

FAIRBANK COMMUNITY CENTER FEASIBILITY STUDY PUBLIC FORUM- PROGRAMMING THE CENTER

February 27, 2014



Fairbank Community Center Feasibility Study

Project Tasks

- Programming Interviews.....Completed
Recreation, Senior Center, Users and Stakeholders
- Programming Site VisitsCompleted
Observe Daily Program Operations, Special Events, Swim Meet, etc.
- Facility Assessment.....Completed
Site and Building Inspections by Consultant Team
- Programming Space Needs.....Draft Prepared
Required Square Footage vs. Existing Square Footage, Define Shared Space Use
- **Public Programming/Ideas Meeting.....February 27, 2014**
Obtain Public input on ideas for the Community Center
- Conceptual Schemes:.....In progress
To be presented to the Permanent Building Committee Mid-February (After Public Meeting)
- Market Analysis/Program Analysis.....February 2014
Confirm Program, Determine Need,
- Complete Study.....April 2014
Design Options, Cost Estimates, Operating Budgets, Business Plan

Fairbank Community Center Feasibility Study Programming, Meetings & Site Visits



Veteran's Luncheon



DCL Swim Relays Meet

Program Questionnaires for Senior Center
Recreation Department Staff

Existing Conditions: Exterior



Confirmed Roofing Deficiencies



Masonry at Pool Wing



Senior Center Window Finish



Failed Window Wall of Original School



Moisture Issues at Pool Wing

Existing Conditions: Interior Space Deficiencies



Lack of Storage (Building Wide)



Locker Rooms/Toilet Rooms Not Meeting Current Needs



Lack of Program Space in Senior Center



No Spectator Seating for Pool Events

Existing Conditions: Services

General Recommendations

Fire Protection

- Provide sprinkler system In entire building

Plumbing

- Provide family changing rooms
- Increase number of plumbing fixtures to meet current pool codes
- Piping is original to dates of construction

HVAC

- Remove window AC units in 1959 wing
Provide building wide HVAC controls connected to Town system.
- Replace electrical baseboard heating where currently used.

Electrical

- Update lighting systems with efficient equipment and controls
- Upgrade emergency lighting system
- Provide addressable fire alarm system
- Replace Equipment that is past its useful service life.



Original 1959 Plumbing Fixtures



Inefficient Lighting- Lack of Lighting Controls

Existing Conditions: Flat Room Above 1959 Wing



- Existing Roof Structure is under-designed for current structural loading
- Roof assembly does not meet current design requirements of the code
- Existing masonry walls require reinforcing to meet structural codes.
- Roof structure would need to be replaced in order to install a sprinkler system, additional ductwork, roof top mechanical equipment and other elements typically required in a renovation project.

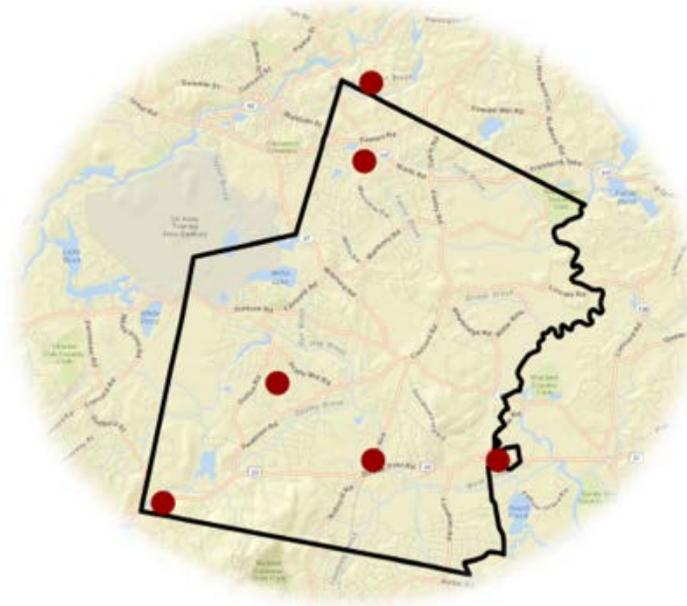


Figure 4-Typical Classroom Framing



Market Analysis

Sudbury
Swim & Tennis





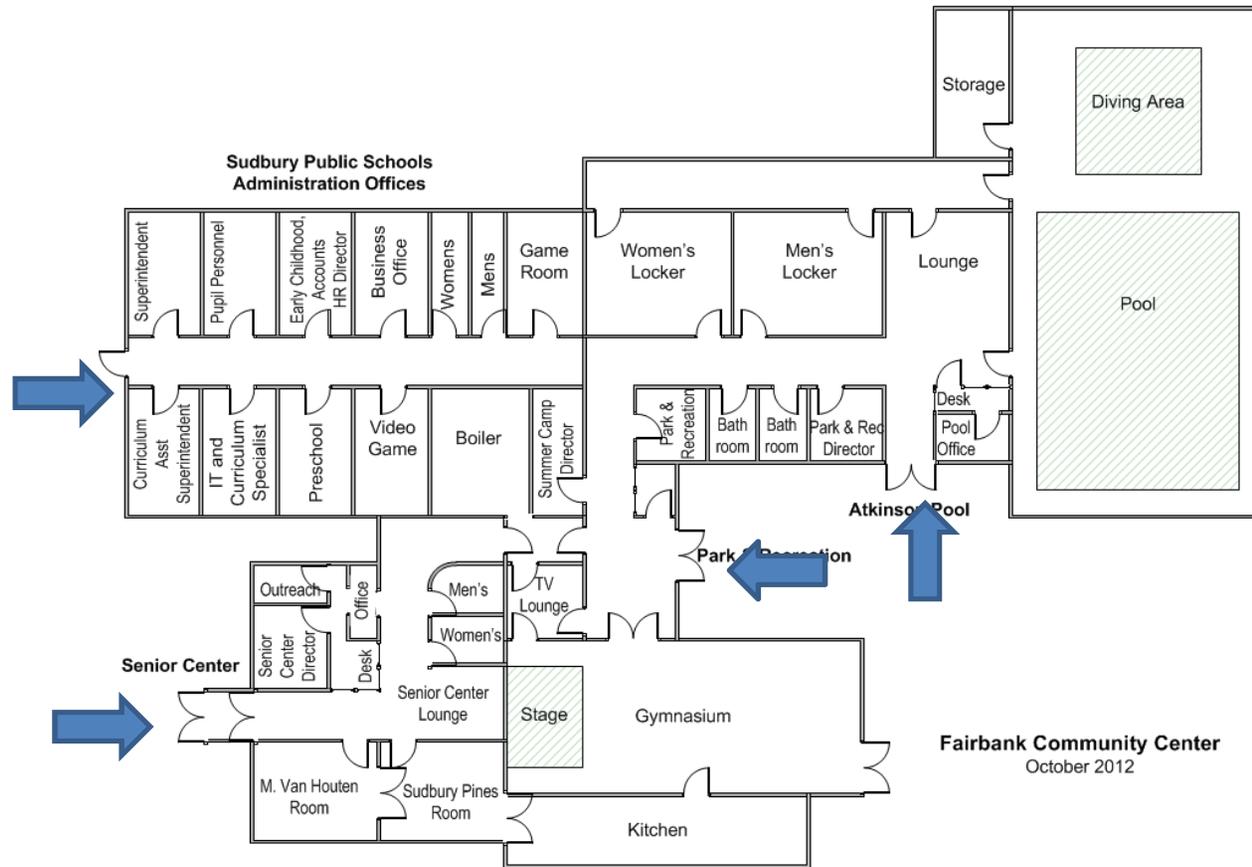
Operational Performance Indicator Analysis
“A process to develop realistic operating budgets for recreation facilities.”

- Step 1 Determine the Important Drivers**
- Step 2 Fiscal Planning Approach**
- Step 3 Develop the Fiscal Planning Tools**
- Step 4 Assemble the Operational Revenue Measurements**
- Step 5 Assemble the Operational Expense Measurements**
- Step 6 Develop Project Recommendations & Management Strategy**

Community Centers Ideas



Building Entries & Circulation

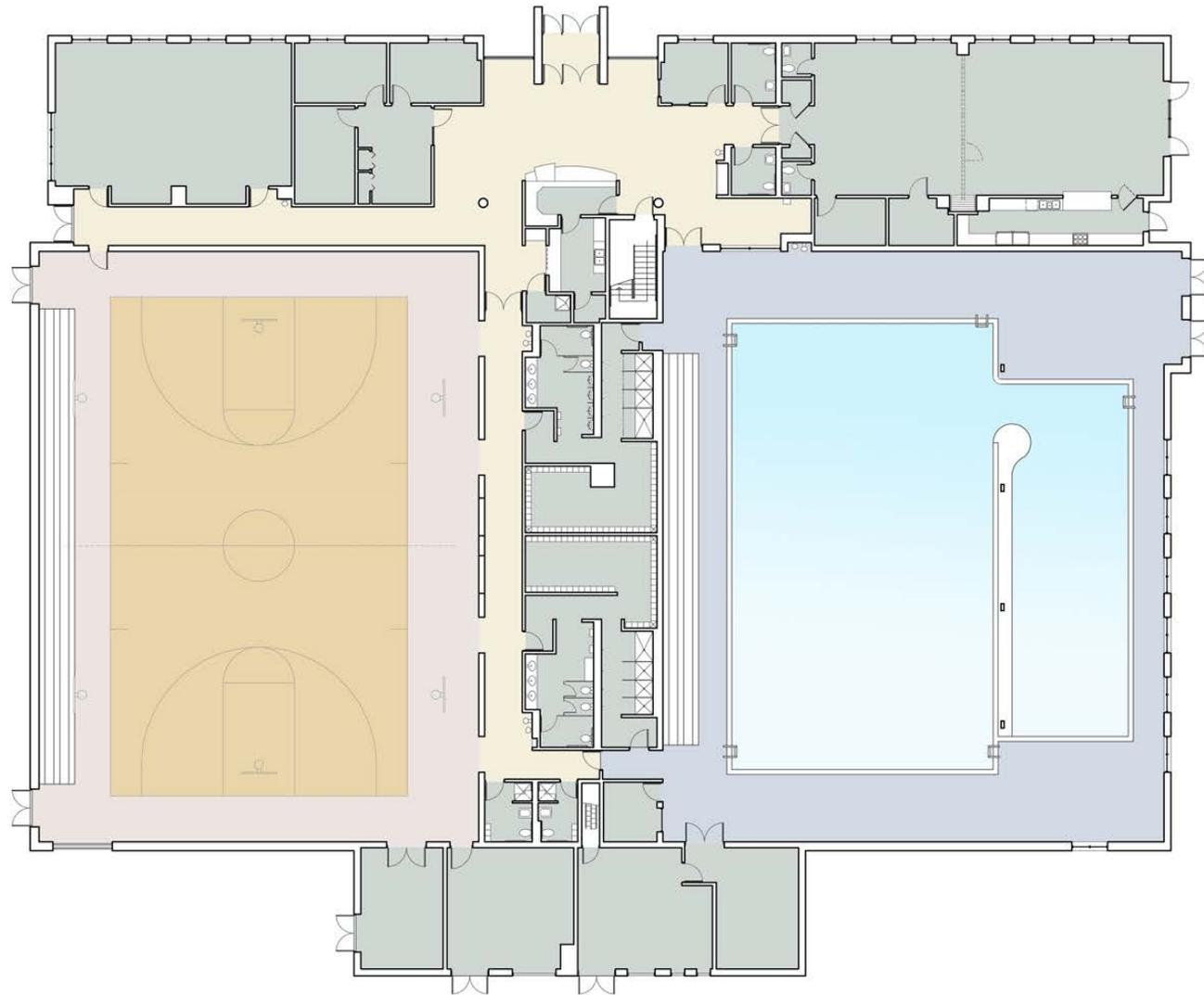


- Access Control
- Security
- Privacy
- Multiple Occupants
- Secure Spaces
- Noise Transmission
- User Requirements
- Storage
- Access to Toilets
- Scheduling Solutions

Fairbank Community Center
October 2012



One Building-Multiple Users



Entry, Access, & Control



Maximize Visual Control of Facility

Provide Single Control Point

Minimize Staffing Requirements



Different Age Groups



Different Programs

A Multi-Generational Community Center



Transformed Classrooms



Community Room

Former Cafeteria for Multi-purpose Use



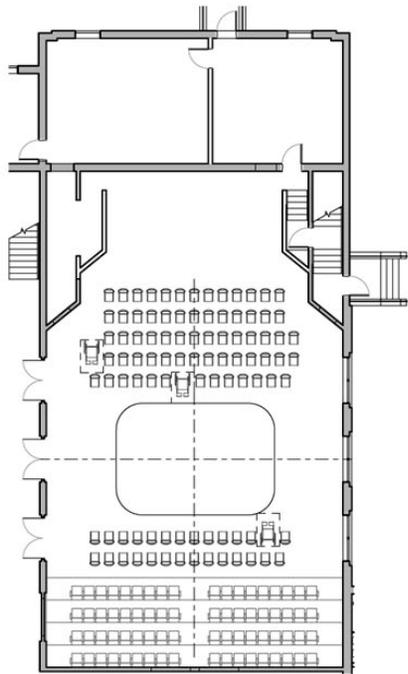
Community Room

Flexibility and Revenue Generation

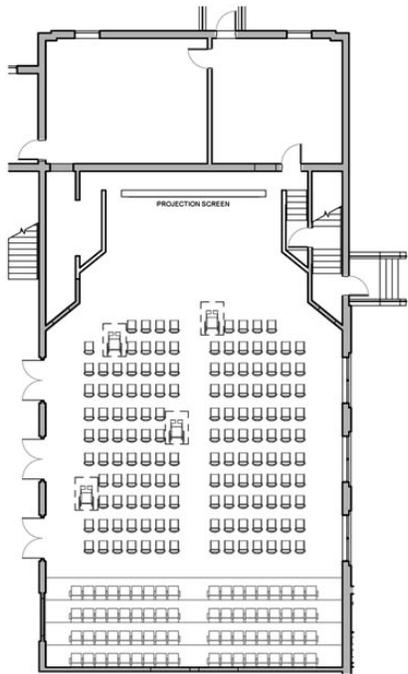


Community Room

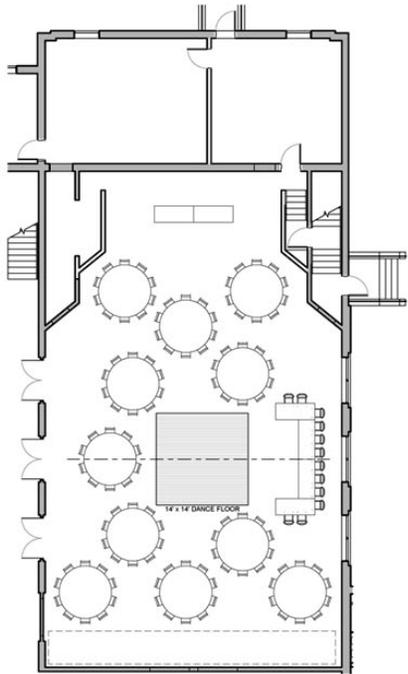
Vision & Budgeting



THEATER IN THE ROUND
150 SEATS



PROSCENIUM THEATER
MOVIE NIGHT
200 SEATS



BANQUET
120 SEATS

Collapsible Theater Seating	\$56K
AV Phase 1A – Pipe Grid, Infrastructure	\$72K
AV Phase 1B – Dimming System	\$58K
AV Phase 2A – Theater Lighting, Curtains	\$46K
AV Phase 2B – Audio System	\$45K

Project Components



Senior Center Reception
Separation from Activities



Daily Drop-In/Socializing Space

Project Components

Multi-Use Spaces



Project Components



Multi-Use Spaces



Fully Accessible Food Service
Teaching Kitchen

Project Components



Recreation/Game Rooms



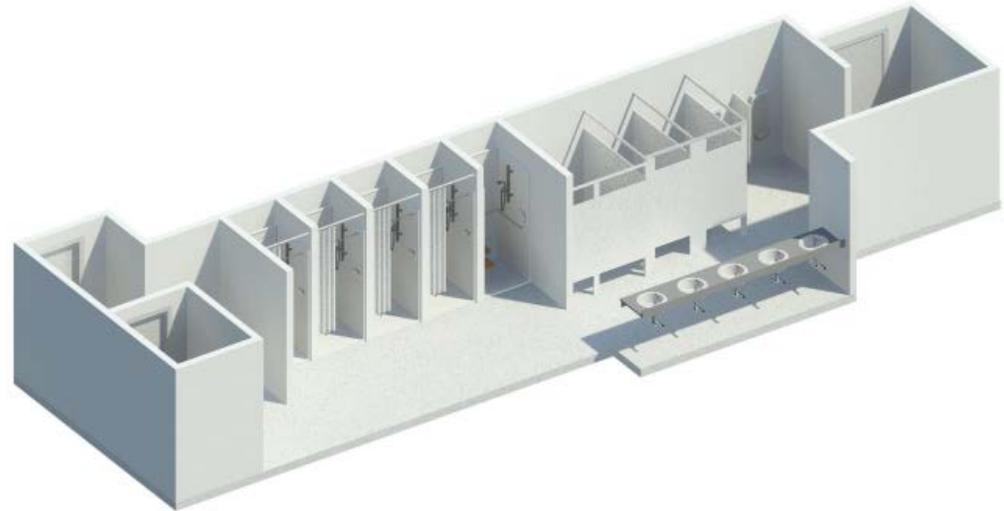
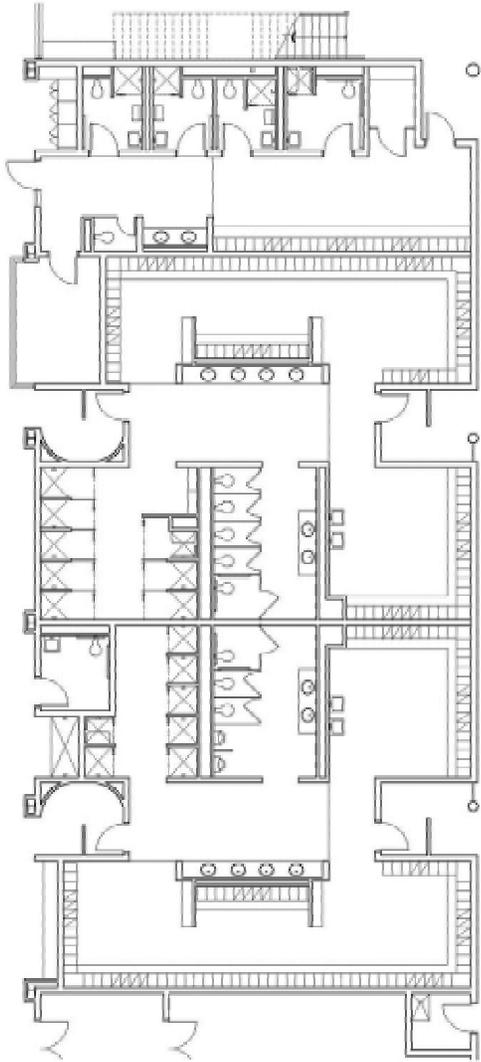
Art Room

Project Components



Library Space

Project Components



Locker Rooms for All Users/Family Facilities

Project Components



Gymnasium Space

Project Components



A Space for Summer Camp

Multi-Purpose Activity Spaces

Some Flexible and others specific



Different approaches to Wellness rooms



Project Components



Multi-Use Stage/Platform

Aquatic Program Improvements



Aquatic Program Improvements



Aquatic Program Improvements



Your Input is Needed



Q&A?