

**TOWN OF SUDBURY
DRIVEWAY LOCATION APPROVAL
RULES AND REGULATIONS**

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Adopted by the Board of Selectmen 7/1/85

Revised 7/30/90

Revised 1/26/98

1. Driveway Location Approval Procedure

- a. Application for driveway location approval shall be filed with Town Engineer as a representative of the Board of Selectmen (Engineering Department, Department of Public Works, 275 Old Lancaster Road)
- b. Upon request for an application for driveway location approval, the Town Engineer shall provide the person making the request with the application form, a copy of these regulations, and a copy of the Town Of Sudbury Bylaw Article V, Section 30, and Town of Sudbury Bylaw, Article IX.3300.
- c. A complete application shall consist of:
 - 1) application form for driveway location approval;
 - 2) filing fee;
 - 3) driveway location plan and two (2) prints;
 - 4) copies of prior Board of Appeals permits and variances;
 - 5) a Massachusetts D.P.W. street entrance permit, if required;
 - 6) properly executed consent by the owner where the site involves property not owned by the applicant;
 - 7) photographs where deemed necessary by the Town Engineer due to the nature of the site;
 - 8) copies of all required driveway easements properly recorded at the Registry of Deeds.

2. Form of Application

The application for driveway location approval shall be made on a form approved by the Board of Selectmen (see Form A attached hereto).

3. Form of Site Plan

- a. Format
 - 1) A clear, legible and transparent reproducible copy, largest dimension not to exceed 36 inches;
 - 2) Drawn to scale of 1"=20", unless special permission is granted to use the scale 1"=40';
 - 3) Prepared by and showing the seal and the signature of a Registered Professional Engineer and/ Registered Land Surveyor.

b. Information

In addition to those items required to be shown on the plan by Article V, Section 30 of the Town of Sudbury Bylaws, the following information and items shall appear on the plan:

- 1) Locate and scale
 - a) Buildings, all existing and proposed;
 - b) Parking areas;
 - c) Type of driveway and parking area surface.
- 2) Locate all landscape features including trees 6" or more in diameter, grass areas, plantings, rock walls, curbs, poles, etc.
- 3) Locate fences or screening giving heights and all walks, both existing and proposed.
- 4) Indicate existing and proposed surface water flow. (If to discharge on public way, permission must be shown from proper authority.)
- 5) Indicates all setbacks for building, parking, storage, screening, signs, pumps and hydrants.
- 6) List, locate and describe (underground and above):
 - a) Water supply
 - b) Electricity supply
 - c) Gas supply
 - d) Septic system
- 7) Locate and describe all signs as to height, size, single or double-sided, illumination and side elevation.
- 8) Locate and describe all entrances and exits to roads, including size.

c. Proposed Construction

All proposed construction, including but not limited to upgrading and drainage pipes, increased size of parking areas, and change of grades, shall be drawn on the plan so as to clearly distinguish it from existing construction at the site.

d. Design Standards

See design standards for Standard and Common Driveways set forth in Appendix A (Standard Driveways) and Appendix B (Common Driveways) of these Regulations.

e. Waiver Provisions

The Town Engineer at his discretion may waive any of the requirements under Section 3 if in the opinion of the Town Engineer the requirement would cause undue hardship on the applicant, taking into consideration the size and configuration of the site, the buildings and other structures located or to be located thereon, the complexity of the plan, topography, the existence of wetlands, or other local conditions.

4. Consideration by Town Engineer

- a. The Town Engineer may request that the applicant provide additional information as necessary to properly evaluate the application.
- b. The Town Engineer may approve the plan with or without conditions, or subject to changes to the approval so as to require renewal of the approval to maintain the plan in full force and effect.
- c. Upon arrival of the plan, with or without conditions, the Town Engineer shall sign and date the plan under the legend "Approved", "Approved with Conditions" or "Approved Subject to Renewal".
- d. Approval of a plan by the Town Engineer shall not relieve the applicant from conforming to the requirements of, or making application to, other Boards or Commissions on matters within their jurisdiction.
- e. If the Town Engineer shall deny approval of the plan, he shall state his reasons therefor.

5. Filing Fees for Driveway Location Plan Approval

\$25.00 per driveway location (Residential)
\$50.00 per driveway location (Commercial)

The Town Engineer may, upon prior written application and for good cause shown or with respect to a future application for a location for which a previous application has been denied, waive all or part of any filing fee.

6. Changes After Approval

- a. Since the approved driveway location plan must show the site as it will be built, any change in the physical condition of the site, including changes in the location or design of structures or systems, following initial approval of the approved driveway location plan will require approval of the Town Engineer.
- b. Before implementing such changes, the applicant shall file a copy of the plan with the Town Engineer clearly indicating the changes, requesting modification of approval of the plan to reflect such changes.
- c. Depending on the nature and extent of the changes, the Town Engineer shall determine the appropriate review procedure in the circumstances.
- d. Upon modification of his approval of the plan to reflect such changes, the applicant shall, at the request of the Town Engineer, revise the plan to show all approved changes and provide the Town Engineer with two (2) copies of the plan as amended.

7. Time Limitations

- a. The Town Engineer has seven days from receipt of a driveway application to approve, disapprove, or approve with conditions said application.
- b. Time limitations state in these Regulations are for the orderly consideration of an application. The failure of the Town Engineer to meet such time limitations shall not constitute approval of the application.

8. Penalty

Those driveways constructed in violation of the approved driveway permit will be subject to a fifty-dollar (\$50.00) a day fine for each day of violation per Article V, Section 30 of the Town of Sudbury Bylaws.

9. As-Built Plans

As-built plans prepared by a Registered Professional Engineer or Professional Land Surveyor showing as a minimum location, width, pavement type, grades for the entire length of driveway including shoulders and sight distance shall be submitted and approved by the Town Engineer prior to the issuance of an occupancy permit.

Appendix A: Standard Driveways

STANDARD DRIVEWAY DESIGN STANDARDS

Standard	Residential	Commercial
1. Width of Street Line		
Minimum	10 ft.	20 ft.
Maximum	20 ft.	40 ft.
2. Curb Radius		
Minimum	3 ft.	20 ft.
Maximum	10 ft.	50 ft.
3. Angle of Entry	60-90 degrees	75-90 degrees
4. Vertical Alignment (<i>Note A</i>)		
Minimum	1.0 percent grade	1.0 percent grade
Maximum	10.0 percent grade	3.0 percent grade
5. Distance off Property Line	5 ft.	10 ft.
6. Distance Between Drives	20 ft.	50 ft.
7. Distance from Street Intersection	25 ft.	50 ft.
8. Number per lot	1 per 90 ft. of frontage	1 per 100 ft. of frontage
9. Sight Distance for 30 mph	200 ft. min.	200 ft. max.
40 mph	275 ft. min.	300 ft. max.
50 mph	350 ft. min.	450 ft. max.
10. Storm Drainage (<i>Note B</i>)		
11. Hydrants (<i>Note C</i>)		

Note A: Vertical alignment is for the entire length of driveway; where the driveway intersects a street, a leveling area of no greater than 2% will be required for a distance of 30 ft. from the edge of pavement of the street.

Note B: Provision must be made to prevent storm runoff from flowing down the proposed driveway into the street and to prevent street runoff from flowing into the subject property via the proposed driveway. Such provision must be shown on the submitted plan.

Note C: Houses are to be located no greater than 500 feet from a hydrant or 750 feet from a hydrant if the house has an approved sprinkler system meeting N.G.P.A. 13 R 1989 Edition (Standards for installation of sprinkler system in residential occupancy up to 4 stories in height). Fire hydrants to be served by minimum 8" ductile iron water main.

Appendix B: Common Driveways

Common driveways shall provide access to no more than two (2) residential dwellings unless Board of Appeals approval has been granted.

COMMON DRIVEWAY DESIGN STANDARDS

Standard	Residential	Commercial
1. Width of Street Line (<i>Note A</i>)		
Minimum	18 ft (<i>Note B</i>)	20 ft.
Maximum	24 ft.	40 ft.
2. Shoulder Width (<i>Note A</i>)		
Minimum	3 ft.	2 ft.
3. Curb Radius		
Minimum	5 ft.	30 ft.
Maximum	50 ft.	50 ft.
4. Angle of Entry	60-90 degrees	75-90 degrees
5. Vertical Alignment (<i>Note C</i>)		
Minimum	1.0 percent grade	1.0 percent grade
Maximum	10.0 percent grade	6.0 percent grade
6. Centerline Radius		
Minimum	125 ft.	300 ft.
7. Distance off Property Line (<i>Note D</i>)	0 ft.	0 ft.
8. Distance Between Drives	50 ft.	50 ft.
9. Distance from Street Intersection	50 ft.	50 ft.
10. Number per lot	1 per 180 ft. of frontage	1 per total frontage
11. Sight Distance for 30 mph	200 ft. min.	200 ft. max.
40 mph	275 ft. min.	300 ft. max.
50 mph	400 ft. min.	450 ft. max.
12. Storm Drainage (<i>Note E</i>)		
13. Hydrants (<i>Note F</i>)		
14. Turnarounds (<i>Note G</i>)		

Appendix B (continued)

Note A: Common driveways accessing more than two houses with Board of Appeals approval shall be designed in accordance with these Common Driveway Design Standards with the following exceptions:

<i>No. of Houses</i>	<i>Min. Width of Street Line</i>	<i>Min. Shoulder Width</i>
<i>3-5</i>	<i>18 ft.</i>	<i>3 ft.</i>
<i>6-8</i>	<i>20 ft.</i>	<i>2 ft.</i>

Note B: In accordance with the Commonwealth of Massachusetts Regulations 527 Section (10.3) (a): Designation: The head of the fire department shall require and designate public or private fire lanes as deemed necessary for the efficient and effective use of fire apparatus. Fire lanes shall have a minimum width of 18'.

Note C: Vertical alignment is for the entire length of driveway; where the driveway intersects a street, a leveling area of no greater than 2% will be required for a distance of 30 ft. from the edge of pavement of the street.

Note D: A common driveway may be located on a common property line of lots to be accessed provided the proper easements have been recorded. If a common property line is not used, a minimum setback of 5 ft. shall be required. (Documents must accompany driveway application.)

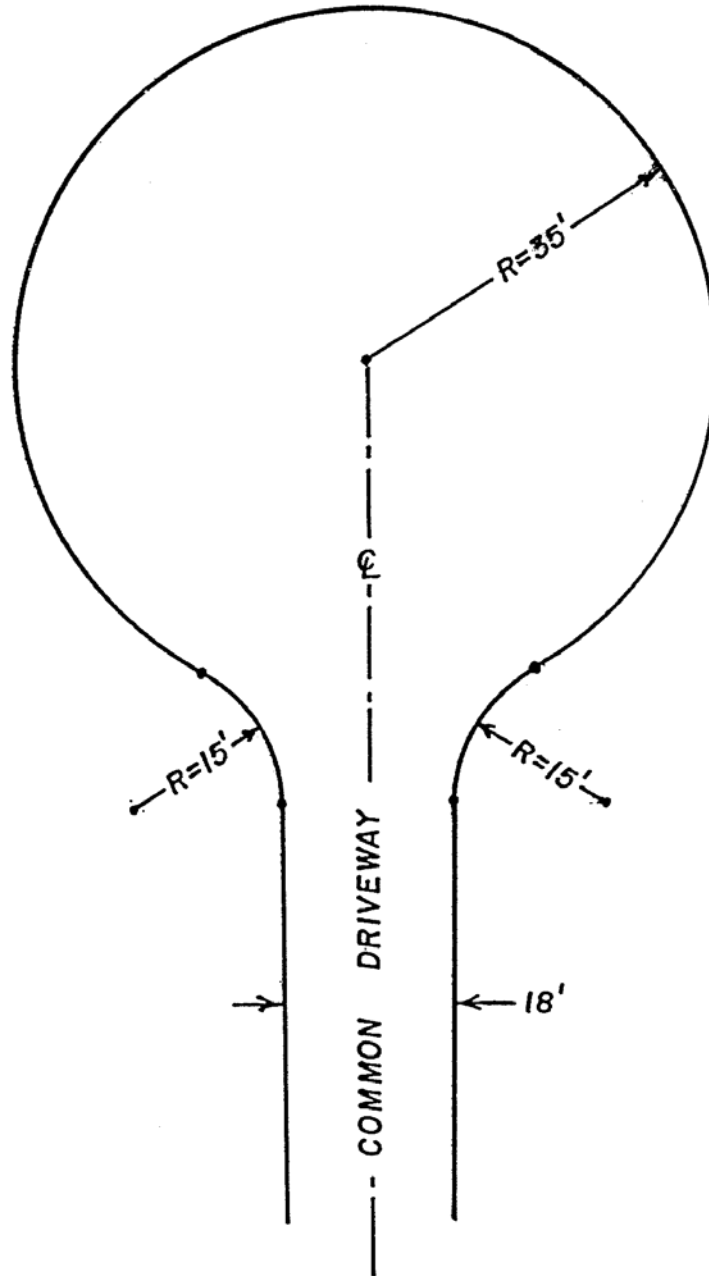
Note E: Provision must be made to prevent storm runoff from flowing down the proposed driveway into the street and to prevent street runoff from flowing into the subject property via the proposed driveway. Such provision must be shown on the submitted plan.

Note F: Houses are to be located no greater than 500 feet from a hydrant or 750 feet from a hydrant if the house has an approved sprinkler system meeting N.G.P.A. 13 R 1989 Edition (Standards for installation of sprinkler system in residential occupancy up to 4 stories in height.) Fire hydrants to be served by a minimum 8" ductile iron water main.

Note G: Turnarounds for emergency vehicles will be placed at the end termini of all common driveway as shown in Appendix C, Sheets 1 through 4.

Appendix C

Residential Common Driveway Termini

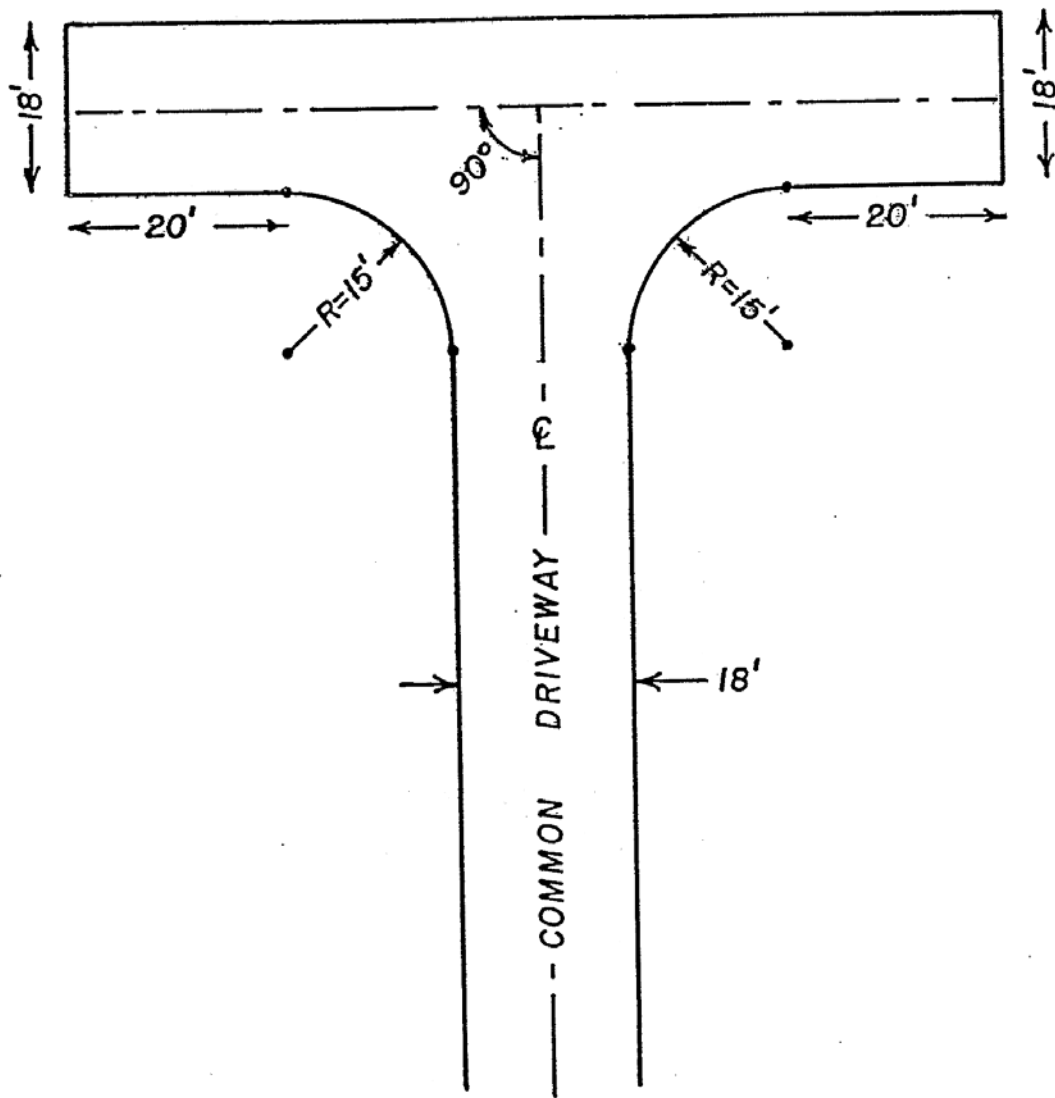


Sheet 1 of 4

"Bulb" Terminus

Appendix C

Residential Common Driveway Termini

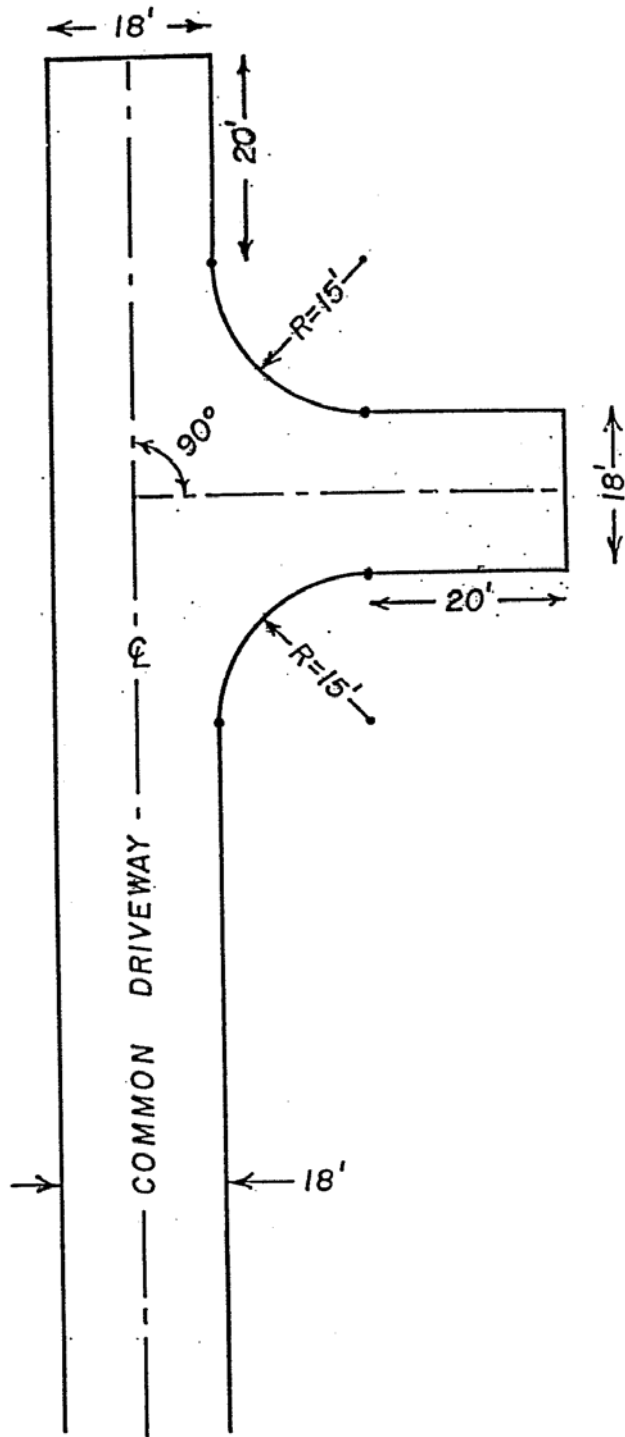


Sheet 2 of 4

"T" Terminus

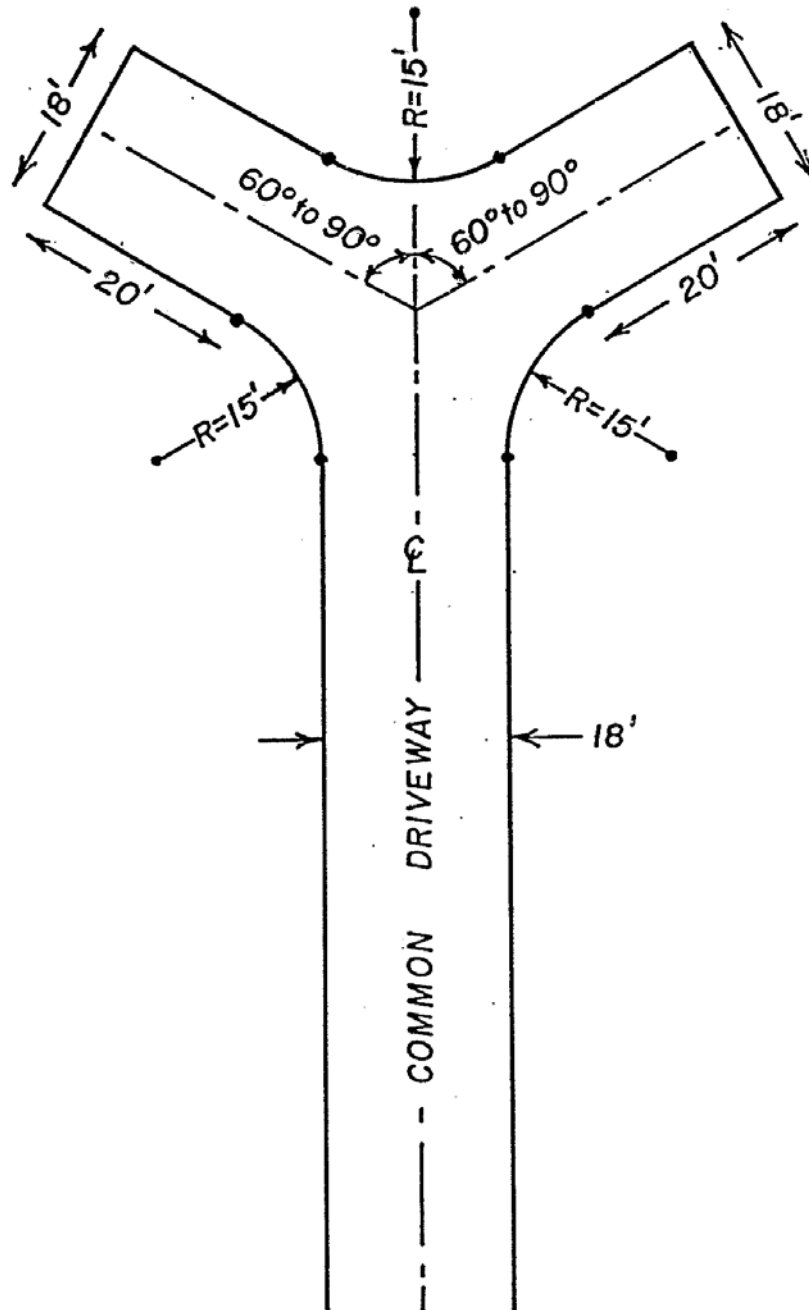
Appendix C

Residential Common Driveway Termini



Appendix C

Residential Common Driveway Termini



Sheet 4 of 4

"Y" Terminus

**Town of Sudbury
APPLICATION for
DRIVEWAY LOCATION APPROVAL**

Date: _____

No.: _____
(To be assigned by Town Engineer)

To the Town Engineer, Sudbury, Massachusetts:

In accordance with the bylaws of Sudbury, Article V (public safety, Section 30 and Selectmen's driveway location rules and regulations, the attached driveway location plan is submitted for approval:

1. Applicant: _____ Tel. No.: _____
Address: _____
2. Owner of Property: _____
Address: _____ Book/Page: _____
3. Address or location of property: _____
Type of Zoning _____ Property Map/Parcel #: _____ Area of Property: _____
4. Title of Plan: _____
5. Proposed Driveway located on a scenic road: Yes _____ No _____
6. Prior driveway location plans or site plans have/have not been submitted for this property. Town Engineer action of prior site plans: Approved: _____ Denied: _____ N/A: _____
7. Prior variances or permits have/have not been granted by the Board of Appeals for this property
Yes: _____ No: _____ N/A: _____
8. Present use of property: _____
9. Proposed use of property: _____
By (company, trade name, and owner/manager): _____
10. Describe the dangers to proposed site under the attached driveway location plan (use additional sheets if necessary): _____

11. Estimated traffic impact on adjacent public ways due to changes to the site: _____

12. Applicant understands that application to any of the following Boards may be required for a proposed use of change:
Board of Appeals..... Permit or variance
Conservation Commission Alterations affecting wetlands
Board of Health Septic system
Earth Removal Board..... Earth removal
Mass. Highway Dept. State highway curb cut
Sudbury Dept. of Public Works Access to public storm drains; street openings for
installation of utilities
Sign Review Board..... Approval of signs

Zoning & wetland maps are available for inspection at the Office of the Town Engineer, DPW Building

Signature of Applicant: _____

(over)

Town of Sudbury
APPLICATION FOR
DRIVEWAY LOCATION APPROVAL

FOR OFFICIAL USE ONLY

Fee paid _____ Check No. _____

Applicant's name _____

For (address) _____ Lot No. _____

Date application received _____

= = = = =

APPROVED _____ Date _____

DENIED (for the following reasons: _____

COMMENTS: _____

= = = = =

COMPLETE BELOW IF APPLICATION IS APPROVED

Applicant Copy Building Copy Driveway Permit #: _____

= = = = =

Please note: As-built plans prepared by a registered professional engineer or registered professional land surveyor showing at a minimum location, width, pavement type, grades for the entire length of driveway including shoulders, sight distance shall be submitted and approved by the Town Engineer prior to the issuance of an occupancy permit.

Received _____

Date _____