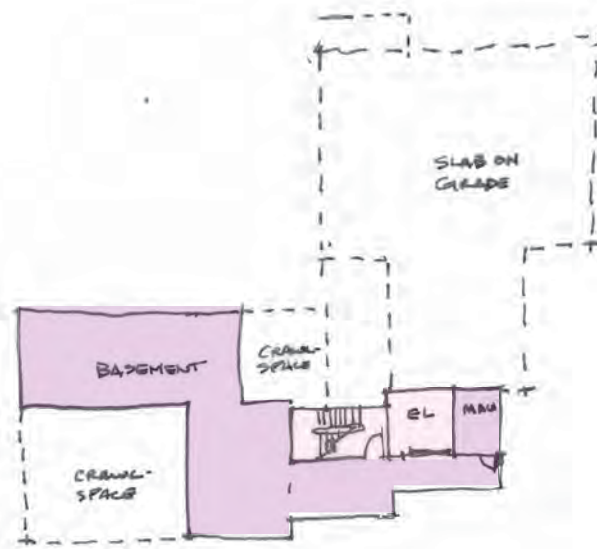
SITE PLAN

SPENCER & VOGT GROUP
architecture preservation



ROOF PLAN

- KEY**
- EXHIBITS
 - GATHERING
 - ADMINISTRATION
 - STORAGE
 - CIRCULATION



BASEMENT PLAN

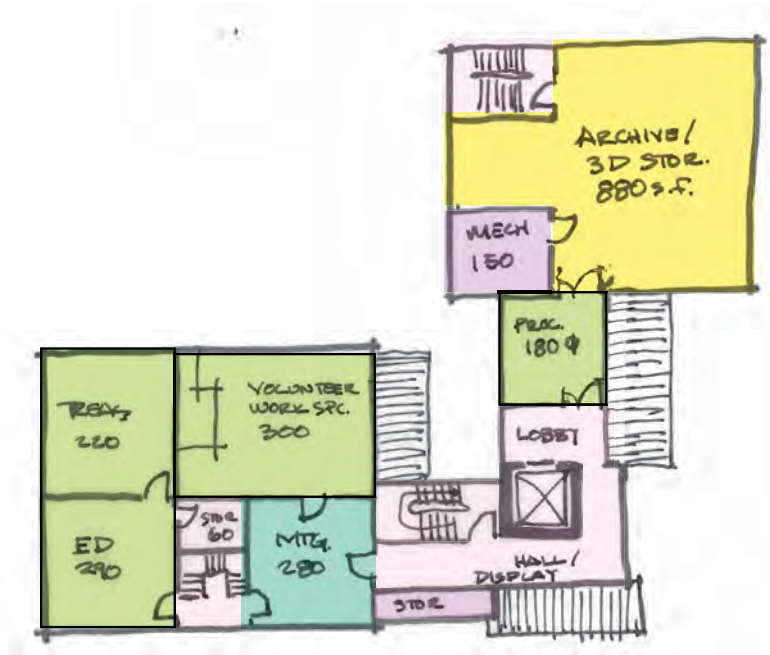
- KEY**
- EXHIBITS
 - GATHERING
 - ADMINISTRATION
 - STORAGE
 - CIRCULATION



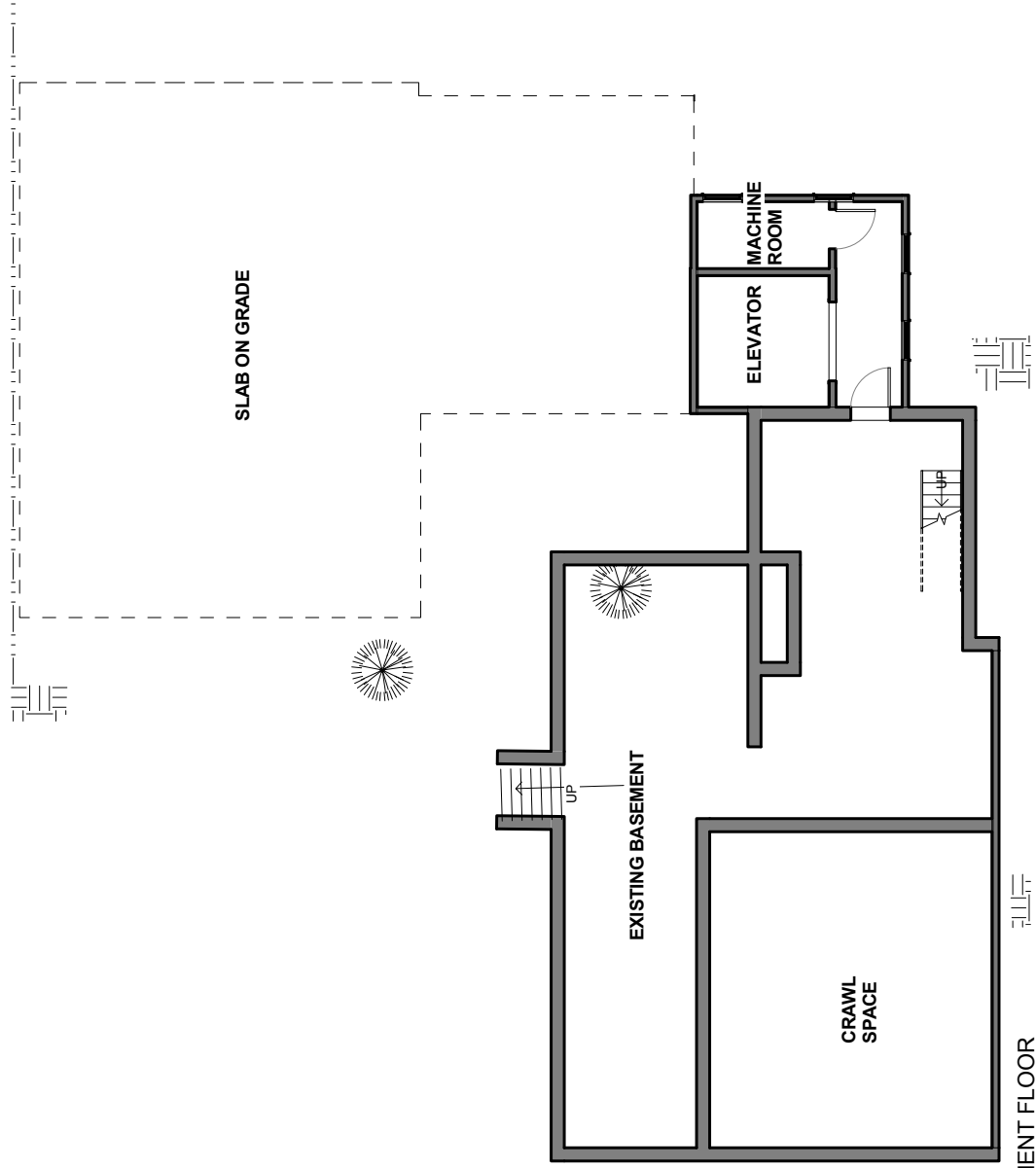
FIRST FLOOR PLAN

KEY

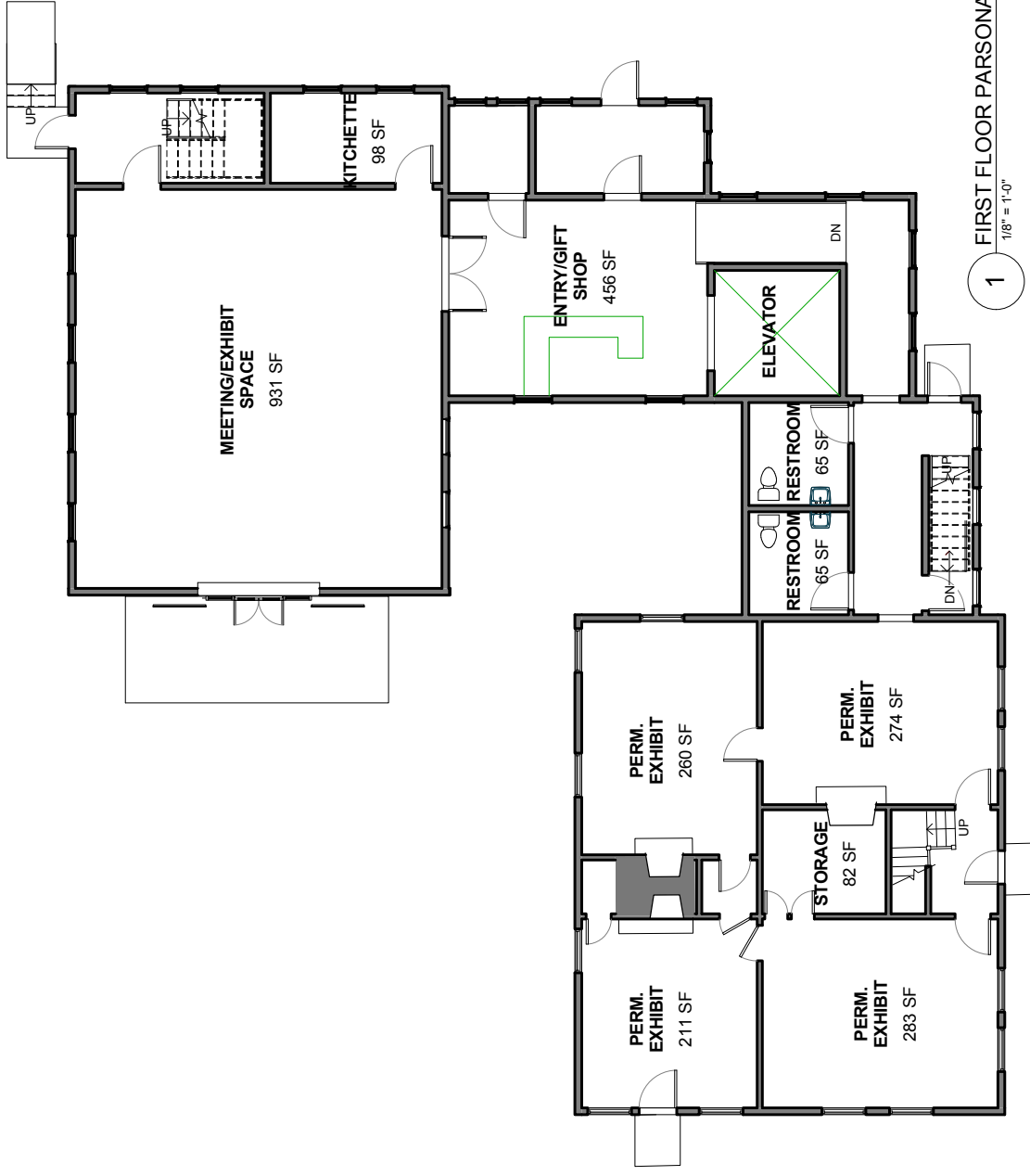
- EXHIBITS
- GATHERING
- ADMINISTRATION
- STORAGE
- CIRCULATION



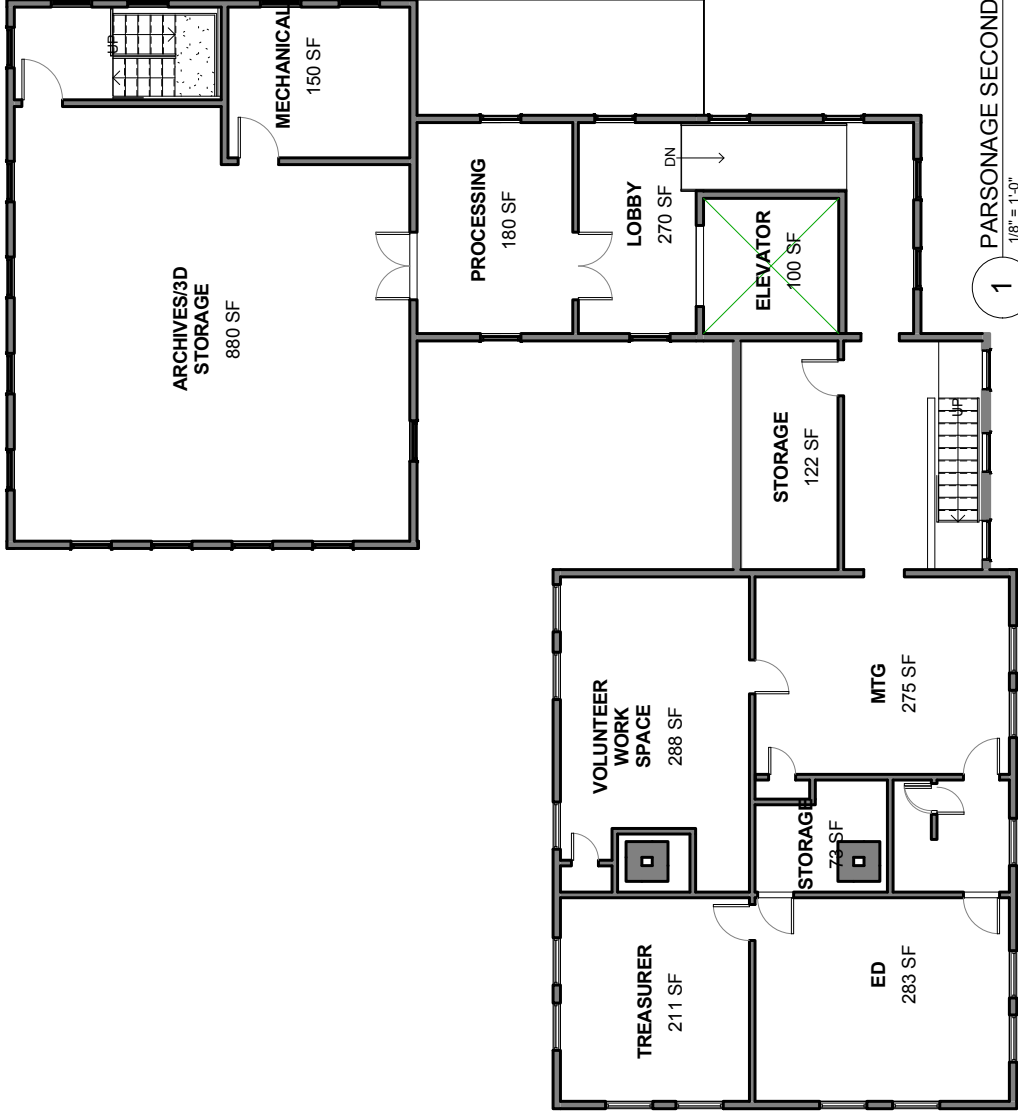
SECOND FLOOR PLAN



1 BASEMENT FLOOR
1/8" = 1'-0"



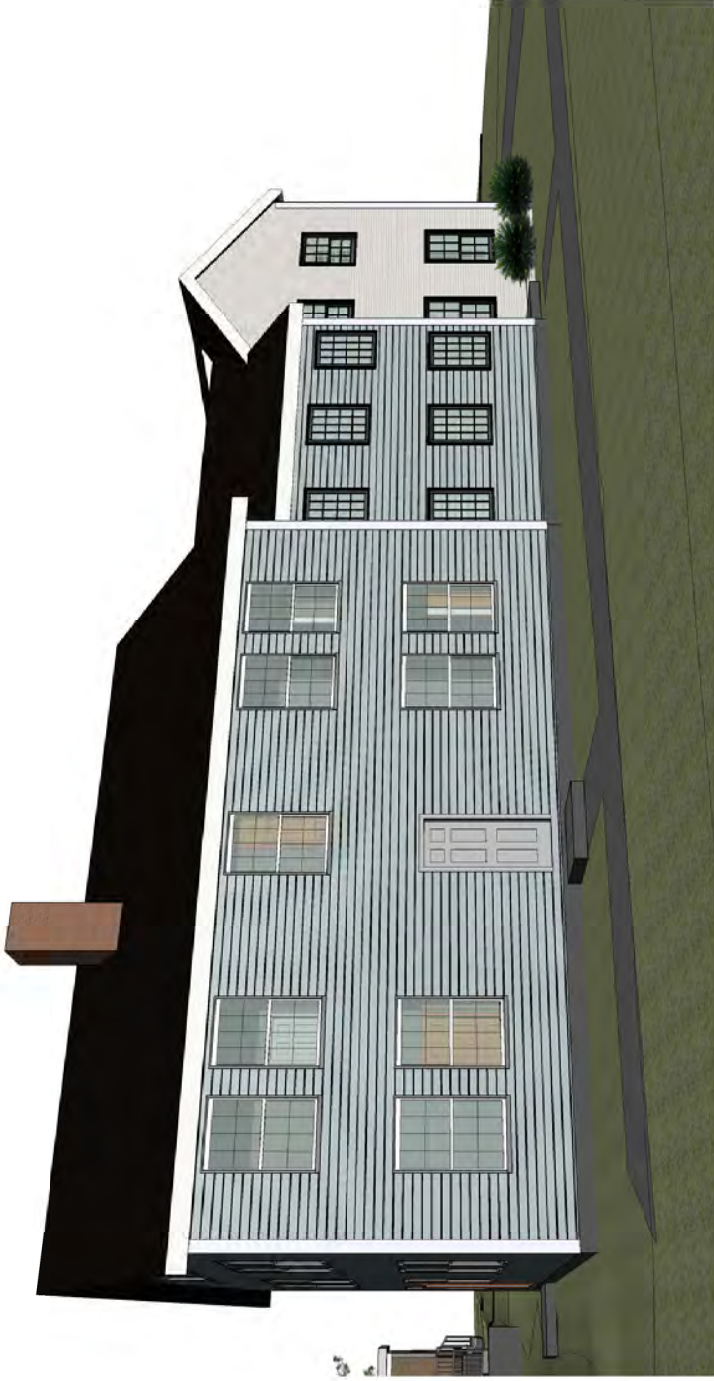
1 FIRST FLOOR PARSONAGE & ADDITION
1/8" = 1'-0"



1 PARSONAGE SECOND FLOOR & ADDITION
1/8" = 1'-0"



1 SOUTH EAST FACADE



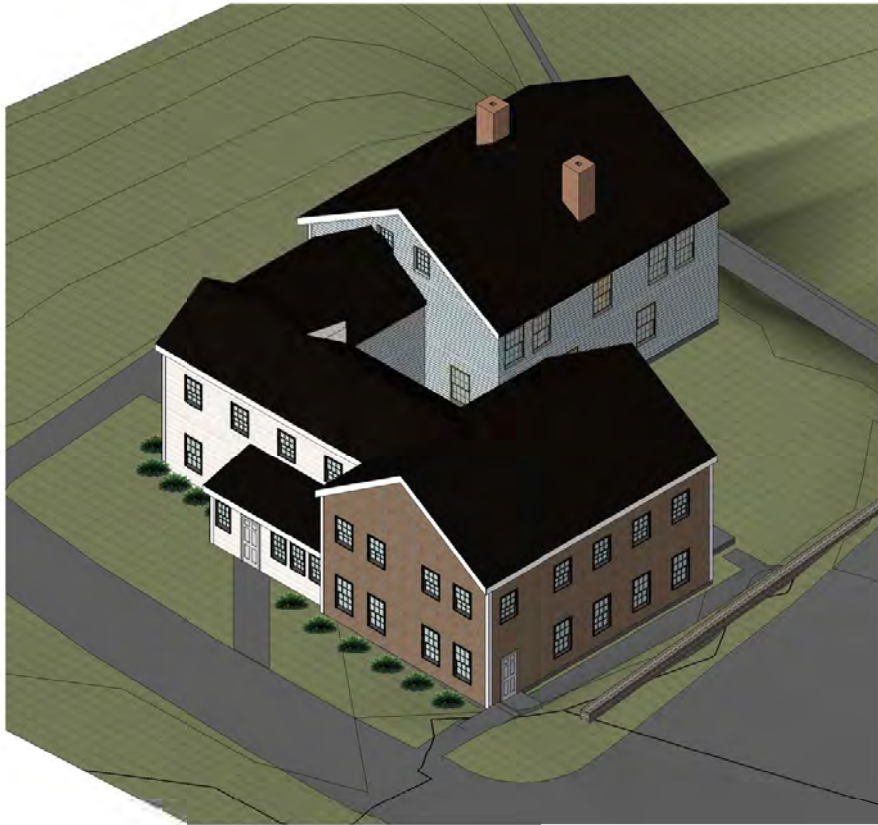
1 SOUTH FACADE



1 Courtyard View



1 PARKING ENTRY VIEW



1 BIRDS EYE VIEW

B) Dialogue Between Architect & Sudbury Historical Society on Design Evolution



4/17/2014

Sudbury Historical Society
Upper Town Hall
322 Concord Road
Sudbury, MA 01776

re Loring Parsonage Initial Thought and Observations

Loring Parsonage:

Greetings all,

I would like to share some initial observations on the Loring Parsonage. These are preliminary thoughts on usage and suitability.

Observations on overall condition and a general description.

Exterior

The exterior restoration work presents a nice appearance on the exterior with the recent roof and painting work -- Jim Kelly and the facilities crew have made a good effort at protecting the investment with regular maintenance. They have also attempted to address some concerns about roof run-off with added gutters on the rear elevation. While a change to the historic appearance, the gutters as installed did not require removal of historic features. These gutters in conjunction with a gravel drip line and the buried perimeter drainage have mitigated most basement water infiltration from the parking lot (north side) of the parsonage. The south side (front) does not have gutters and historically would not have had them. There is still persistent water infiltration into the basement on that side of the building.

The exterior painting is starting to wear and touch up to areas of flaking paint may put off full painting for a year or two. However a full paint project is in the near future.

The wood storm windows require attention, the two that are screwed to the windows of the east ell on the façade should be taken off. They are the wrong size for the windows and screwing them to the window casing is detrimental to the woodwork in addition to being aesthetically jarring.

The Alaskan yellow cedar roof is weathering quite well and the chimney flashing appears sound.

Interior

Attic

Inside at the attic the main block roof framing shows the evolution of the parsonage roof line from early saltbox to a hip roof and finally to the existing gable roof. Most historic framing is under the south slope of the gable: indeed the dragon ties at all four corners show the hip roof era. Blown in insulation fills the joist and truss bays on the attic floor.

Second Floor

The second floor of the ell is built into the ell gable so the ceiling slopes from a narrow flat portion at the center. There's considerable delamination of the plaster lath from the framing. The peculiar nature of the ell roof framing has caused the tops of the second floor walls to push out further than the bottoms creating a kink that is clearly visible from the exterior. The floor in this space is four inches lower than the floors in the main block. At its highest the ceiling is 7' above the finished floor.

The main block rooms have painted plank floors, and cased corner posts and summer and winter beams. The walls separating the front rooms from the stair and chimney are paneled in vertical feather edged painted paneling. The north walls of both rear rooms are thickened up to a height about 30-inches above the floor. This may indicate a girt location for an earlier salt box roof.

In the center of the parsonage, at the location where it appears there had been an original center chimney mass, there is a restroom.

There is a profound slope down in the southwest and northwest corners, and commensurate upward tilt to framing along the mid-line of the main block. As is typical of center chimney mass buildings, the floor of the southeast room crowns at the chimney hearth and along the run of the summer beam below.

The second floor rooms in the main block are domestic in scale and comfortably sized for an office function. Daylight is good, superior at the south but sufficient on the north side. The long northeast room is more proportionally awkward but also larger than the other rooms. The ell room windows are low on the knee walls and the sloped ceiling makes active use challenging to envision.

All doors except the one into the northwest room are too narrow to be considered accessible to wheel chair users, and would need to be replaced or modified if access to the second floor is provided. The ell room floor level could be raised for accessibility but then the ceiling height would be reduced to 6'8" and the window sills would be flush with the floor and the stairs would need to be modified.

Floor framing is undersized when compared to modern building code requirements. Use can continue without increasing framing, but the number of persons and the amount of storage – whether paper or artifacts -- would be limited by the structural capacity of the existing framing.

Increasing the framing capacity would have an adverse impact on the historic elements of the Parsonage. Upgrading framing would require removing the ceilings on the first floor and letting in new floor joists. It may also require increasing the strength of the summer beams below which could involve sistering the beams which would hide historic details and change the appearance of the first floor rooms.

Neither stairway conforms to modern exiting requirements which would be an issue if the use of the second floor were something other than office function. Obviously they cannot be used for handicap

access to the second floor. A vertical chair lift may be viable as a means of getting to the second floor. This would require a fireproof shaft wall construction and a power vented shaft which would require additional structural interventions.

First Floor

First floor wall and ceiling framing is similar to the second floor in the main block. In the ell, the ceiling framing is exposed with unpainted beams on joists. Flooring through out the main block is wood plank. There is no sub-floor at the southeast room, just 1-1/2-inch thick planking so the basement can be seen through the narrow gaps between boards. The condition may be similar at other rooms in the main block but the floors are covered with carpet. This would present the most concern at the southwest room since that is built over a shallow crawlspace with a dirt floor. So moisture and climate control in that room would be the most challenging. Extensive shoring and sistering of framing members has been done in the remainder of the basement. This was to address the broadly spaced joists and the extensive brown rot in the beams.

Though the most dramatic floor drop is in the southwest corner there is considerable evidence of active rot and dropping framing in the southeast corner of the main block.

Like the second floor, a restroom is tucked into the void behind the main chimney mass. A second restroom has become a storeroom with all plumbing fixtures removed. Both these spaces are raised to give room for under floor plumbing.

The Shed addition behind the ell was recently renovated with a restroom and an accessible building entrance.

The first floor rooms in the main block are domestic in scale and comfortably sized for an office function or small group gathering. The exterior exit at the northwest room could provide options for entering but since it is directly into a room it would have little viability in the winter. The kitchenette is tucked into a corner that also serves as the basement entry and has limited functionality – mostly heating lunches.

The number of exterior doors allows each space except the kitchen and restrooms to be entered directly from the exterior which could be a benefit since internal circulation requires passing through one room to reach the next. All interior doors except the one to the newest restroom are too narrow to be accessible and would require modification to be made accessible. Three of the four exterior doors are wide enough to be accessible, but only 1 has a level landing at floor height reached by a sloped walkway.

Basement

The basement is full height under most of the ell and under three quarters of the main block. The southwest corner, the kitchen part of the ell are crawlspace as is the space under the shed. The exposed rubble stones are parged and whitewashed. A concrete floor and shouldering at the base of the rubble walls were installed in the 20th century. The slab under the boiler appears to date earlier and is ragged around the edges as if chipped from a larger slab.

There are tide marks across the concrete floor from evaporated water that had leaked through the basement walls. The southeast corner of the main block shows extensive water infiltration. This is also the area of the most active observed rot.

The boiler is in the basement and is fed by two fuel oil tanks on rusting legs. Hot water piping is distributed through the basement attached to floor beams and joists. All floors are fed from the basement boiler. Lengths of fin tube radiation are placed throughout the basement to prevent freezing.

A bulkhead through the north wall gives exterior access. The other access is a stairway at the east end of the ell.

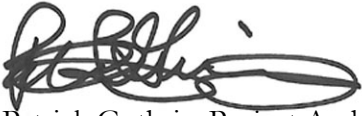
Water infiltration and marginal climate control make use planning for the basement a challenge. The environment is not presently suitable for general or curatorial storage. Accessing the basement by means of the narrow stair or the bulkhead is not ideal for day to day use.

Opportunities and obstacles

Opportunity	Obstacle
Close proximity to Town Hall and current SHS collections could mean a simpler move than to another location	Repairs will be required to maintain as is and extensive modification required to store objects on the second floor. have assembly uses on either floor.
Large parking area adjacent	Accessibility requires renovation/replacement of most doors (existing historic doors are too narrow), installation of a vertical chair lift to the second floor for wheelchairs and improvements or reconstruction of one staircase to meet access requirements (or a variance will be required) and renovation of the existing restroom (the first floor restroom in the shed is large enough to be considered accessible but lacks required grab bars and the sink does not meet requirements for size and depth and hardware).
Exterior has already been restored	Water infiltration at basement not solved.
Room size conducive to small gatherings or two person offices	Interior climate management is difficult to achieve without extensive renovation.
Historic location in the center of town	Adding assembly use will require extensive code upgrades to the electrical, plumbing and fire detection systems.
Property owned by town	Large parking lot is often at capacity
	Assembly use would require further analysis and strengthening of the first floor framing to meet the building code requirement of 100 pounds per square foot OR limiting the number of occupants based on the measured structural capacity of the existing framing. If the goal is to have groups larger than 49 persons in the parsonage at any one time the hardware on the exit doors would need to be panic hardware.

Please feel free to comment on these initial observations.

Yours truly,

A handwritten signature in black ink, appearing to read 'Patrick Guthrie', with a large, sweeping underline.

Patrick Guthrie, Project Architect

Spencer & Vogt Group

Ispencer

From: Ispencer
Sent: Friday, May 23, 2014 5:40 PM
To: 'Stewart Hoover'; Ruth Giesel; George Kiesewetter; Ursula Lyons; Sally Hild; Peggy Fredrickson
Cc: Patrick Guthrie; Nicholas Curtis
Subject: FW: Sudbury Historical Society -- follow-up to our meeting
Attachments: 1408.00_Sudbury Historical Society_Space Needs revised 5.22.14.xls.pdf; 1408 00_Sudbury_Floor Plans_Option C.pdf

Good afternoon,

Thank you for your efforts in a hard-working session. Attached you will find the revised program of needs. Note that I have included a column which represents your current space/square footage. You currently occupy 3,600 sf. With the revised program, it goes to 5,750 which includes 1,700 of the first floor of the Loring Parsonage. So there is some expansion but it hardly represents generous expansion (nod to Stewart here).

We have also show what it means to add new space to include the active functional space outside of the first floor of the Loring Parsonage as display in a historical setting. We show it behind the Parsonage but not directly connected to it for the long list of reasons that Patrick discusses below.

Lots to think about.

Enjoy your Memorial Day weekend,

Lynne Spencer
Principal, Preservation



SPENCER & VOGT GROUP

Architecture Preservation
1 Thompson Square, Ste. 504
Charlestown, MA 02129

617.227.2675, ext. 110

www.spencervogt.com

From: Patrick Guthrie
Sent: Friday, May 23, 2014 5:19 PM
To: Ispencer
Subject: Sudbury

Food for thought over the weekend.

We've taken the information gleaned from Thursday's meeting and revised the footprint for the programmatic spaces.

We are showing a detached building again, but on the same side of the lane as the Loring parsonage for several reasons.

1. Code requirements are more lenient if we limit ourselves to repairs of the Loring Parsonage and do not connect it to a new building. We preserve the historic features of the building. We recommend that the failed wall sills, rotted floor joists and deteriorated beams be repaired so the Parsonage is back to its historic structural strength. We would suggest that the occupant load be limited to what that framing can support – i.e. 10-15 persons per room on the first floor depending on what it is calculated the floors would hold. This would be in keeping with the school tour notion or the visitor who wanted to learn the Sudbury Story. This work would be eligible for Massachusetts Historical Commission funding.
2. Connecting to an addition would require the entire building – Loring and addition be fitted with a sprinkler system, addressable fire alarm system, pull stations for alarms, etc. The attic of the Parsonage would need to be insulated again, this time at the rafters so a wet sprinkler system could be installed since dry sprinkler systems are not favored for assembly buildings and generally frowned upon by fire departments, the crawlspaces would also need insulation for sprinkler pipes. A dual system, half dry and half wet would be even more expensive. A sprinkler would be very costly and running sprinklers would impact historic fabric. Also, if there are two separated buildings you could decide whether you wanted to sprinkler the new building or not – it would be elective, not required.
3. Connecting to an addition could trigger a requirement that the Loring Parsonage have lateral strengthening made to its structure which would require deep interventions in the post and beam framing. This would be costly and damage historic fabric.
4. The area where the two buildings meet would need to conform to current energy code which is tough to achieve with the old plaster walls. This again adds expense and damages historic fabric.
5. The adjacencies between two separated buildings would require a brief foray into the open air to pass between them, but most of the active new functions are consolidated into one building.
6. Whether an addition or a separate building the adjacencies of the structures will require addressing combustible construction of two structures so close to each other or where addition walls are so close together. This includes siding, windows, doors and roofing.

Patrick Guthrie, RA
Project Architect



SPENCER & VOGT GROUP
Architecture Preservation
1 Thompson Square, Suite 504
Charlestown, MA
02129

Space Needs and Utilization of Loring Parsonage

In the last meeting of the SHS Building Committee we reviewed Option C from SVG. We have also met with representatives from the Permanent Building Committee, Town Facility Manger (Jim Kelly) and members of the Historical Commission to get their views on this option. Briefly here is what came out of those meetings:

1. The Loring Parsonage should be fully restored, not left in a state that the 2nd floor can be used for only limited purposes with 4 or 5 persons in it and little or no ability to store items of any weight.
2. Overall the space needs suggested by SVG seem on target except for the space for 3 D objects and archiving. Currently we have in Town Hall about 250 sq. ft. for storage of 3D objects that are not on display. The emphasis over the next year is not to add to our 3D objects but to carefully review and reduce their numbers. In the future we plan to be very careful acquiring more 3D objects, focusing more on archives, photos, journals, paintings, etc. For this reason we believe the 3D area does not need to be more than 500 sq. ft. (twice what we currently have) and the archive area should be increased by 50%.
3. We would like to explore removing the addition on the east side which would allow more flexibility on the placement of another structure. This addition is not particularly historic, as it was added in the 1930's, about 200 years after the building was erected. In all of your options this space was not used or used for only entry way and access to the basement.
4. The style of the building will most likely have to be 1700's or early 1800's to be accepted by the Historical District. They are very reluctant to approve anything that is outside this period. This suggests, to us, that re-creating a barn on the east side would be in keeping with the history of the building as there as a barn on the west side at one time. I believe you have picture of that.
5. The elevator is both an issue and an opportunity. In the new building the elevator is on an outside wall. Not having an elevator for the Parsonage does present a problem and it has been suggested that we could have an outside elevator which would provide access to both building. We understand that this raises some code issues but perhaps there is a way to get an exemption.
6. For exhibit space we believe the 1st floor of the Loring Parsonage will work well, with 50%-60% used to "Tell the story of Sudbury" and will not change too frequently. The remaining space would be used for changing historical exhibits focusing on specific events or periods in the history of Sudbury (ex. Pre revolutionary Sudbury, Agricultural Sudbury, The Lost Schools of Sudbury, The Artists of Sudbury, 375 Years of Sudbury Soldiers, Wedding Dresses Through Time, etc, etc, etc.) The exhibit area in the new building will allow for special exhibits and events both historic and contemporary. This may change after meeting with Cynthia.

Using a spreadsheet I have put together a comparison of Option C and the Committees suggestions.

Function/Purpose	SVG Option C	SHS Consensus	To visualize think of a square of	Dimension of equivalent square
Permanent and Rotating Exhibits	1700	1700	41 x 41	41.23
Exhibit and Meeting Space	500	500	22 x 22	22.36
Kitchen	150	150	12 x 12	12.25
Main Entrance, Gift Shop, Visitor info	250	250	15 x 15`	15.81
Restroom	100	100	10 x 10	10.00
Misc Storage	150	150	12 x 12	12.25
Mechanical	200	200	14 x 15	14.14
Archive Storage	500	800	28 x 28	28.28
3D Collection	1000	500	22 x 22	22.36
Area for Director, Treasure, Volunteers	450	750	27 x 27	27.39
Total	5000	5100		
Flow space(15%) for stairs, elevator, etc	750	765		
Total Space Needs	5750	5865		
Available Space in Loring Parsonage	1700	3400		
Required New Space	4050	2465	26 x 26 (2 levels)	24.82

Ispencer

From: Stewart Hoover [shoover@stonept.com]
Sent: Thursday, June 19, 2014 9:47 AM
To: Ispencer; Patrick Guthrie
Cc: Ursula Lyons; Sudbury Historical Society; Stewart Hoover; Sally Hild; Ruth Griesel; Nancy Somers; Joe Bausk; Elin Neiterman; Debbie Keeney; Daphna Cox; Beth Gray-Nix; Ellen Morgan
Subject: Space Needs, Renovation and Addition

Hi Lynne,

I am sorry for taking a couple of days to get back to you on where we are since Cynthia visited and got us thinking about our needs.

I don't think too much has changed since we met after Cynthia's visit.

1. We have taken a second and third look at our space needs for both archives and 3D objects and the total comes to 900 sq ft. Some objects may be called archives, other objects, for example family bibles or framed art work could be either, but everyone is comfortable with an upper limit of 900 sq ft.
2. We still want to have the 2nd floor of the Loring restored so it can be used fully. We understand codes requirements come into play then.
3. We will want a space to support class/gathering/exhibit/etc separate from the historical exhibits. We believe 600-650 sq ft is needed. We look to you to recommend if this space should be in the new or old area.
4. We plan on having part the historical exhibits change often while also "telling the story of Sudbury" changing much less often.
5. We would like the addition connected to the Loring Parsonage and if possible have a shared elevator or at least have access to the 2nd floor of the Parsonage other than stairs.
6. The space allowance you have already set forth for all requirements seems to be on target, with the exception of storage and archives which is addressed in item 1.

We know, of course, all this comes at a price and are looking forward to both a great restoration/addition solution from The Spence Vogt Group but also very important is an estimate of what all this will cost. We are hoping set the stage for funding the project once your design work is completed and continuing to work with you to final completion.

Thank you for all the help you have given us so far and we appreciate your patience working with such a large group and set of opinions.

Sincerely,

Stewart Hoover, President
Sudbury Historical Society

From: Patrick Guthrie
Sent: Monday, August 25, 2014 9:48 AM
To: Stewart Hoover; Ispencer
Cc: Ruth Griesel; George Kiesewetter; Sudbury Historical Society; Ursula Lyons; Joe Bausk; Sally Hild; Peggy Fredrickson; Beth Gray-Nix
Subject: RE: Design Review

Hi Stewart,

Of course we are pleased the plan was so well received. I've replied to some of the comments below in **BOLD**.

From: Stewart Hoover [<mailto:shoover@stonept.com>]
Sent: Thursday, August 21, 2014 8:54 PM
To: Patrick Guthrie; Ispencer
Cc: Ruth Griesel; George Kiesewetter; Sudbury Historical Society; Ursula Lyons; Joe Bausk; Sally Hild; Peggy Fredrickson; Beth Gray-Nix; Stewart Hoover
Subject: Design Review

Lynne,Patrick,

The designs you sent over have been received very favorably. We presented it to the Historical Commission on Tuesday and there appeared to be unanimous approval of what you have come up with. When our committee met a number of possible changes came up including:

- A sidewalk leading from the parking lot to the main entrance needs to be included to ensure safety along the driveway. Also, when we did some measurements it appears your plan will splash into the driveway. We will have to work this out with Jim Kelly and the Highway Dept., eventually. **The intent is to have a sidewalk. Yes, there needs to be an accurate survey which would be part of next steps. That will determine what needs to be adjusted at the roadway..**
- A farmers porch rather than an enclosed entrance would enhance the entryway visually, be welcoming, and offer a place for people to wait for rides (pick-ups and drop-offs) out of the rain, etc. **We showed an airlock for energy conservation and public comfort purposes – i.e. you don't want to lose all your warm lobby air every time the front door is opening.**
It is easier to meet building code energy requirements with an airlock. Since there is preference to extend the porch we could look for a means to lessen the visual prominence of the enclosed entry – basically, I think this can be refined when the design moves forward.
- The back door of the barn could be a closer option for people who find it difficult to walk the distance to the main entrance. A cut-out with level paving may make it easier for people to walk from the door to a waiting car. **There is about a three foot elevation difference between the barn floor level and the parking lot. To get to the door would require a ramp or long sloped walkway because you would have to make it accessible so the travel distance would be about the same as walking in at the main entry – you could put in stairs in addition to the ramp which would be shorter by a little bit.**

Ultimately though the issue would be control of the entry. If you have exhibits in the meeting/gallery space you would want to monitor the space which would be much harder if the barn doors were considered another entrance for all visitors..

- People wanted to see the farmers porch element extend down the length of the building (the whole side). **Noted**
- There was a good deal of discussion about ceiling heights and 9 feet is a minimum. **As it lays out, the height is 10' in the meeting/exhibit room in the barn and the main entry. The other spaces are driven by meeting the floor levels of the Parsonage and keeping eave lines and roof lines lower.** Also having some open view to the 2nd floor could make it more interesting. **That could be interesting – could you clarify which spaces you were considering or thinking about.**
- Windows in the barn should be less institutional and more barn-like, especially the top windows which might be much smaller like the windows in the example barns you sent us. **Certainly, like my talking points said, the fenestration on the “barn” can be modified, there is very little on the interior that limits what is done with window shape.**
- There was discussion about the barn portion being a timber-framed structure. **It could be. I think the framing should be dictated by budget. Whether timber frame is best value or not would remain to be seen. If the question is down to aesthetics it can be made to look timber framed.**

In general we are very pleased with what you have proposed and believe that with the suggestions above this will work for cost estimation and selling the project to the community.

I believe the Historic District will come into play more when we have the actual architectural plans in hand which will happen once we have funding in place. They are very sensitive to exterior things like colors and windows. We will, however, make them aware of what is being proposed.

Also, I appreciate your getting the full sized drawings and examples of how barns and homes grow together couriered out to me. It has really helped us see what you are proposing and presenting to others.

Thanks,

Stewart Hoover
978-443-9023
978-460-1346 (mobile)

C) Cynthia Robinson Meeting Transcript, 6.9.14



SHS Museum consult Cynthia Robinson on Monday June 9, 2014

0:04 Do we draw in the same people for all programs

Cynthia 2:04:17 57.2 MB

0:03:46 So you want to be able to do more workshops (Hall not available)

0:04:19 Are there constituencies that you don't see at your programs?

0:06:22 Do you have a lot or newcomers or ethnic diversity than you had in the past?

0:07:20 Something that some Historical Societies have played with some success is parents of very very young children – like toddlers or babies. Child care while mothers volunteer and there is a play area

0:08:00 I would hope that by the time you get to your new building you will have a real clear sense of how many more people you want to get and how you will sustain that. And what programs you are going to put your effort into because that will really affect your space. It's one thing to have exhibit space and another thing to have program space or classroom space.

0:09:00 Ideas for you to choose to consider:

There are museums that are putting their efforts into building a specialized audience. For instance:

The Institute of Contemporary Art has made a strong commitment to programs for teenagers. Journal of Museum Education will have an issue devoted to teens and museums.

0:10:22 The USS Constitution Museum has focused on family audiences with kids between 4 and 14. ... Parents are engaged in either parallel play or collaborative play.

0:11:43 trend In Art museums to focus on the elderly and people with dementia. These programs have been extraordinarily successful....The best way to start one of these programs is to collaborate with people who know how to work with them. Danforth Art Museum is starting to develop a program like that. (a student there also developed a program for babies)

0:13:29 You could experiment with some of this stuff before you even get the building.

0:14:30 Museums are starting to think the way a business does _ what does the customer WANT.....Make sure that there is a match between what your audience wants and what you are able to give.....Museums either research & read to see what people want or they are collaborating with audiences to curate their own exhibits or they are instead of Telling the audience what things are they are engaging the audience in figuring it out... It is no longer TELLING them. It is more of a conversation – even in exhibitions.

- 0:18:05 Sudbury has a lot of overlap with Acton, Marlborough... and there 's no reason you can't do a program that draws people from there.
- 0:18:30 I love that even though you have a building you are not staying in the building (you have programs outside around town) Being able to take people to places in town and show them in new ways is something that you shouldn't lose. It is a really important way of helping people understand the significance of their town.

Books

Connecting Kids to History with Museums & Exhibitions
Yardsticks: Children in the Classroom Ages 4-14 – Learning characteristics of different ages

SLIDES of different strategies so that you have some things to choose from.

0:26:46 Bringing out things from the collection for people to see as is done in a research library this is Addison Museum of Modern Art in Andover...For them several pictures were pulled and the students looked at them and created a story. This is for people who want to study the art. The museum staff created a list of topics are linked to the high school curriculum.

0:30 10 In Seattle the Wing Luke Museum has gotten a nationwide reputation for being a place where all sorts of community groups create exhibits with each other and for themselves. A group of South east Asians choose the artifacts, created labels and got guidance from the museum. This was a way of them sharing their history with others in the city. Any group (like garden club) could make exhibit.

A lot of what museums do is finding out what is going on in town and creating exhibits that go along with that.

0:31:00 This is in Canada and they are focused on a river cleanup. You have the SVT here and that's a great story and a good place to collaborate.

0:32:10 Detroit Historical Society – They collaborated with agroup of woman painters ...Your photography exhibit asking people to contribute is a great idea. You can do that with art as well.

0:33:36 Exhibits can be very very expensive to put together. They can take years of research, then a design phase, then, writing and preparing of objects and images to go in it and then the fabrication and then installation. It can cost hundreds of thousands of dollars. But 30,000 is cheap. Prepare yourself. Nahant exhibit was \$60,000. Slide shows exhibit by students a panel roe a picture. Students did labels and design. It was under \$4000 – marketing, opening reception, labels – on film to put up

0:42:19 Long standing exhibits are good for school groups. The teachers want to be able to return year after year. They are not so good for non school groups. So you need to think about who your audience and why

PROGRAMMING

- 0:42:40 This is a Time Travelers Ball dress up event attracted a wide range of ages. This was in Oregon
- 0:45:00 Ball in England – Elizabethian in a museum setting.
- 0:45:47 Richfield, MN exhibit on housing in town Interactive part where twll what you like (A valentine) and then one for what you don't like about your house (you dirty Laundry) Added interactivity by having panels where people could put their own sketches.
- 0:49:05 Some places are renaming to History Center Others want to be Museums. Some broaden to call themselves cultural centers.
- 0:51:30 At the moment Art museums are more popular than History museums – e.g Peabody
- 0:52:47 Collaborate (eg Gloucester Society with a Church having an anniversary. Become a catalyst and share work It Gives people an entry point.
- 0:54:20 Find the connection between their interest and your interest.
- 0:55:34 Every time yu take an artifact in you are taking on an expensive obligation. You are giving it expensive real estate and a certain quality of care. It you decide not to keep it you will have a very time consuming process to get rid of it.
- 0:57:05 Historical Societies are now realizing that they have to be very careful of what they say yes to because suddenly you are filled to the rafters..... You need to think of the match between the collection and your ability to tell the story. Example in Worcester the old chairs did not tell the story of an industrial city.
- 0:57:47 Video can give a very compelling overview and it helps you contextualize your story. To save money use high school students and do it in collaboration with a teacher.iPads better than iPods for viewers because of the larger screen. You could buy a few for the Society and anchor the somewhere or put them in a frame set so people can't change the controls. Take license or something as security. That can be a great way to give people information that it is not easy to give them otherwise.

DEACCESSIONING

- 1:00:40 You have a mission statement. You may want to revisit it as your organization changes and evolves. Do you have a collections policy? ...This is something where a student from my program could work with you. Collections Policies usually spell out in some detail what your organization will collect – and also what it won't collect. Sometimes that is done in collaboration with other area historical societies. Because if you're all sharing the same kind of history you can divvy up who collects what and then you can loan each other stuff for exhibits. That's also a way to minimize duplication and share space and share resources. ...Sitting down with [library, town clerk, et al] them all saying "What do you collect? What are we going to collect?" ...The American Association of State & Local History ..has a quarterly magazine. In the fall there's going to be an article about a community...where a bunch of organizations in one county have divvied up the pie about who will collect what.

1:04:20 If it isn't clear for researchers where to go the things it can be confusing.
[Stewart & Ein met with Esmie and learned that the Library is willing to share, but doesn't know what all they have. They are willing to collaborate on documents and, if we get a museum, on objects. Or to do joint exhibits.]

1:05:50 [don't use our kind of software]

1:06 50 There are two ways of going about accessioning. One is the "inventory" approach where you get everything in at least by name, and then you go back – but the problem is you never do go back. ...Even if you were the most particular pristine group of people that would still happen because your understand of objects changes **over time**. So there is always more to add or to change.

1:07:36 Here's my worry: That is that collections management takes a huge amount of time. And in some ways it's very seductive because there's a lot to do, and once you know how to do it, making progress is interesting and you can train people. The problem is that it doesn't help you get visitors or make money. It doesn't help people understand the town unless you are also getting them to relate to the collection in some way.

1:08:00 A lot of historical Societies put HUGE efforts into doing things right. (in terms of storage and acid free paper and cataloging and all that) but they died because no one has joined them because they have been so inwardly focused. I don't think you are anywhere near that, but just always keep the balance, so that you're still doing outreach and your fabulous programming at the same time that you're doing the collection.

1:09:30 What's important (more than "finding aids") is getting the nomenclature so that if someone is looking for a "bonnet" they use that word and not "hat" so that you are using the same words. [Lynn – Create a manual so all volunteers are following the same guide.

TEMPORARY ACCESSION

1:12:20 You have things which have been temporarily accepted and then you have a Collection Committee that decides "Yes, we do want it or No we don't". That's what you should have – a Collections Committee. That body is your deciding body. Since you're an organization, you need to be making decisions on an organizational basis and not the individual basis. So having a committee there is a way of saying "Is this an investment for the future that we, as an organization, want to make?" Then when you are Deaccessioning it's that same body. So, again, it's not some one's individual decision.

DEACCESSIONING

1:12:00 can't just throw out – had to make a case before the Collections Committee. Had to show that we had the legal right (actually owned it, had the accession number, it belonged to us) Do research to show it isn't worth putting money into. You have

to judge it against your mission statement and your collections policy, so you can say “Does this meet what we are all about or is it outside our scope?” If it is outside the scope and the committee decides that you can deaccession it, you record it in the (committee) minutes. But then you have to dispose of it in a way that is ethical.

1:14:40 You can throw it out but if you do you have to crush it because you don’t want someone going into the garbage and saying “Look what the Historical Society threw out.”

1:15:30 [Moral obligation to donor?] Theoretically none, but you are a small community and your business of being a historical society rests on relationships. So in this case, it you know who gave it or their descendants go back to them and give them right of first refusal if you feel that you need to sell it. Or you can give it back. [Lee looks in old minutes for donors]...Looking in old minutes for donors is time consuming, that is why you accept things you need to look ahead for fifty years from now.

1:14:00 Some museums are diligent about going back to donors, others say that it was given and the museum has right to sell it. It is out obligation to first and foremost put our institution first.

1:18:43 If you sell it, it should go through an auction house. ...You should not be selling to a private person. ...[tag sale, magazines...] It depends on what it is. You (people) should not be buying stuff that has been de-accessioned from your own museum. There needs to be an extra layer between you and the recipient. ...Think about what it is and think about the ethics of it. American Alliance for Museums has guidelines.

1:20:50 You can have different levels of care for different items.... TEACHING collection is things that can be handled, consumed and wrecked... Create a different cataloging system for them ...– perhaps an Excell list. Give a different number – a “T” number. Your collection policy should mention this and what the coding is. You might want to store it separately. It is a way of repurposing duplicate collection items or items that may not have to do with Sudbury buy may deal with daily life.

1:23:43 PROPS collection allows you to be more casual about it

1:24:20 Don’t forget that there is a square foot cost to every object. ... You really need to think about that.

1:24:30 Before you invest in a new building you really need to figure out your relationship with the other collecting entities in town.

[Stewart in meeting with Library offered that if they have objects they want to keep, it would still be possible to enter them into our PastPerfect with the location entered as the Library or they might have their own PastPerfect, but the database would be the same. We could do the same with Hosmer House]

1:27:17 Sometimes people give items to an Auction just so they can be sold to benefit the Society.

Discussion regarding accession and de-accessioning procedures especially relating to Noyes. Recent donation. Affirmed that collection policies as mentioned above should be followed. (ie mission relevance, & Collection committee)

Discussion sometimes less is better – single object will lighted and displayed with room to view it from all sides works well

1:33:34 Often whole town's timeline is presented and it is too much. A more episodic approach might be better. .. good objects and important moments... and encourage audience to link them in different ways.

1:34:40 (Lynn can't do all Sudbury story at once, and don't really want to.)

[Ruth & Lee – tell King Philip war from Indian perspective]

1:36 :00 [Ruth – also Puritan Village about town getting started.]

1:36:35 Possible topics? list : Cynthia: Are they things YOU are interested in of things the public wants to know? Are they things you can support with artifacts here? SHOULD IT BE AN EXHIBIT OR SHOULD IT BE A BOOK?

1:38:36 Exhibits have some reason to be in a three dimensional space. Images could be a video or a book.

1:39:00 Topical exhibits can bridge the gap between present and past. For example “how did people solve problem of heating food?” conversation of what SHS has relating to housekeeping; Mothers night out idea; Townspeople as sources for a wedding gown exhibit; - or eggbeaters. When exhibit is over people take things home; Exhibits stay up different times.

1:44:50 Topics that transcend history – go over all years; topics that are time specific; co- curated topics; Stuff that is very specifically Sudbury and stuff that is more universal. Universal stuff is good because it includes more people. You don't have to have lived in Sudbury to be part of the story. We shared these universal ways of life. This can become a shared space. – inclusive for newcomers and for those passing through.

1:46:50 The **accessioning committee** should be 4 -10 people... 5 would be a good number. Have term be more than a year because it takes time to learn what is needed. Have rotating terms so all don't go off at the same time. .

Hand out from book Building Buildings: a handbook for small organizations.

Another book of interest is Alliance of Museums and School Partnerships

Thank you, and compliments all around.

D) Space Needs Study & Miscellaneous Documents (2001-2008)



Loring Parsonage



Building Data Inventory:

Address: 278 Old Sudbury Road

Zoning:

Lot size:

Building type: Administrative Office Building

Number of floors: 2 floors with a basement and attic

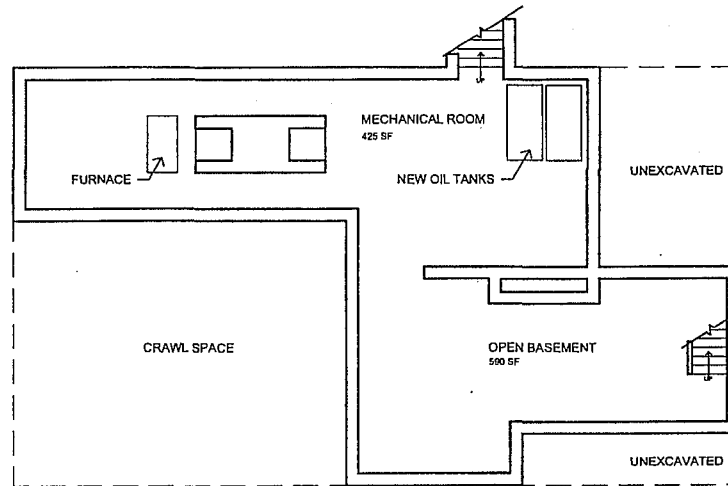
Year built: 17th century

Additions: None

Major renovations:

Occupancy groups: B, Business

Construction class: 5B



ARCHITECT

bh+a

Burgess Harshbarger + Architects, Inc.
 315 Summer Street
 Boston, MA 02210
 617 330-0450 Tel
 617 330-0215 Fax
 www.bh+a.com

PROJECT NAME

**Sudbury Space
 Needs Study**

Sudbury, MA 01776

CLIENT

Town of Sudbury

288 Old Sudbury Road
 Sudbury, MA 01776

PROJECT TEAM

DISCIPLINE

Name

Special

City, State, Zip

Phone

Fax

www

REVISIONS

1	
2	
3	
4	
5	BY

DRAWING TITLE

**Loring
 Parsonage
 Basement
 Floor Plan**

DRAWING INFORMATION

July 23, 2001

SHEET OF SHEET

Scale

DATE

BY

CHKD

DATE

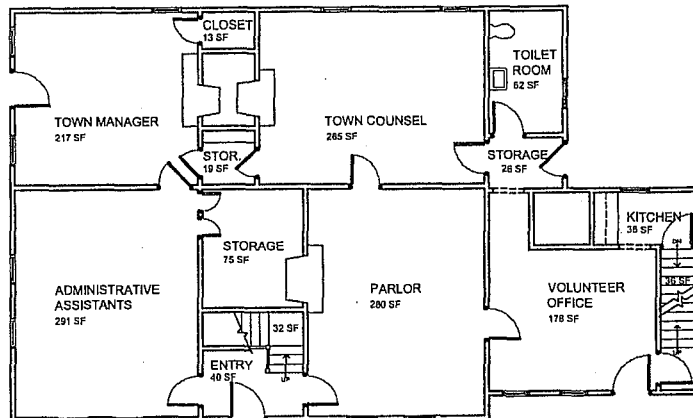
PROJECT

FILE

DRAWING NUMBER

A100

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ARCHITECT
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 Benjamin Hendler + Archetype, Inc.
 318 Summer Street
 Boston, MA 02110
 617.350.0410 Tel
 617.350.0215 Fax
 www.bh+a.com

PROJECT NAME
Sudbury Space Needs Study
 Sudbury, MA, 01778

CLIENT
Town of Sudbury
 218 Old Sudbury Road
 Sudbury, MA 01778

PROJECT TEAM
 DISCIPLINE
 Name _____
 Street _____
 City, State, Zip _____
 Tel _____
 Fax _____
 www._____.com

REVISIONS
 1 _____
 2 _____
 3 _____
 4 _____

DRAWING TITLE
Loring Parsonage First Floor Plan

DRAWING INFORMATION
 DATE: July 22, 2021
 SITE: OFFICE
 EDITION: 1
 SHEET NO: _____
 SHEETS: _____
 SCALE: _____
 PROJECT: _____

DRAWING NUMBER
A101

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Loring Parsonage

Building Condition Overview:

Erected in the early eighteenth century, the Loring Parsonage is a wood-frame, two-story building with an attic and basement. The "house" sits on a knoll adjacent to the twentieth-century Town Hall. The exterior finish is painted clapboard and wood trim, and the gable roof is currently clad with asphalt shingles. The attic is unfinished with exposed roof rafters and floor joists. Inside, all walls and ceilings are plaster and the floors are wood plank. All interior surfaces are painted or wallpapered and are in fair condition. Over the years, the northwest corner of the house has settled, resulting in sloped floor surfaces and cracks in some of the interior wall surfaces. The basement has a concrete floor and stone walls with concrete footings. Part of the basement is full-height; the rest is crawl space. The mechanical equipment is new and in good condition. The building has central heating, but not central air-conditioning; air conditioners are installed in the windows of the offices. To preserve the historic integrity of the front façade, air conditioners have not been installed in any of the front windows. Some life-safety equipment, including heat detectors, a fire extinguisher on the second floor landing and security lighting, has been installed. This historic building is not protected by a fire suppression system.

The site and the building itself are not wheelchair-accessible. From the parking area, there are 6 steps up to the brick paved pathway. The front door is three steps above grade. All doors are less than the 3'-0" clear width required by ADA. Office space on the second floor is only accessible via stairways that are less than 3'-0" wide. Major renovations would be required to make this building wheelchair-accessible and suitable for office use. However, these renovations are not recommended, as they could severely damage or destroy the historic fabric of the building.



Parking lot for the Parsonage. Note stairs to reach main entry.



Parlor on first floor.



Basement space.



Attic space.



FIELD REPORT

PROJECT: Sudbury Facilities Study – Loring Parsonage

FIELD REPORT NO. 5

TRADE/DISCIPLINE: Plumbing/Fire Protection, Electrical

PROJECT NO.: 21092.00

DATE: 9/19/01

TIME: 9:30 AM

WEATHER: Showers

TEMP. RANGE:

PRESENT AT SITE:

Don Gamble - SAR Engineering, Inc.

Ahmad Moghni – SAR Engineering, Inc.

OBSERVATIONS:

This is a residential building built in the 1700's.

No sprinkler protection

This is a historical landmark and suggest sprinkler per 6th edition building code.

PLUMBING

Hot water tank is Bradford White 30 gal. electric.

12" diameter sump pit in basement.

Water service 1" copper – no meter visible.

½" backflow preventer for boiler water make-up. 310 CMR D.E.Q.E annual testing as per 3.-2.A7
Inspection Testing.

First Floor

Kitchen sink – in small kitchenette.

One bathroom.

One watercloset – tank type floor mounted.

One lavatory – wall hung.

Exterior

One hose bibb, no vacuum breaker to be corrected. This is a code issue.

Ceiling height approximately 7'-0".

In general for its use at present time, there is no need to update all its systems presently.

Suggest maintenance checklist for sump pump hot water. Tank and sprinkler as per historical dwellings.

Code section 3409.0 (CMR 780) historical buildings, especially Section 3409.3.1 attached.

HVAC

1. The Parsonage is provided with an older boiler with a new fuel oil burner. There are three hot water zone pumps providing heat to baseboard radiation and convectors.
2. The interior women's bathroom requires an exhaust fan.



FIELD REPORT

PROJECT: Sudbury Facilities Study – Loring Parsonage

FIELD REPORT NO. 5

TRADE/DISCIPLINE: Plumbing/Fire Protection, Electrical

PROJECT NO.: 21092.00

DATE: 9/19/01

TIME: 9:30 AM

WEATHER: Showers

TEMP. RANGE:

The fuel oil burner and the two 235 gallon fuel tanks were installed during the summer of 2001.

ELECTRICAL

Electrical System

The building is fed from underground service providing 200A, 120/240V, 1 phase, 3 wire system. The 42 pole Cutler and Hammer distribution panelboard is in good condition.

Lighting

The lighting throughout the building has both fluorescent and incandescent fixtures. The fixtures are in fair to good conditions. However, in some areas like the volunteer office on the first floor, relamping is required. The light level is poor on the first floor bathroom. There is no light in the attic. The energy efficient fixtures are required.

Emergency Lights

The building has emergency battery units. However, there is no emergency battery unit in the volunteer office on the first floor and storage room on the second floor. (It appears that stairs #2 are used for exit purposes.)

Exit Lights

The LED exit signs with self-contained battery backup are not installed on the main door and volunteer office and storage on the second floor. Only exit signs are provided.

Fire Alarm System

The building fire alarm devices are tied to the fire alarm panel located in the Town Hall. The building has heat detectors and pull station on the main entrance. The building has old initiating devices. The bathrooms do not have notifying devices.

Miscellaneous System

1. The building has time clock for the outside lights.
2. The building has its own telephone system.

ITEMS TO VERIFY:

ACTION REQUIRED:

REPORTED BY: Don Gamble – SAR Engineering, Inc.
Ahmad Moghni – SAR Engineering, Inc.

SUDBURY FACILITIES STUDY

UPGRADE RECOMMENDATIONS FOR LORING PARSONAGE

HVAC

1. The HVAC system in the Parsonage should remain as is until such time as its future use is determined.

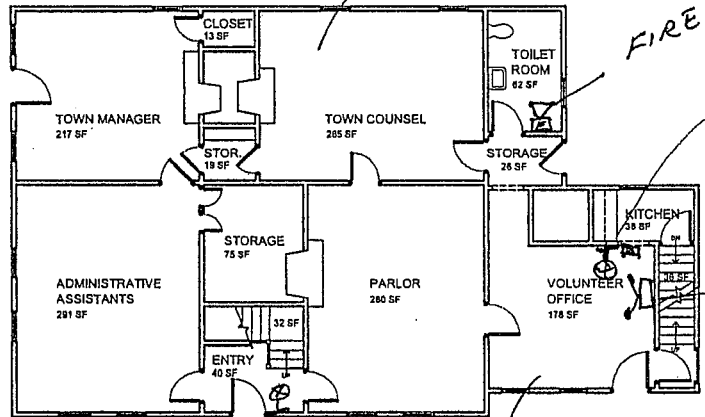
PLUMBING/FIRE PROTECTION

1. The building presently is not sprinklered. Because of the historical value of the property, it should be considered to protect the property with one automatic sprinkler system. Estimated cost \$3.50/sq. ft.
2. The existing plumbing systems appear to be in fair condition. However, outside of normal maintenance, there are no items that require special attention.

ELECTRICAL

1. Lighting should be provided as per the sketch for code compliance. The approximate cost will be \$300.00.
2. The existing fire alarm devices are connected to the fire alarm panel in the Town Hall. If the Town Hall fire alarm system is replaced, the fire alarm devices for the Parsonage Building should also be replaced with new addressable devices to be compatible with the new addressable system for code compliance.

The approximate cost will be \$4,000.



Relamping

FIRE ALARM NOTIFYING DEVICE

EXIT LIGHT

Emergency battery unit.

EXIT LIGHT

Relamping

3101
Provinc, MA 02710
0450 Tel
015 Fax
js.com

PROJECT NAME
**Sudbury Space
Needs Study**
Sudbury, MA 01778

CLIENT
Town of Sudbury
218 Old Sudbury Road
Sudbury, MA 01778

PROJECT TEAM
DISCIPLINE
Name
Street
City, State Zip
and telephone Tel
and facsimile Fax
www.-----com

REVISIONS

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DRAWING TITLE
**Loring
Parsonage
First Floor
Plan**

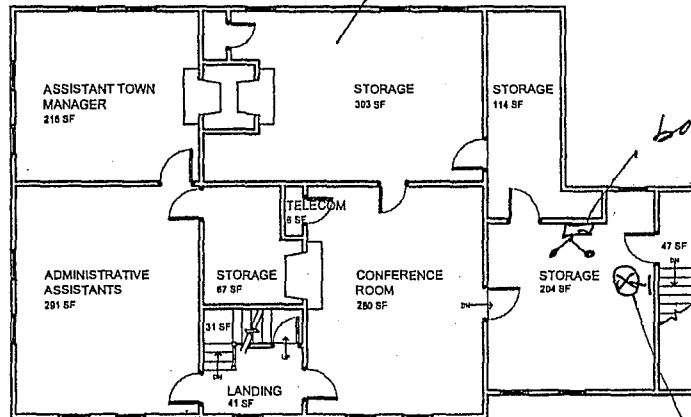
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DATE: 02/22/2011
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: [Signature]
PROJECT: [Signature]

DRAWING NUMBER

A101

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PROJECT

ra

315 Summer Street
Boston, MA 02210
617.230.0533 fax
617.230.2115 fax
www.ra-arch.com

PROJECT NAME
Sudbury Space Needs Study
Sudbury, MA, 01778

CLIENT
Town of Sudbury
28 Old Sudbury Road
Sudbury, MA, 01778

PROJECT TEAM
DIRECTOR
Name
Date
City, State Zip
PHONE NUMBER FAX
WWW ADDRESS

REVISIONS

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5	AW

DRAWING TITLE
Loring Parsonage Second Floor Plan

DRAWING INFORMATION

DATE: 10/21/09
DESIGNER: [Signature]
CHECKED: [Signature]
DATE: [Signature]
PROJECT: [Signature] [Signature]

DRAWING NUMBER
A102

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Loring Parsonage

Departments Overview:

The Loring Parsonage houses three Town department offices including: Town Manager, Assistant Town Manager, and Town Counsel. The services these Town Office Departments provide, the staff levels for each department, and the summary of space needs are as follows:

I. Town Manager – The Town Manager is the “Chief Executive Officer” of the Town. This office works closely with the Board of Selectmen to carry out policy directives and review site plans for development in Sudbury. Further responsibilities include, preparing the Town budget and presenting it at Town Meeting, executing some contracts, and appointing all department heads (except the Town Accountant, Town Counsel, and Board of Health) and public safety personnel. Overall, this office is responsible for all of the Town’s day-to-day executive administration duties. This office provides administrative support and oversight to the Selectman’s activities and all Town Department activities. This department is staffed by 1 Town Manager, 1 Administrative Assistant, and 1 Office Supervisor. This office also has several part-time volunteer employees who come in to help with answering the phones and assembling weekly packets.

Space Needs Summary:

- A large table within the Town Manager’s office to layout drawings
- More storage and filing space for active and permanent records and reports
- More organized dead storage space
- Additional workspace for the administrative assistants
- An additional workstation for volunteers adjacent to a large table for assembling weekly packets
- An accessible private conference room

II. Assistant Town Manager / Personnel Manager – This office serves two main functions. As Assistant Town Manager, this office provides assistance to the Town Manager in carrying out the Town’s day-to-day executive administrative duties. This office is further responsible for heading most special projects that the Town undertakes. As Personnel Manager, the responsibilities of this office include job postings, hiring, employee orientation, competitive bargaining issues and contracts, making adjustments to the Classifications & Salaries plans, and addressing grievances. This office employs 1 Assistant Town Manager and 1 part-time (30 hrs / wk) Administrative Assistant. An additional part-time administrative assistant is needed.

Space Needs Summary:

- Additional active and permanent storage space
- More organized dead storage space

III. Town Counsel – This department is responsible for all of the town legal issues. The Town Counsel works closely with the Town Manager. This office staffs 1 Town Attorney and 1 Administrative Assistant.

Space Needs Summary:

- Additional file storage space

IV. Board of Selectmen – As the executive body in charge of the Town, the Board of Selectmen is responsible for setting policy and executing most contracts. The Board appoints the Town Manager, and works closely with the Town Manager to carry out policy directives. Also with the Town Manager, the Board is responsible for the review of site plans for development in Sudbury. Although this is typically a responsibility of the planning board, the Board of Selectmen has this responsibility under the Sudbury Zoning By-Laws. The Board does not presently have office space in the Parsonage. The Town Manager’s administrative assistant at the Parsonage conducts the administrative functions for the Board. The Recording Secretary for the Board currently works out of her home. A small office space / workroom separate from the large meeting hall for the Board members to meet and store their materials is needed.

LORING PARSONAGE PROGRAM ANALYSIS SUMMARY REPORT

ROOM #	SPACE DESIGNATION	CURRENT SF	NECESSARY SF
<u>BASEMENT LEVEL</u>			
001	OPEN BASEMENT*	425 SF	425 SF
002	MECHANICAL ROOM*	590 SF	590 SF
	SECONDARY STAIRWELL*	47 SF	47 SF
<u>FIRST LEVEL</u>			
100	ENTRY VESTIBULE*	40 SF	40 SF
101	ADMINISTRATIVE ASSISTANTS	291 SF	350 SF
102	TOWN MANAGER	217 SF	217 SF
102A	STORAGE	13 SF	20 SF
103	VESTIBULE / STORAGE	19 SF	19 SF
104	STORAGE	75 SF	75 SF
105	TOWN COUNSEL	265 SF	300 SF
106	UNISEX TOILET ROOM*	62 SF	0 SF
NEW	MEN'S TOILET ROOM	0 SF	50 SF
NEW	WOMEN'S TOILET ROOM	0 SF	50 SF
107	VESTIBULE / STORAGE	26 SF	26 SF
108	KITCHEN*	36 SF	100 SF
109	VOLUNTEER OFFICE	178 SF	300 SF
110	PARLOR*	280 SF	280 SF
NEW	BOARD OF SELECTMEN WORK ROOM	0 SF	200 SF
	CENTER STAIRWELL*	32 SF	32 SF
	SECONDARY STAIRWELL*	36 SF	36 SF
<u>SECOND LEVEL</u>			
200	LANDING*	41 SF	41 SF
201	ADMINISTRATIVE ASSISTANTS	291 SF	350 SF
202	ASSISTANT TOWN MANAGER	216 SF	216 SF
203	STORAGE	67 SF	67 SF
204	TELECOM CLOSET*	6 SF	6 SF
205	STORAGE	303 SF	350 SF ¹
206	STORAGE	114 SF	0 SF ¹
207	STORAGE	204 SF	0 SF ¹
208	CONFERENCE ROOM*	280 SF	300 SF
	CENTER STAIRWELL*	31 SF	31 SF
	SECONDARY STAIRWELL*	47 SF	47 SF

CURRENT SF TOTAL

4,232 SF

NECESSARY SF TOTAL

4,565 SF

ADDITIONAL SPACE REQUIRED TO MEET NEEDS

333 SF

* SPACES SHARED BY ALL BUILDING OCCUPANTS.

¹ EXISTING STORAGE IS SPREAD AMONG SEVERAL SMALL CLOSETS AND ROOMS BUILT AS PART OF THE PARSONAGE. EFFICIENCY COULD BE IMPROVED THROUGH CONSOLIDATION OF STORAGE AREAS AND INSTALLATION OF APPROPRIATE RACKS / SHELVES.



E. HELEN
SHEPHERD

See 1950 Town Report

Folder

THE LORING PARSONAGE

(from original drawing by Richard B. Snow)

By Les Hall

The 311th

SEVERAL

FOR THE YEAR EN

DOB of Dr. Loring
4/6/82
1701 Grad. Harvard

Situated next door to the Sudbury Town Hall, this fine, old structure was built about 1730 by the Rev. Mr. Israel Loring, Sudbury's first minister to the "west parish." It was to be his home while preaching in the nearby New Meeting House. Two hundred and one years later, in June 1931, the town purchased the "Parsonage" property from the Haynes' family, as a site for the new Town Hall, with the parsonage building to serve as the hall custodian's home and meeting rooms for the local fire department.

The Rev. Loring was a conspicuous clergyman in the Massachusetts Bay Colony. He was ordained in Sudbury (east of the river) on November 20, 1706. And when the town was divided into an east (now Wayland) and west (now Sudbury) parish or precinct, in 1723, he chose to preach in the new West Meeting House. On March 2, 1772, sixty-six years after his ordination and in his ninetieth year, he fell ill after offering prayers at a town meeting. He was brought home on a sleigh and seven days later he breathed his last.

Some years after its occupation by Dr. Loring, historians tell us, the house was owned by Walter Haynes and used as a tavern. And it is said a partition divides now what was the second floor ball room. And stage coaches en route to Lancaster stopped here for rest and refreshments and the uncommon hospitality of the tavern keeper. Both Walter Haynes and his son Elisha W. were sextons of Sudbury, and the latter was for many years the "tax-gatherer."

The building underwent some alterations after the Civil War, when the roof was changed from hip to gable. Otherwise, the general outline of the Loring Parsonage remains pretty much as it was in pre-Revolutionary days.

Town of Sudbu

Murphy & Snyder,

1960
Town Report

THE HISTORIC STRUCTURES COMMISSION

The Loring Parsonage has been partially restored and its exterior appearance now displays the refined taste of the pre-Revolutionary architecture. The windows of proper 12 over 12 construction replace the later ones of 6 over 6; which had fallen into a bad and hopeless state of repair. Other improvements include restoration of a fine Middlesex county, Georgian doorway with correct hardware. The entire building has been scraped, railed and painted with two coats of lead in oil paint in an appropriate 18th century color which closely approximates an earlier paint discovered in test scraping. Future improvements will include the removal of the shed extension and proper landscaping.

Resulting from a thorough and careful study of proposed uses for the partially restored "Loring Parsonage" the Commission on Historic Structures has the following recommendation:

- A. Vacating present occupants in near future to town's convenience.
- B. Restoring interior ground floor to function as a practical headquarters for small civic groups.
(See proposed Plan)
- C. 1. Area designated as historical society will be restored by them.
- 2. Area as Commission will be headquarters for consultation service free of charge to Sudbury residents interested in proper restoration of privately owned buildings within the Community. Members of Commission will extend this service to enhance the traditional environment of Historic Sudbury.
- 3. Meeting area to be restored with meeting house benches and colonial lectern and will be available to various groups as Ladies Club, Garden Club and small group meetings of 40 or less etc., where atmosphere background is desired.

It is impossible for the Commission to evaluate potential expenditure under its present occupancy plan and we suggest that we submit detailed cost account at time of vacancy.

Also being considered is the possibility of housing such groups as the planning board, etc. in second floor projection.

ROBERT DESJARDIN
RICHARD HILL
SAMUEL REED

D LANCASTER ROAD

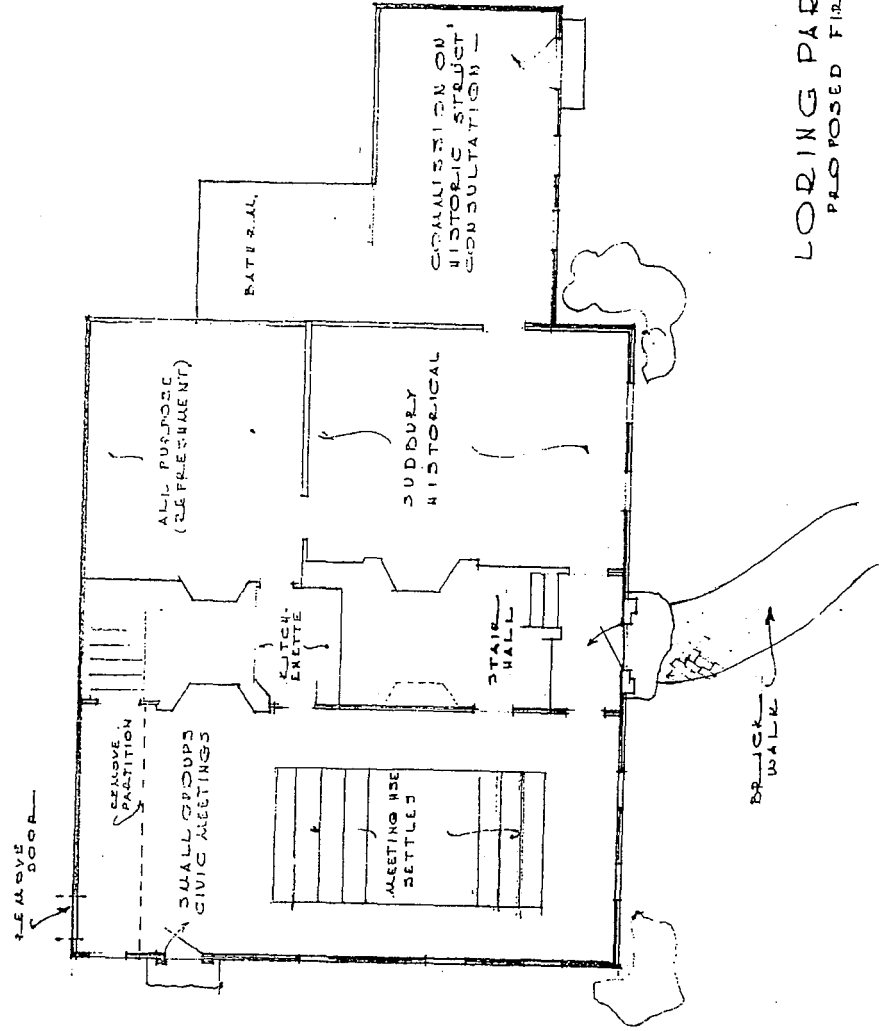
.....	\$6,000.00
.....	\$1,462.55
.....	352.45
.....	35.76
.....	255.50
.....	1,275.24
.....	570.80
.....	18.00
.....	108.06
.....	273.12
.....	759.30
.....	<hr/>
.....	\$5,110.78
.....	<hr/>
.....	\$889.22

FFIC LINES

.....	\$1,500.00
.....	\$36.00
.....	147.80
.....	1,197.40
.....	<hr/>
.....	\$1,381.20
.....	<hr/>
.....	\$118.80

AFTER WATER MAINS

.....	\$15,000.00
.....	\$154.50
.....	<hr/>
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.....	\$14,845.50



LORING PARSONAGE
PROPOSED FIRST FLOOR
PLAN.

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**REPORT OF
HISTORIC DISTRICTS COMMISSION**

Sudbury Historic Districts Commission 1963. A chairman, vice-chairman and a study of the Act was made to assist the Commission. It was intervals in order to arrive at some to be adopted by the Commission.

Concord Historic District Commission guest on May 8, and gave us the information and advice.

Money was spent in an effort to determine propriateness." No easy formulas were reached in the Commission were the result of consideration for the circum-

made after public hearings, and awards were awarded to:

Sh, at Sudbury Center, for a Sun-

1, on Concord Road, for a new brick house.

Concord Road, for a dwelling.

requiring hearings, were reviewed, and approved.

Satisfaction, that in all cases the Commission's operative in adopting suggestions from the Commission, resulted in more

Respectfully submitted,

- EDWIN G. JOHNSON, Chairman
- JAN D. KING, Secretary
- BERT DESJARDIN
- LEVIN B. SMITH
- B. WARREN

**HISTORIC DISTRICTS COMMISSION
SUDBURY, MASSACHUSETTS**

January 9, 1964

Town Accountant
Town Hall
Sudbury, Massachusetts
Dear Sir:

The following expenditures were made by the Historic Districts Commission during 1963:

Three (3) newspaper notices of public hearings @ \$5.00/notice	\$15.00
Stationery	1.20
Total	\$16.20

Respectfully submitted,
Historic Districts Commission
EDWIN G. JOHNSON, Chairman

Approved:
CLIFTON F. GILES
Town Accountant



1961 Town Report

COMMISSION ON HISTORIC STRUCTURES

The Town of Sudbury is fortunate indeed to be able to express its pride through the restoration of The Loring Parsonage. This building of early 18th century origin is a living memorial to the town's historic and civic contribution.

The building, now nearly complete, has been enhanced by this year's efforts with the restoration of the kitchen ell. This room has been replastered in the early manner with exposed hewn timbers, 2 board wainscot and primitive mantle detail. The large fireplace and cooking ovens have been reopened and no restoration was necessary. The walls are finished in oyster white-wash and the woodwork in Wythe House gold from historic Williamsburg, in keeping with the provincial aspects of the room. The furnishings consist of dark green Windsor chairs, gate leg table and wooden chandelier with painted turning and black iron arms. This room will be used as the headquarters of the Historic District Commission which oversees the preservation of all domestic and civic buildings in the center.

Also completed was the reconstruction and decorating of the large west room on the second floor. This room is the office and detailing department of the Town Engineer.

The major restoration, however, was featured around the large west room on the first floor which was originally occupied by the Town Engineer for several years. The new room has fine restored panelling and secondary woodwork finished in gray-green with whitewashed walls. The feature wall has a fine fireplace and cooking oven which was discovered under layers of later additions. This room is presently being used by the Sudbury Health Survey in a government sponsored program. At the completion of the program the room will be used as a meeting room for small public hearings and activities.

Two new rest rooms have been added in the center of the building to fulfill civic prerequisites.

The entire building has been completely improved in its heating capacity and a new furnace and rear cellar entrance have been installed.

Presently occupying the building are the Welfare Board, Planning Board, Conservation Commission, Historic District Commission, Town Engineer and the Sudbury Health Survey. Also, a large community parlor is constantly used by small study committees and civic groups. The building, in addition to being an asset to the center, does much to alleviate restricted quarters in the Town Hall.

Hosmer House has undergone some minor repairs with attention being concentrated on a complete replacement of the floor and foundation of the Concord Road porch.

It has been a source of constant encouragement to this Commission to see the public interest and support. The Loring Parsonage is open daily and is engaged in widely diversified endeavors to serve the citizens of Sudbury more adequately.

Everyone is invited to visit the building and share in its present and past history.

ROBERT DESJARDIN
SAMUEL REED
RICHARD HILL

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BID OPENING - Loring Parsonage Roof/Siding 5-9-08

	Company	Base Bid	#1 Paint (New)	#2 Paint (Bldg)		
2	Lumas	\$ 73,988	\$ 7,200	\$ 9,500		
	Rondeau	\$ 107,960.60	\$ 27,658.00	\$ 39,258.00		
3	Murray Brothers	\$ 86,935	\$ 5,720	\$ 7,562		
	K&S Builders	\$ 113,900 118,900	\$ 15,900	20,900		
1	Quality Contracting	\$ 69,222	\$ 5,161	\$ 19,096		

Call Him

6.2.08 Sent Bid + Bid deposits or Bond to Elaine
in order for her to send Rejection Notices of All Bids

- Quality / check 3211.10
- murray Bond 5%
- Lumas Bond 5% \$ 7950
- K+S Bond 5%
- Rondeau check 5400

E) 2010 Exterior Preservation Project Plans



ABBREVIATIONS	
#	AT THE RATE OF
A/C	AIR CONDITIONING
A.C.T.	ACOUSTIC CEILING TILE
A.F.Z.	ABOVE FINISH FLOOR
AW	AIR WASHER UNIT
A.Z.M.	ALUMINUM
A.M.E.D.	ARCHITECTURAL
ARCH	ARCH
B.S.	BUILDING
B.S.D.	BRIQUETTES
B.T.U.	BRITISH THERMAL UNIT
C.A.V.	CABLE TELEVISION SYSTEM
C.C.T.V.	CLOSED CIRCUIT TELEVISION SYSTEM
C.G.	CORNER GUARD
C.I.	CANT IRON
C.J.	CONTRACT JOINT
C.L.	CENTER LINE
C.L.G.	CELLING
C.M.	CONCRETE MASONRY UNIT
C.M.C.	CORNER M
C.M.F.	CORNER M
C.M.T.	CORNER M
C.M.U.	CORNER M
C.M.V.	CORNER M
C.M.W.	CORNER M
C.M.X.	CORNER M
C.M.Y.	CORNER M
C.M.Z.	CORNER M
C.N.	CORNER N
C.N.C.	CORNER N
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C.Z.X.	CORNER Z
C.Z.Y.	CORNER Z
C.Z.Z.	CORNER Z



LORING PARSONAGE

**Town of Sudbury
288 Old Sudbury Road
Sudbury, MA 01776**



SUMMARY OF SCOPE OF WORK & ALTERNATES

Windows (See Window Schedule)
To be restored, painted. Lead paint to be removed.

A. (25) Double Hung windows, 32 X 63
B. (9) Double Hung windows, 30 X 52
C. (4) Double Hung windows, 27 X 38
Total = 37
Alternate: Windows deleted if painted only.

Doors:
1 Door to be removed. Opening to be closed and studded over.
2 Doors to be restored.
1 New door (per ADA requirements).
1 New historic reproduction for front entry.
Lead paint to be removed.
Total = 5

Exterior Trim:
Existing trim to be restored and painted. Lead paint to be removed.
Parts not able to be repaired will be replaced with stock components.

- Gutter: Existing aluminum gutter and downspouts to be removed. Cedar crown molding to replace gutter.
- Crown Molding: The existing crown moldings to be repaired and replaced as needed.
- Modillion brackets: The soffits modillion brackets are missing in the rear entirely. The count for both the front (5) and the rear (100) are needed to complete the soffit restoration.
- Corner Boards: All corner boards to be replaced.
- Front Entry: Pediment, pilasters, sills to be restored as necessary. Flashing of weather table installed with lead coated copper directly above the doorway.

ALTERNATES:
W1: Windows deleted and painted only.
W2: Replace and stain siding on North and East side only. Stain south and west sides.

Drainage: R.I.C.
To be completed by Sudbury Department of Public Works. See B/A3, V/A1.

Roof:
* To be reroofing with cedar shingles. See 3/A2, 4/A2.

Siding:
* To be replaced with cedar clapboards and stained. See 3/A2, A3. Alternate:
* Replace and stain siding on North and East side only. Stain south and west sides.

Sill Plate in Basement:
* Two damaged areas to be replaced. See 3/A1.

ADA Entry:
* Regrade path to 1:20 for ADA entry. Lay brick path to match front walkway. Midam door opening for ADA door. See A2.

Insulation:
* Blow cellulose insulation in attic.



CLIENT
TOWN OF SUDBURY
PERMANENT BUILDING COMMITTEE
HISTORIC COMMISSION
HISTORICAL DISTRICT COMMISSION

GENERAL CONTRACTOR

ARCHITECT
E.R. RACEK ASSOCIATES
180 CANAL ST., BOSTON, MA 02114
TEL 617.367.0785, FAX 617.723.1418

PRESERVATION CONSULTANT
Ralph Buonopane
rbuo@comcast.net

DRAWING LIST

#	Drawing Title	Rev. #	Rev. Date
T1.00	TITLE SHEET		
A1.0	SITE PLAN, 1ST FLR PLANS		
A2.0	ELEVATIONS		
A3.0	SCHEDULES, DETAILS		

1	COLOR CHANGE
2	WALL TYPE INDICATOR
3	SECTION INDICATOR
4	ELEVATION INDICATOR (STANDARD)
5	ELEVATION INDICATOR (ALTERNATE)
6	REVISION NUMBER INDICATOR
7	ROOM NAME & NUMBER
8	ROOM NAME & NUMBER W/ ROOM FINISHES
9	WINDOW INDICATOR
10	DOOR NUMBER INDICATOR
11	FINISH MATERIAL INDICATOR
12	SECTION INDICATOR
13	SECTION NOTE INDICATOR
14	DETAIL REFERENCE INDICATOR
15	HEIGHT ELEVATION

DRAWING ISSUES	
DATE	ITEM

JOB # 0000-00

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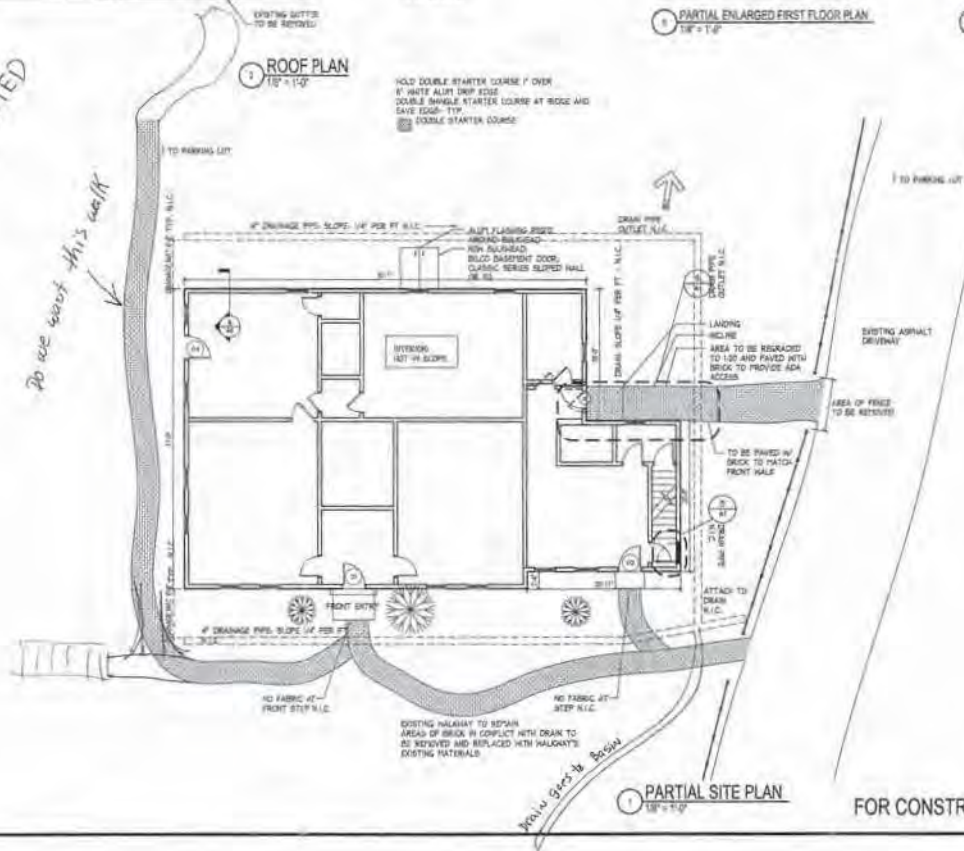
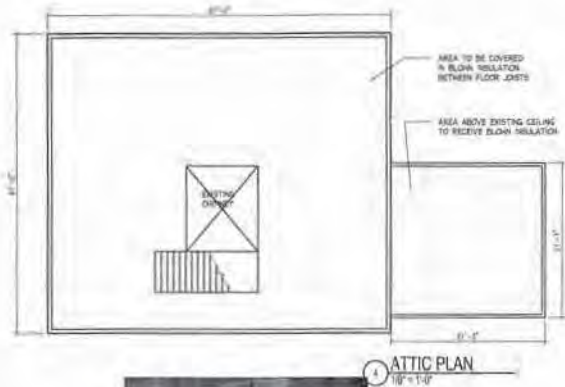
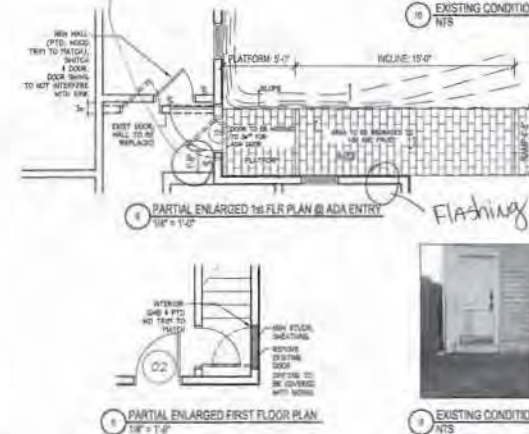
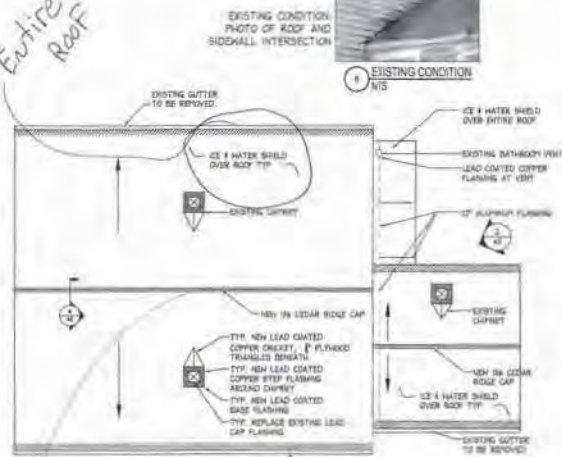
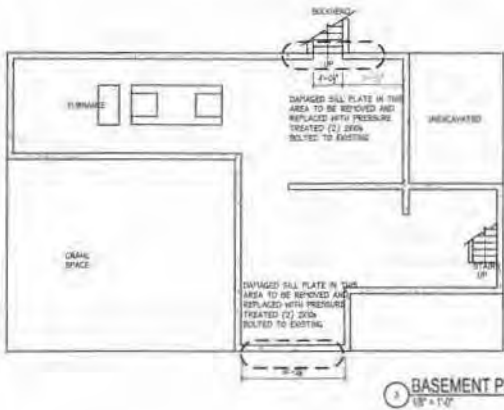
E.R. RACEK ASSOCIATES
180 CANAL ST.
BOSTON, MA 02114
TEL: 617.367.0785 FAX: 617.723.1418

TITLE SHEET

BY N.T.S. BY JR
SCALE 2.25.09 SCALE 1:100

T1.00

FOR CONSTRUCTION



Entire Roof

VENTED

Do ice waif this walk

Min 12 inches

Flashing

29.09	HISTORIC DC
13.09	PBC/HISTORIC DC
DATE	TYPE
DRAWINGS ISSUED TO	

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80 CANAL ST.
SUDBURY, MA 01544
WWW.ERRA.US.COM

P: 617-341-6785
F: 617-723-6138
MR@ERRA.US.COM

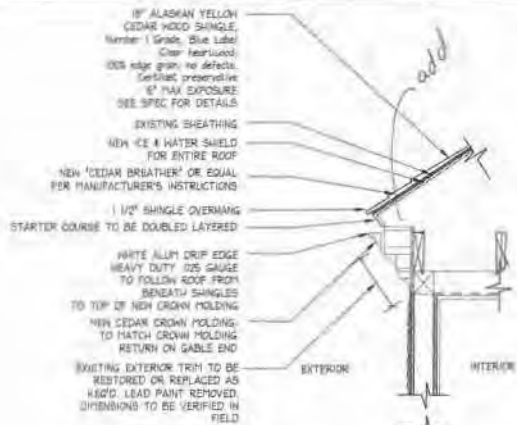
PROJECT NAME:
Loring Parsonage
Town of Sudbury
288 Old Sudbury Road
Sudbury, MA 01776

SHEET TITLE:
ROOF PLAN
BASEMENT PLAN
SITE PLAN
PARTIAL ENLARGED FLOOR PLANS

NO:	AS SHOWN	DATE:	DATE:
DATE:	2.25.09	CHECKED BY:	DATE:

A1

FOR CONSTRUCTION

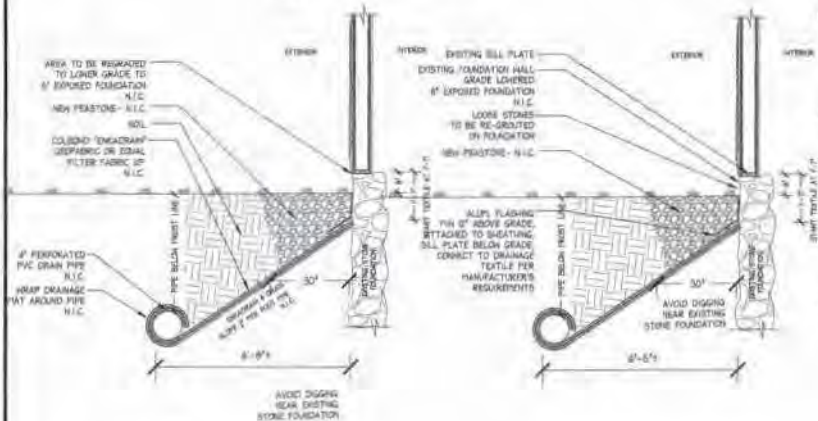


NOTE: SITE VISIT REQ'D BY CONTRACTOR TO VERIFY CONDITIONS PRIOR TO

1 TYPICAL ROOF SECTION
1/2" x 1/2"

- NO INSULATION REQ'D IN EXISTING WALLS, TYP.
- EXISTING SHEATHING
- TYVEK HOMEWRAP OR EQ.
- 2" x 4" RED CEDAR CLAPBOARDS, 8" EXPOSURE, STAINED BOTH SIDES, JOINTS STAGGERED, 45 DEGREE SCARF JOINT, MAX LENGTH 4'-0" STRAIGHT EDGE PROFILE (SEE SPEC FOR DETAILS)

2 TYPICAL WALL SECTION
3/8" x 7/8"



1 DRAINAGE MAT DETAIL N.I.C.
1/2" x 1/2"

TO BE INSTALLED BY SUDBURY D.P.W.
TO BE COMPLETED ON NORTH AND SOUTH ELEVATIONS

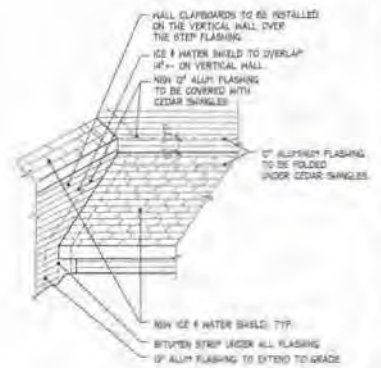
WINDOW SCHEDULE									
MARK	SIZE		Glass	Sash	SP	Comments	Manufacturers	Glazing	Finity
	WIDTH	HEIGHT							
1	4'-0"	6'-0"	6MM	6MM	ALL				
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96	4'-0"	6'-0"	6MM	6MM	ALL				
97	4'-0"	6'-0"	6MM	6MM	ALL				
98	4'-0"	6'-0"	6MM	6MM	ALL				
99	4'-0"	6'-0"	6MM	6MM	ALL				
100	4'-0"	6'-0"	6MM	6MM	ALL				

ALL WINDOWS/TYP TO BE ROUPED AND PAINTED
LEAD PAINT TO BE REMOVED, OUTSIDE ONLY.
ALTERNATE # - LEAD PAINT TO BE REMOVED, WINDOWS TO BE PAINTED

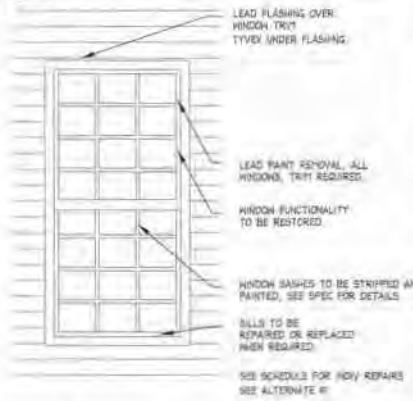


3 ROOF RIDGE SECTION
1/2" x 1/2"

DOOR SCHEDULE					
MARK	SIZE		GLAZING	HARDWARE	NOTES
	WD	HGT			
1	2'-0"	6'-6"	EXISTING TRANSOM TO BE REMOVED TO REVEAL ORIGINAL HISTORICAL CONDITION	REUSE EXISTING	REGLAZE WITH HISTORICAL REPRODUCTION (GERMANIAN COLONY) - SEE SPEC FOR DETAILS. LOCK, TRANSOM & TRIP TO BE REMOVED AND RESTORED
2	2'-0"	6'-6"	---	REUSE EXISTING	DOOR TO BE RESTORED, SEE SPEC FOR DETAILS
3	2'-0"	6'-6"	---	---	NEW ADA DOOR, EXISTING OPENING TO BE REVEALED FOR NEW 3/4\"/>



4 ROOF TO SIDEWALL AXON AT WEST ELEVATION
1/2"



5 TYPICAL WINDOW ELEVATION, (SEE ALT #1)
1/2" x 1/2"

FOR CONSTRUCTION

DATE: 01/11/2011

DRAWINGS ISSUED TO:

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ERRA

E. R. RACEK ASSOCIATES
ARCHITECTURE, PLANNING, INTERIORS
80 CANAL ST. # 07-367-0783
SUDBURY, MA 01876 # 978-725-1118
WWW.ERRA.CO

PROJECT: Loring Parsonage
Town of Sudbury
288 Old Sudbury Road
Sudbury, MA 01776

DATE: 01/11/2011

**SCHEDULES
DETAILS**

SHEET: 45 SHOWN	SHEET NO: 1
SHEET: 2,25 OF	TOTAL SHEETS: 100

A3

F) Massachusetts Historical Commission Inventory Form B



Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	SUD.67
Historic Name:	Loring, Rev. Israel Parsonage
Common Name:	Sudbury Town Office
Address:	
City/Town:	Sudbury
Village/Neighborhood:	Sudbury Center
Local No:	6
Year Constructed:	C 1710
Architect(s):	
Architectural Style(s):	Georgian
Use(s):	Business Office; Other Governmental or Civic; Parsonage; Single Family Dwelling House; Tavern
Significance:	Architecture; Commerce; Religion
Area(s):	SUD.A: Sudbury Center Historic District SUD.J: Old Sudbury Historic District
Designation(s):	Local Historic District (2/18/1963); Nat'l Register District (7/14/1976)



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

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Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on:

Wednesday, January 08, 2014 at 4:54: PM



n Arab. ACTION Hi 17.
SUDBURY, MASS. NEB 17.19.76
 et address OLD SUDBURY RD
 e "LORING PARSONAGE" LTD -
 rinal use PARSONAGE #6 NR
 sent use PUBLIC OFFICES P1-SUB LINT
 sent owner TOWN OF SUDBURY
 n to public YES
 e 1710 Style EARLY GEORGIAN
 rce of date HUDSON'S HISTORY
AND ARCHITECTURAL RESEARCH

MUSIC _____ Development of town/city _____ Architect _____

3. CONDITION: Excellent Good Fair Deteriorated Moved Altered Added _____

4. DESCRIPTION

FOUNDATION/BASEMENT: High Regular Low Material: STONE

WALL COVER: Wood CLAPBOARD Brick Stone Other _____

ROOF: Ridge Gambrel Flat Hip Mansard WAS HIP IN 18th CENTURY
 Tower Cupola Dormer windows Balustrade Grillwork NONE

CHIMNEYS: 1 2 3 4 Center End End interior Cluster Elaborate Irregular

STORIES: Y 2 3 4 ATTACHMENTS: Wings Ell Shed Dependency KITCHEN WING CA 1800

PORCHES: 1 2 3 4 Portico NONE Balcony Recessed: NONE

FACADE: Gable end: Front/Side Ornament: CLASSICAL ENTRANCE FINE ROOF CORNICE
 w/CLASSICAL CONSOLS.

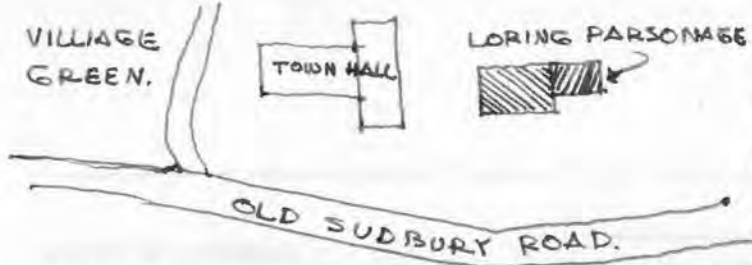
Entrance: Side Front Center/Side Details: △ PEDIMENT, FLUTED PILASTERS GLASS
 TRANSOM.

Windows: Spacing: Regular Irregular Identical/Varied 12 MAIN HOUSE

Corners: Plain Pilasters Quoins Cornerboards

OUTBUILDINGS NONE

5. Indicate location of structure in relation to nearest cross streets and other buildings
 6. Footage of structure from street
 Property has _____ feet frontage on street



Recorder Robert Desjardin.

For SUDBURY HISTORICAL SOC.

Photo _____

Date _____

NOTE: Recorder should obtain written permission from Commission or sponsoring organization before using this form.

SEE REVERSE SIDE

RELATION OF SURROUNDING TO STRUCTURE

Neighboring Structures ² ¹

Style: Colonial Federal Greek Revival Gothic Revival Italian Villa Lombard Rom.
Venetian Gothic Mansard Richardsonian

Type Buildings: ¹ TOWN HALL (REPRODUCTION) ² FEDERAL BRICK END. Conditions: Excellent Good Fair Deteriorated

Use: ² Residential ¹ Commercial Religious Proximity: ¹ ADJACENT. ² DIAGONALLY ACROSS STREET.

Landscape Features: Agriculture Open Wooded Garden: Formal/Informal

Predominant Features LARGE LAWN w/ SPARSE APPROP. PLANTINGS.

Landscape Architect _____

GIVE A BRIEF DESCRIPTION OF HISTORIC IMPORTANCE OF SITE (Refer and elaborate on theme circled on front of form)

REV. ISRAEL LORING BEGAN PREACHING IN SUDBURY SEPT 16, 1705 ORDAINED PASTOR 1706 (NOW WAYLAND) HE CAME TO WEST SIDE OF RIVER 1722. FOR A WHILE LIVING IN A HOUSE 1 MILE NORTH OF CENTER. HE - SUBSEQUENTLY MOVED INTO PARSONAGE A CENTRE IT IS MY OPINION THAT THIS HOUSE WAS NOT BUILT AT THIS TIME BUT WAS OF EARLIER DATE - DURING RESTORATION. A SMALLER HOUSE WAS DETECTED OF TRADITIONAL 2 ROOM PLAN AS HAVE BEEN ENCASED INTO LARGER MORE FORMAL MID-18TH CENTURY DEVELOPEMENT. THE ^{HOUSE} CONTAINS DETAIL SHOWING INTERESTING SEQUENCE FROM EARLY PANELLING TO LATE FEDERAL. ALL GREEK REVIVAL + VICTORIAN INFLUENCES. HAVE BIBLIOGRAPHY AND/OR REFERENCE BEEN REMOVED. AFTER REV. LORING'S DEATH. IN 1772 THE PARSONAGE WAS BOUGHT BY WALTER HAYNES AND USED AS A TAVERN. IT IS PRESENTLY USED + OWNED BY TOWN OF SUDBURY.

HUDSON'S HISTORY OF SUDBURY

RESTRICTIONS _____

Original Owner: _____

Deed Information: Book Number _____ Page _____, _____ Registry of Deeds

G) Sudbury Historical Society Print Communications



The Sudbury Chronicle



Sudbury Historical Society, Inc.



Dear Members and Friends,

The Sudbury Historical Society has been searching for a space that would be appropriate for a history center/museum. Increasingly, the Loring Parsonage has appeared to be that place. Adjacent to Town Hall on Route 27, it is in the heart of Sudbury's Historic Town Center. On December 3rd, the Selectmen gave their unqualified approval of the Society commissioning a study of the repurposing of the Loring Parsonage for use as its history center/museum. The Sudbury Foundation has provided funds to partially pay the cost of the study. The Society is

now soliciting proposals from qualified architects to determine what will be required to make the Parsonage structurally sound, meet ADA requirements, and create a functional public exhibit/display space. It is probable that the footprint of the existing building will need to be increased, and part of this study will be to determine the extent of this resizing and its configuration.

The Loring Parsonage was built in 1730 as a home for Israel Loring—the first minister to serve the “west-side” residents of Sudbury. The division into a west side parish was a major change for the Town of Sudbury (which at that time encompassed the present-day towns of Wayland and Sudbury). The division meant there would be two ministers and two meeting houses. The new meeting house was built in 1723 on the site where Sudbury's First Parish stands today. In August of that year, the first Town Meeting was held in the new west meeting house.

Town Meetings would alternate between the meeting houses until 1780, when the two districts officially separated into two towns—East Sudbury and West Sudbury. Reverend Loring resided in the Parsonage until his death in 1772.

Over the following 150 years, the building served as a farm house and at one time a tavern. In 1931, it was purchased by the Town of Sudbury and was used for many years as office space for town departments including the Board of Selectmen. It is no longer used for that purpose.

The Sudbury Historical Society is very pleased by the prospect of repurposing this beautiful historic building and the opportunity to bring to life Sudbury's rich historical past in a site surrounded by other historical entities in the Sudbury Town Center.

Sincerely,
Ruth Griesel, President

Sudbury Center Tour Returns

In response to great interest and enjoyment of the guided tours of Sudbury Center that were done in September of 2011, the Historical Society, the League of Women Voters and the Historic Commission will be offering the tours again in May as a 375th Anniversary event.

Antique Home Group

It takes a certain kind of person to buy and love an antique home. Plans are being made for a group of owners of old homes to have social gatherings. For information call the Society at 978-443-3747 or e-mail shs-membership@verizon.net. Information on old homes may be found at <http://mhs-macris.net>, which is searchable by street name or keyword.

Parade Float

The Society is looking forward to making a float for the Fourth of July Parade. The current idea is to create a replica of the bow of the 1638 sailing ship Confidence and have “Sudbury's Puritan Settlers” waving from it. Beth Gray-Nix is coordinating the planning. To help plan or build the float call the Society at 978-443-3747.

Telephone and Fax: 978-443-3747

Email: sudburyhist01776@verizon.net

Web: www.sudbury01776.org

Sudbury Historical Society, Inc., 322 Concord Rd., Sudbury MA 01776

Like us on Facebook



Keeping the Spirit of Sudbury's Past Alive.

Officers and Trustees

Ruth Griesel, President

Esther Mann,
Vice President

Debbie Keeney,
Treasurer

Stewart Hoover,
Secretary

Joe Bausk

Betsey Cutler

Peggy Fredrickson

Sally Purrington Hild

Anthony Howes

Ursula Lyons

Ellen Morgan

Elin Neiterman

Beth Gray-Nix

Nancy Somers

Lee Swanson,
Curator/Archivist

Reverend Edmund Brown's Library: A Concert of a Puritan Minister's Musical Collection



As part of Sudbury's and Wayland's 375th Anniversary celebration, the Sudbury Historical Society will present a concert in honor of one of the founders and the first minister of the Sudbury Plantation, the Reverend Edmund Brown. He was known for being a good-standing Puritan minister and for being a wealthy citizen of the plantation, possessing the largest amount of property in the plantation. Surprisingly, he was also an amateur musician, traveling to the colony with a bass viol and his library of 180 books – some of which were certainly music books.

Since records of exactly what books he had no longer exist, the concert attempts to recreate the books of music that would have been in the Rev. Brown's library. The selections were based on popular pieces for viols and church music in 16th-17th century England, featuring pieces by Byrd, Gibbons, Kirbye, and more.

The concert will be performed on period instruments by 4 members of the Cambridge-based viol consort "Long and Away" and soprano Sarah Orlovsky. It will be on Sunday April 6, 2014, 3 pm at First Parish of Sudbury, 327 Concord Rd. Admission is \$20 at the door. The First Parish Meeting House is handicap accessible.

This program is supported in part by a grant from the Sudbury Cultural Council, a local agency which is supported by the Massachusetts Cultural Council, a state agency.



Massachusetts Cultural Council

A Peek at the Past

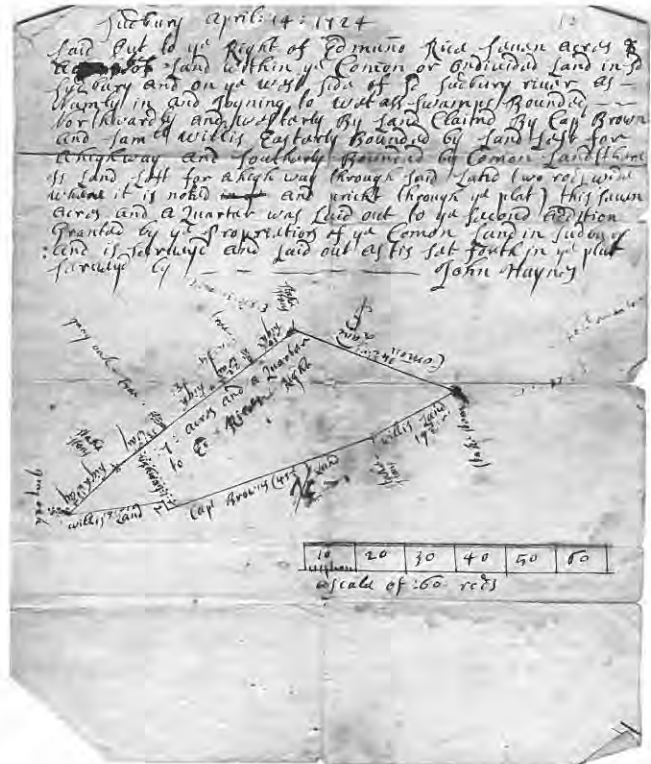
In one of the older items recently accessioned, we see a hand drawn map signed by John Haynes in 1724. This document was found with other miscellaneous records in a collection originally indexed by former town historian Forrest Bradshaw.

From the Accession Record for this Archive:

The document on the right measures 6 1/4" by 8" and is a handwritten survey with a hand-drawn map. It describes land on the west side of the Sudbury River in and adjacent to the Wet Ass Swamp. The land is bounded by land claimed by Captain Brown, Samuel Willis, and common land. The land is laid out to the right of Edmund Rice and is 7 1/4 acres. It is signed by John Haynes.

The plot drawing shows abutters as well as the placement of a highway, with a scale of 60 rods.

On the reverse side is written that the proprietors of Common Land in Sudbury concur with this grant and is signed by John Haynes, Moderator, dated June 15, 1724. There is also the signature of Edmund Rice and the date 1724.



SHS volunteer Daphna Cox recently began accessioning a trove of Haynes memorabilia from the Rnehult family. The collection is notable because of its many points of connection to one branch of this old Sudbury family. The collection includes photographs, books, and a tiger maple lap desk containing letters, deeds, death certificates, and other documents dating from the 18th to the 20th century.

In early January 2014, Daphna accessioned Grange awards for Herman Austin, bestowed in 1965 for 50 years as a Grange member. Herman farmed at 113 Haynes Road, which remains a working farm, Siena Farm, now owned by the Kurth family. The collection also includes an 1897 photograph of a young Herman and his family in front of their home. Herman's mother, Angeline Haynes Austin, was a daughter of Francis Haynes, who died in 1912. A map and probate documents show that she and two siblings owned substantial tracts of land near Wash Brook. This land is in the area of Meadow Drive to Wildwood Ln. and Wash Brook Road off Old Lancaster Rd. The family also owned land in North Sudbury near present-day Willis Road.

In addition to the legal documents, Daphna found personal items such as a notebook of "Angie Haynes, aged 8 years," with vocabulary words like "promontory" and "egregious" written in neat cursive – it's hard to imagine these words tripping off the pen of a current 3rd grader! Many more items await accessioning, like a mink muff, a Victorian mourning hair broach, and a geography textbook from 1796. Daphna is excited to research and document these objects, and help create a narrative history for this branch of the family.



**TRUSTEE
SPOTLIGHT**

Nancy Somers

I have a love of history and a strong connection to Sudbury, my home of over 40 years.

When I first came to town, I was initially involved in Girl Scouts, including being a troop leader and then the neighborhood chairman for the town. I joined the Society in 2001 when Kirsten Van Dyke was the president and she recommended me for a trustee position.

The Sudbury Historical Society is a great organization to be involved with. I am happy to be a trustee and I love to share the history of our town with our neighbors.

The programs are excellent. I always learn new things about my town and I find the people who helped shape the town to be interesting.

I also enjoy the friendships in the group and am impressed with all the volunteers who work so hard. I am most excited about our plans to have a history center/museum for the town. I think it will benefit the residents of Sudbury, young and old alike, by giving them a place to go to learn about the wonderful history of Sudbury. Our society is working hard to make this a reality.

**FOUNDERS
CIRCLE**

Israel Loring Benefactors
(\$1000 or more)

Marilyn & Robert Ellsworth

John Goodnow Sponsors
(\$250)

June Allen

Edna & Bert Tighe

John Nixon Champion
(\$150)

Debbie & Terry Keeney

Peter Noyes Supporter
(\$100)

John Baggott

Joe & Jacqui Bausk

Ruth & Joseph Brown

James Evans

Peggy Fredrickson

Maurice Fitzgerald

Patricia & Michael Garrett

Ruth & Dick Griesel

Fay Hamilton

Kathy & Jeff Klinger

Margaret & Bruce Langmuir

Judy & Will Mack

Esther Mann

Ashley and Helen Milton

Betsy & John Nikula

Beth Gray-Nix

Patricia & John Pearson

Carole & Dave Pendleton

Mary & John Trubiano

Linda & David Wallace



**MEMBER
SPOTLIGHT**

Marilyn Ellsworth

When we moved here on July 3, 1976, I was homesick for New England. I grew up in Rumney, NH, a town of 800 at the foothills of the White Mts, where everyone in town was related and people seldom moved. History could easily be traced for generations. But by the time I moved to Sudbury, I had been on the road as a Navy wife for 8 years, as my husband was stationed in Bethesda, MD, and Oakland, CA.

I so missed New England with the stone walls, pastures, small general stores, and churches with white steeples on the town common. The first event we attended in Sudbury as a family was the 4th of July parade. History was all around us in the town center, and I knew that I had come "home". In 1976 I sewed up colonial costumes for myself and my daughters, and we had a wonderful time reliving history. I think for me, history informs the present. It's easy to trace back the love of our library and good schools to Sudbury's early history. It's also easy to see how much interest there has been in preserving our open space and historic houses and landscapes.

The Sudbury Historical Society has brought our history to life with its many programs and family and school activities. I am very excited about the possibility of a permanent museum and educational center. As Sudbury celebrates its 375th anniversary, I think many of our Sudbury residents will realize what a unique place we hold in the history of our Commonwealth.

SHS has 162 members and is growing daily.

Your membership expiration date is printed on your address label.

Telephone and Fax: 978-443-3747

Email: sudburyhist01776@verizon.net

Web: www.sudbury01776.org

Sudbury Historical Society, Inc., 322 Concord Rd., Sudbury MA 01776

Like us on Facebook



Facts and Figures

Researchers: In 2013, researchers and visitors have come from: Sudbury, Hudson, and Norwood, Mass.; Falcon Heights, Minn.; Carlsbad and Folsom, Calif.; Dearborn and Eaton Falls, Mich.; Pittsburgh and New Ringgold, Penn; Dallas, Tex.; Vernon, Conn.; Seattle, Wash; and Montclair, NJ. In addition, there were countless phone and web inquiries from near and far.

Volunteers: Volunteers logged 366 hours in November and 226 hours in December doing the work of the Society.

Collectables: During 2013 there were 87 groups of donations of archives, objects, photos, or books to the collections. They included a wide range of items, including:

A report card from 1865

A booklet on what to do in a hurricane

A Tercentennial Edition of the Sudbury Beacon

Documentation of the history of the Senior Tax bill from its origin to implementation.

A Sudbury Soil Test Kit found in Belford, New Jersey following Hurricane Sandy

The Four Seasons, four original paintings by Don Soule' that show the Grange Hall in each season.

Two US flags from 1846. One has 28 stars and the other has 29. The 28-Star Flag became the Official United States Flag on July 4th, 1846 when a star was added for the admission of Texas (December 29th, 1845). It lasted for only 1 year. The 29-Star Flag became the Official United States Flag on July 4th, 1847 when another star was added for the admission of Iowa (December 28th, 1846)

Programs: The fall 2013 Society programs were well attended.

The October program on Reverend Loring was enjoyed by many people, some related to the Loring Family.

The Tag Sale brought in over \$2,000 thanks to the excellent quality of donated items. People are already planning for a Tag Sale next year.

At the November *Fabric of Life* exhibit more than 65 people enjoyed guided group tours. The exhibit is still in place at the Town Hall. Group tours may be arranged or individuals may do a self-guided tour by appointment.

Genealogy 101, hosted with the Goodnow Library, brought 35 attendees.

The Musicians of the Old Post Road appreciated the Society's support on December 15th. In spite of the snowstorm the sanctuary at First Parish was full.

Mr. and Mrs. Claus hosted 42 children and many adults, who sang carols and gave gifts to Toys for Tots on December 22nd.

COMMUNITY PARTNERS

As of January 5, 2014

Israel Loring Benefactors (\$1000 or more)

Staples, Inc.

John Goodnow Sponsors (\$250 - 999)

Cavicchio Greenhouses, Inc.
Marlborough Savings Bank
TI Sales
Allegra

John Nixon Champion (\$150 - 249)

Choate Studio
The Keen Handyman
League of Women Voters of Sudbury
Lexus of Northborough
The Optical Place
Wingate at Sudbury

Peter Noyes Supporter (\$100 - 149)

J.P. Bartlett Co.
Sudbury Lumber Co.
Orchard Hill Assisted Living
Precious Metals Sudbury

Volunteer Wanted

An IT professional is needed to join in planning for the next generation of hardware at the Society.

Call 978-443-3747 for information



Coming Events

February 2, 2014 **The King Philip War in Sudbury** - Town Historian, *Lee Swanson*, and a supporting cast will bring to life what happened in Sudbury in April 1676.

March 2, 2014 **Railroads in Sudbury** - Multiple Railroad Enthusiasts will tell of the two Railroads that served Sudbury.

April 6, 2014 First Parish 3 p.m. **"Rev. Edmund Brown's Library": A Concert Drawn from a Puritan Minister's Musical.**

Saturday April 19, 2014 2 pm-7 pm **Red Cross Blood Drive** at Town Hall.

May 4, 2014 **War Memorials of Sudbury** - *Rachael Goodrich* will present an overview of Sudbury's monuments and memorials including facts discovered while researching them. She will provide an update on the Sudbury Monument Restoration Project.

May 2014 **Tour of Historic Sudbury Center** returns in honor of the 375th anniversary of our town.

June 8 **The Men who Marched to Concord, April 19, 1775** - *George Quintal* - Each man had his own history and his own family and George will introduce us to these individual men who marched to fight in Concord and the route they took to get there.



SUE HALL EATON

Blogs about
Sudbury, Ancestry and Genealogy



Sue's blog, www.thehuntforhenrietta.blogspot.com, shares several stories with Sudbury connections. Listed in her Blog Archive section are entries like "**There's Something About Henrietta**," which explains how Sue was so drawn to her 4th great-grandmother, who was born in Sudbury in 1849. That was posted in November 2010. "**The Eames Massacre**," was posted in October 2011; and a short one posted in May of 2011 is simply called "**The Inn**."

Sue says "I grew up in Sudbury during the '50s and '60s and never left the area until a few years ago (2006) when I retired and moved with my husband to Florida.

Although my grandfather was born in New York City he moved to Sudbury in 1942 for health reasons. My Madison Avenue grandfather's affinity for the town was a little puzzling to me, but I too always felt intensely connected to Sudbury and its history, a connection that none of my friends seemed to share.

As a girl my grandfather told me wonderful stories about people and events in Sudbury's past that were fascinating to me. Growing up I knew Grandpa Hall's only connection to the town was that his Aunt Lil from Vermont had married Uncle Howard, a Sudbury Goodnow. We were in some way also related to the Ames family, particularly Miss Ruth Ames. She went to our church and, when I was eight, she taught me to play the piano in the parlor of her old Victorian home on Landham Road.

Before it was really fashionable, I developed a passion for genealogy and years later I wrote a genealogy blog called **The Hunt for Henrietta**. The hunt for ancestors with some connection to Sudbury was always at the heart of that passion. It led to my discovery that the roots of my family tree are deep in Sudbury soil. I think that explains why I always felt that Sudbury was in my bones."

The Sudbury Historical Society has included a link on their home page to one of her stories called "**Tea at the White House**." It is a story posted in July of 2011 that explains how the townspeople in Eaton's personal history became legend in her family and made her feel as if she grew up in a town full of heroes.



Picturing Sudbury: A Celebration of Our Town

The SHS wants to know what you think makes Sudbury, Sudbury. Use a photograph to complete the sentence, "Sudbury wouldn't be Sudbury without..."

These photos have already been submitted to the photo contest.

The contest ends July 31, 2014. The Winner's Exhibition will be announced at a later date.



For Mary Ellen Hoover it is the Colonial Faire at the Wayside Inn.



For Diane Muffitt it is the wonder of seeing a baby bird hatched just twelve hours ago.



For Sue Feldberg it is the Wayside Inn Grist Mill in winter.



**At the SHS web site, www.sudbury01776.org,
people enjoy the Virtual Tour, Past Programs and Links.**

In the last three month over 150 individuals have taken the virtual tour of Sudbury's historic sites.

Past program videos on demand are also popular.

The page with Links to other sites of interest to history buffs also gets great traffic.

The Sudbury Historical Society is on Facebook

Go to Facebook.com. If you haven't enrolled, give your name and a password. When you are in, go to the box at the top and at "find" type in Sudbury Historical Society.

When you find us, look for the thumbs up icon.
Click on the thumb to "Like" us.



You will be kept updated on all of the news of the Sudbury Historical Society.

You'll be notified of the dates and topics of our monthly presentations, upcoming events, new and old news.

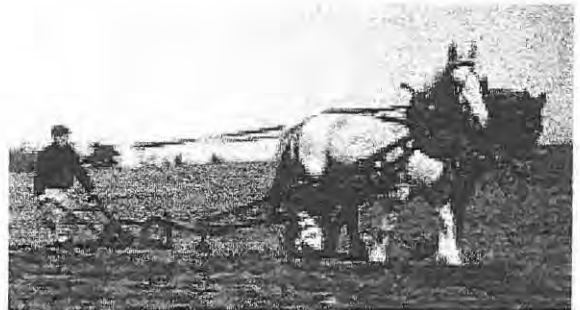
**Sudbury Historical Society, Inc.
322 Concord Rd.
Sudbury, MA 01776**

Picturing Sudbury: A Celebration Of Our Town

A New Photo Contest Sponsored by The Sudbury Historical Society

As the saying goes, “a picture is worth a thousand words.” The Sudbury Historical Society wants to know what you think makes Sudbury, Sudbury! Use a photograph to complete the sentence, “Sudbury wouldn’t be Sudbury without...”

Photographs may capture Sudbury’s buildings, landscapes, monuments, streetscapes, businesses, people, or any place or activity that is quintessentially Sudbury — you show us!



From 50 years ago, a photograph depicting everyday life taken by Sudbury resident John F. McGovern.

How to Enter your Photographs:

Visit the Society’s web site, www.sudbury01776.org for a list of Contest Rules. Any Sudbury resident may submit photographs taken in Sudbury within the last five years. The contest, open to all ages, runs from September 1, 2013 through July 31, 2014.

At the end of each month a selection of images will be posted on the Society’s web site. Winners will be announced in September 2014 in an exhibition that coincides with the 375th Anniversary of Sudbury’s founding. Photographs will be judged for categories including young photographers, artistic merit, technical excellence, and most evocative of present-day Sudbury. Details about the exhibition will be announced later.

Questions? Please send an e-mail message to shsPhotoContest375@verizon.net. We look forward to seeing your photographs!

The Sudbury Historical Society is a nonprofit organization dedicated to bringing the rich history of Sudbury and its evolution into the lives and activities of the community.

- H) American Alliance of Museums: Characteristics of Excellence for U.S. Museums
Minnesota Historical Society: Museum Spaces Organized by Function



Characteristics of Excellence for U.S. Museums

1. PUBLIC TRUST & ACCOUNTABILITY

- 1.1 The museum is a good steward of its resources held in the public trust.
- 1.2 The museum identifies the communities it serves, and makes appropriate decisions in how it serves them.
- 1.3 Regardless of its self-identified communities, the museum strives to be a good neighbor in its geographic area.
- 1.4 The museum strives to be inclusive and offers opportunities for diverse participation.
- 1.5 The museum asserts its public service role and places education at the center of that role.
- 1.6 The museum demonstrates a commitment to providing the public with physical and intellectual access to the museum and its resources.
- 1.7 The museum is committed to public accountability and is transparent in its mission and its operations.
- 1.8 The museum complies with local, state, and federal laws, codes, and regulations applicable to its facilities, operations, and administration.

2. MISSION & PLANNING

- 2.1 The museum has a clear understanding of its mission and communicates why it exists and who benefits as a result of its efforts.
- 2.2 All aspects of the museum's operations are integrated and focused on meeting its mission.
- 2.3 The museum's governing authority and staff think and act strategically to acquire, develop, and allocate resources to advance the mission of the museum.
- 2.4 The museum engages in ongoing and reflective institutional planning that includes involvement of its audiences and community.
- 2.5 The museum establishes measures of success and uses them to evaluate and adjust its activities.

3. LEADERSHIP & ORGANIZATIONAL STRUCTURE

- 3.1 The governance, staff, and volunteer structures and processes effectively advance the museum's mission.
- 3.2 The governing authority, staff, and volunteers have a clear and shared understanding of their roles and responsibilities.
- 3.3 The governing authority, staff, and volunteers legally, ethically, and effectively carry out their responsibilities.
- 3.4 The composition, qualifications, and diversity of the museum's leadership, staff, and volunteers enable it to carry out the museum's mission and goals.
- 3.5 There is a clear and formal division of responsibilities between the governing authority and any group that supports the museum, whether separately incorporated or operating within the museum or its parent organization.

4. COLLECTIONS STEWARDSHIP

- 4.1 The museum owns, exhibits, or uses collections that are appropriate to its mission.
- 4.2 The museum legally, ethically, and effectively manages, documents, cares for, and uses the collections.
- 4.3 The museum's collections-related research is conducted according to appropriate scholarly standards.
- 4.4 The museum strategically plans for the use and development of its collections.
- 4.5 Guided by its mission, the museum provides public access to its collections while ensuring their preservation.

5. EDUCATION & INTERPRETATION

- 5.1 The museum clearly states its overall educational goals, philosophy, and messages, and demonstrates that its activities are in alignment with them.
- 5.2 The museum understands the characteristics and needs of its existing and potential audiences and uses this understanding to inform its interpretation.
- 5.3 The museum's interpretive content is based on appropriate research.
- 5.4 Museums conducting primary research do so according to scholarly standards.
- 5.5 The museum uses techniques, technologies, and methods appropriate to its educational goals, content, audiences, and resources.
- 5.6 The museum presents accurate and appropriate content for each of its audiences.
- 5.7 The museum demonstrates consistent high quality in its interpretive activities.
- 5.8 The museum assesses the effectiveness of its interpretive activities and uses those results to plan and improve its activities.

6. FINANCIAL STABILITY

- 6.1 The museum legally, ethically, and responsibly acquires, manages, and allocates its financial resources in a way that advances its mission.
- 6.2 The museum operates in a fiscally responsible manner that promotes its long-term sustainability.

7. FACILITIES & RISK MANAGEMENT

- 7.1 The museum allocates its space and uses its facilities to meet the needs of the collections, audience, and staff.
- 7.2 The museum has appropriate measures to ensure the safety and security of people, its collections and/or objects, and the facilities it owns or uses.
- 7.3 The museum has an effective program for the care and long-term maintenance of its facilities.
- 7.4 The museum is clean and well-maintained, and provides for the visitors' needs.
- 7.5 The museum takes appropriate measures to protect itself against potential risk and loss.

Characteristics of Excellence for U.S. Museums In Plain English

Public Trust & Accountability

- » Be good
- » No really—not only be legal, but be ethical
- » Show everyone how good and ethical you are
- » (don't wait for them to ask)
- » Do good for people
- » Know which people
- » And to be on the safe side
- » Be nice to everyone else, too
- » Especially if they live next door
- » Avoid cloning
- » Look something like the people you are doing good for
- » And maybe a bit like your neighbors
- » Let other people help decide what games to play
- » And what the rules are
- » Share your toys

Mission and Planning

- » Know what you want to do
- » And why it makes a difference to anyone
- » Then put it in writing
- » Stick to it
- » Decide what you want to do next
- » When you are deciding what to do, ask lots of people
- » for their opinion
- » Put it in writing
- » Then do it
- » If it didn't work, don't do it again
- » If it did work, do

Leadership and Organizational Structure

- » Make sure everyone is clear about who is doing what
- » The board knows it is governing
- » The director knows she is directing (and the board
- » knows it too)
- » The staff know they are doing everything else
- » And have it in writing

Collections Stewardship

- » Know what stuff you have
- » Know what stuff you need
- » Know where it is
- » Take good care of it
- » Make sure someone gets some good out of it
- » Especially people you care about
- » And your neighbors

Education and Interpretation

- » Know who you are talking to
- » Ask them what they want to know
- » Know what you want to say
- » (and what you are talking about)
- » Use appropriate language (or images, or music)
- » Make sure people understood you
- » And ask them if they liked it
- » If not, change it

Financial Stability

- » Put your money where your mission is
- » Is it enough money?
- » Will it be there next year, too?
- » Know when you will need more \$
- » Know where you are going to get it from
- » Don't diddle the books

Facilities and Risk Management

- » Don't crowd people
- » Or things
- » Make it safe to visit your museum
- » Or work there
- » Keep it clean
- » Keep the toilet paper stocked
- » And if all else fails, know where the exit is
- » (and make sure it is clearly marked)

Museum Spaces Organized by Function

1. Visitor Services

- a. Visitor drop-off area
- b. Lobby and reception area
- c. Auditorium
- d. Caterer's kitchen/Lunchroom
- e. Retail sales area
 - Merchandise storeroom(s)
- f. Coatrooms
- g. Office
- h. Restrooms

2. Research Library and Archival Collections

- a. Reception
- b. Coatroom
- c. Microform study room
- d. Library reading room
- e. Collections storage
- f. Collections holding and processing
- g. Photocopy room
- h. Office

3. Exhibits

- a. Galleries
 - Gallery, permanent
 - Gallery, changing
 - Orientation room
 - Storeroom, exhibit furniture
 - Storeroom, exhibit housekeeping
 - Restrooms
- b. Exhibit Development
 - Office
 - Layout room
 - Workshop
 - Supplies storage

4. Museum Collections

- a. Office
- b. Storage
 - 3-D collections
 - Storage, 2-D, prints, drawings, posters, framed art
 - Storeroom, storage supplies
 - Storeroom, office, storage, and exhibit furniture
- c. Holding rooms
 - Collections temporary holding room, clean
 - Pest control/mold treatment room
- d. Workroom

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The Loring Parsonage

Conditions Assessment & Feasibility Study



Project Team

- ❑ Spencer & Vogt Group, Architect
- ❑ Structures North Consulting Engineers
- ❑ Sudbury Historical Society
- ❑ Town of Sudbury



Vital Statistics

- ❑ Built ca. 1730 by Israel Loring, Sudbury's first minister
- ❑ Operated as tavern by second owner
- ❑ Acquired by Town in 1931
- ❑ Used for administrative offices
- ❑ Exterior preserved in 2009



Existing Conditions - Exterior



Existing Conditions - Interior

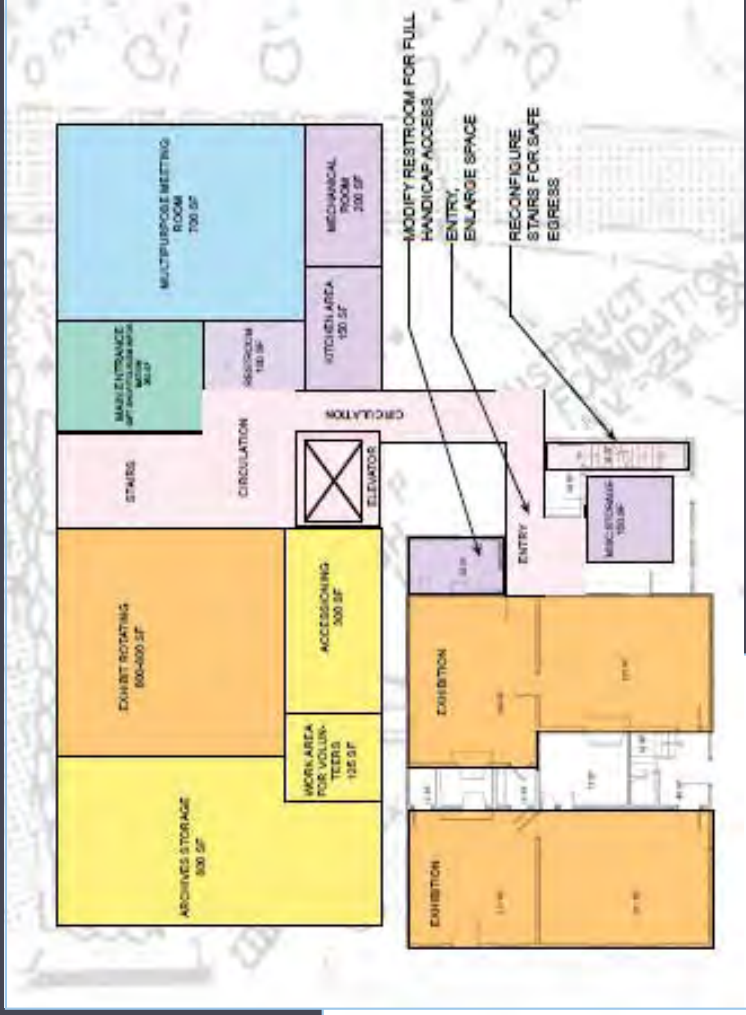


Existing Conditions - Interior



Conceptual Design Evolution

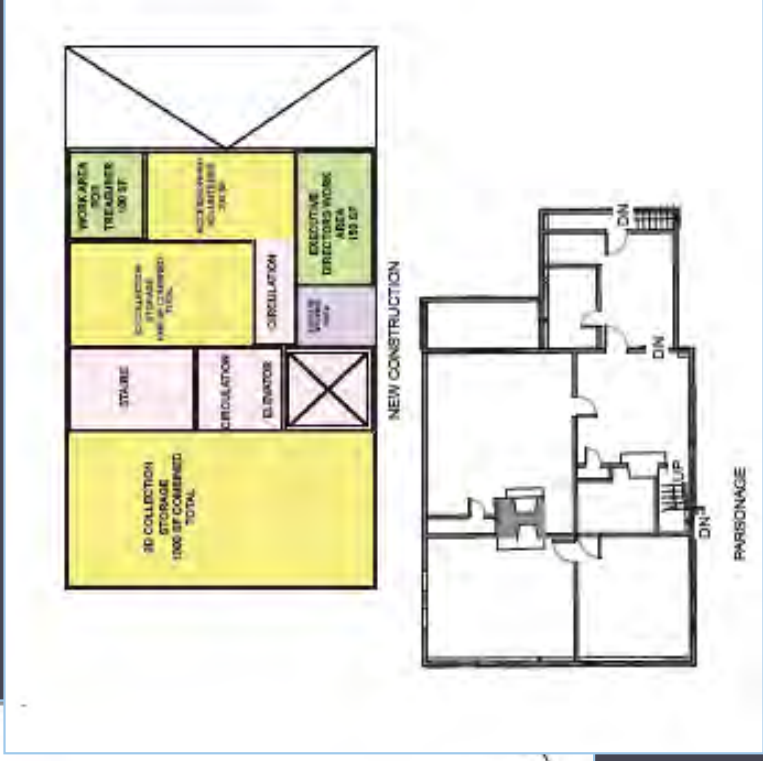
Concept A



Conceptual Design Evolution



Concept C

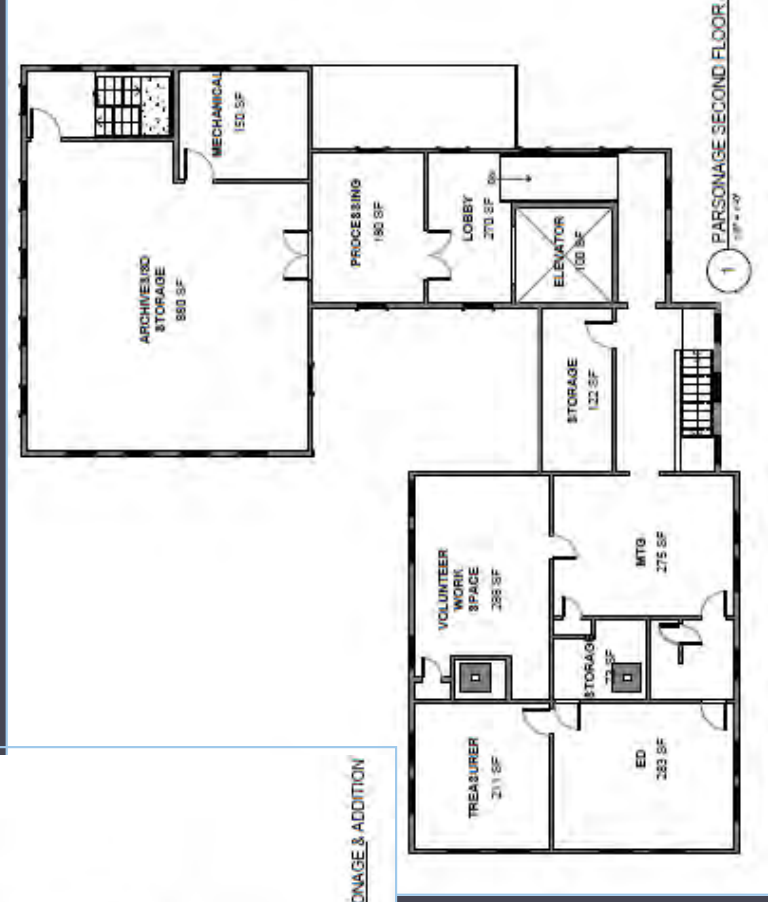


Conceptual Design Evolution



Conceptual Design Evolution

Concept D



Conceptual Design Evolution

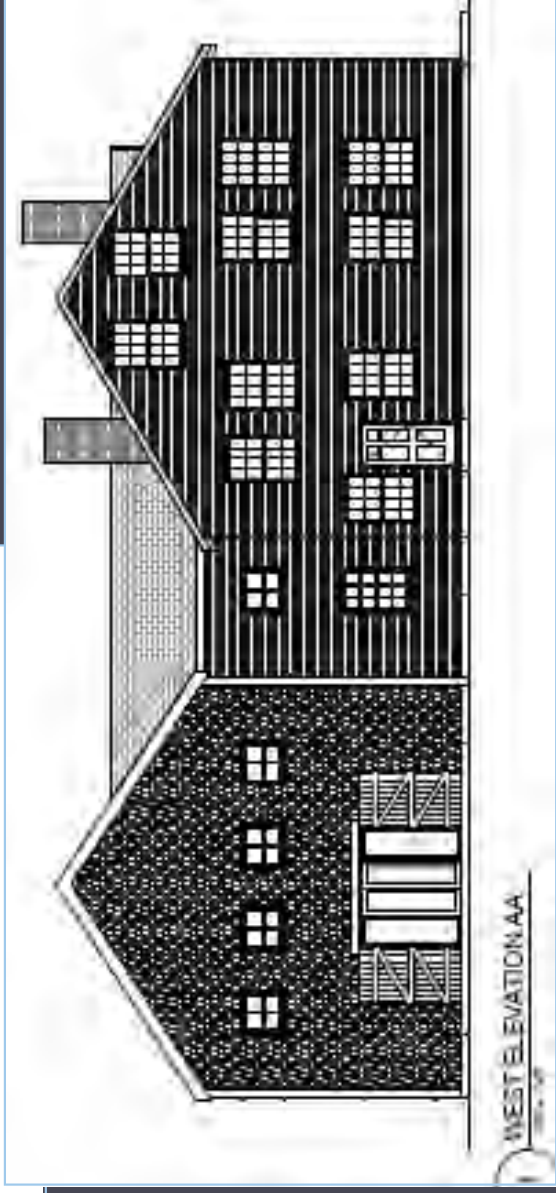
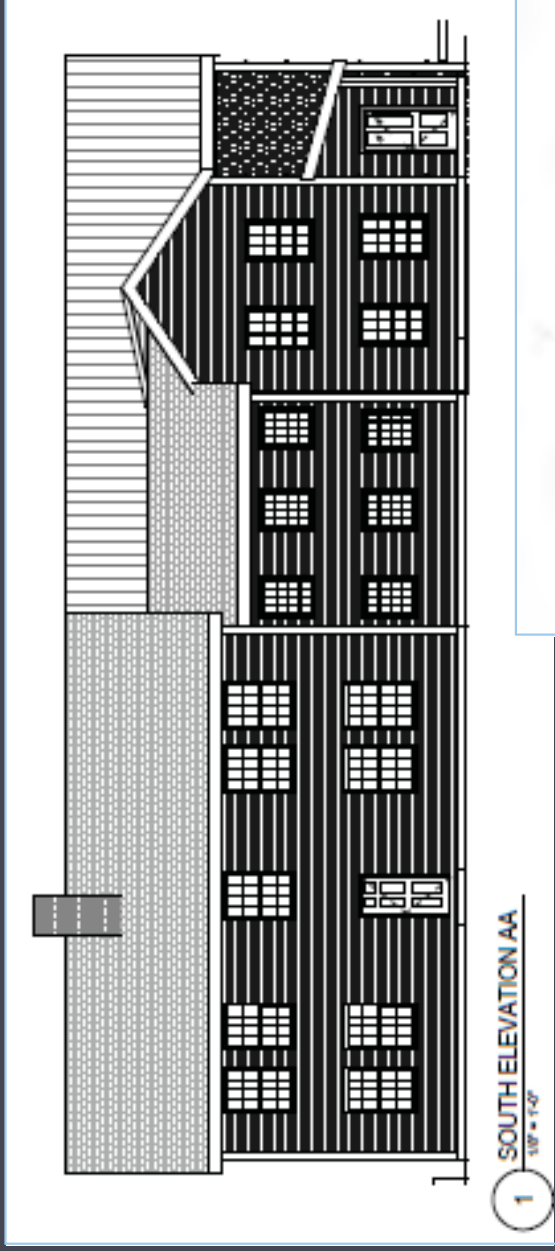


Concept D



Conceptual Design Evolution

Concept E



Conceptual Design Evolution



Concept E



Summary of Probable Costs

- ❑ Construction cost: \$1.5 million
- ❑ Permits & variances: \$20,000
- ❑ Architectural/engineering: \$190,000



Plans to Consider

- ❑ Strategic Plan – “Vision”
- ❑ Operations Plan
- ❑ Development Plan





The Loring Parsonage

