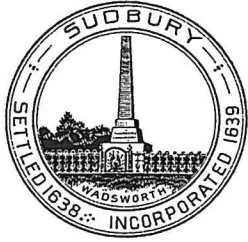


RECEIVED
OCT 29 2015



Town of Sudbury

Community Preservation Committee

BY:

<http://www.sudbury.ma.us>
email: cpc@sudbury.ma.us

PROJECT SUBMISSION FORM

Submitter: Stewart Hoover, President & Chair,
SHS Facilities Committee

Submission Date: October 28, 2015

Group or Committee Affiliation (if any): Sudbury Historical Society

Submitter's address and phone number:

Sudbury Historical Society
322 Concord Road
Sudbury, MA 01776
978/460-1346 (Stewart Hoover) 978/460-3100 (Sally Hild)

Purpose (please select all that apply):

- Open Space
- Community Housing
- Historic
- Recreation

Submitter's email address:

shoover@stonept.com (Stewart)
director@sudbury01776.org (Sally)

Project Name: Sudbury History Center and Museum at the Loring Parsonage

Project Description: This project will restore the Loring Parsonage so that it can be repurposed into the Sudbury History Center and Museum operated by the Sudbury Historical Society.

Costs:

Fiscal Year	Total Project Cost	CPC Funds Requested	Other Funding Sources (amount and source)
2017	\$960,000	\$400,000	State Funding (\$290,000); Town Trusts – Rice Fund (\$170,819) & Wood Davison Fund (\$76,042); SHS Fundraising (remainder)
2018			
2019			
2020			
2021			
Total	\$960,000	\$400,000	

How does this project meet the General Criteria and Category Specific Criteria for CPC projects (see attached)?

Restoration of the Loring Parsonage preserves a town asset protecting the building from further deterioration. Repurposing the Loring Parsonage into an active, vibrant history center for community use and tourism will create a greater calling for this under-utilized resource. It would further enhance the Town Center revitalization goals, linking existing historic and

recreation resources such as the Hosmer House, Town Center sites (churches, Revolutionary War Cemetery, Hearse House) and park lands, and drawing activity to the Town Center and commercial district. In addition the project will utilize state funds already set aside for this purpose through the Massachusetts Office of Tourism.

Does this project fall within the jurisdiction or interest of other Town Boards, Committees or Departments? If so, please list the boards, committees, or departments, whether applications and/or presentations have been made, and what input or recommendations have been given.

The project has been presented to and has met approval from the Sudbury Board of Selectmen, Sudbury Historical Commission, and Permanent Building Committee. The Town Hall Blue Ribbon Committee has been made aware of the plans as well as the Historic Districts Commission. Pending final design recommendations, approvals have not been sought from the HDC.

For Community Preservation Committee Use:

Form received on: _____ Project presented to the CPC on: _____

Reviewed by: _____ Determination: _____

Request for Funds to Restore and Repurpose the Loring Parsonage

Introduction:

The Sudbury Historical Society is endeavoring to build a history center and museum in the town-owned Loring Parsonage and respectfully requests consideration for the sum of \$400,000 of CPA funds in order to move the project forward. The SHS feels that repurposing the building will protect it from further deterioration and will preserve its architectural history and heritage that would otherwise be unknown due to its current underutilization as a municipal building with a solitary office inside. The Sudbury Historical Society is working to obtain a long-term lease of the Loring Parsonage so that as tenants the SHS can ensure that the building is cared for through its daily oversight. The History Center project fills an essential town need for a museum. Under the stewardship of the SHS, the History Center will grow, adding value to the town's investment and increasing the public benefit over time. The SHS feels that the History Center and Museum at the Loring Parsonage will provide the town with something truly special that all citizens can be proud of. The SHS thanks the CPC for its consideration.

The Loring Parsonage:

"The Loring Parsonage, built in 1730, is one of the oldest buildings in Sudbury Center. It started as a two room house, one over one, with a fireplace on the right and then it was expanded into a four room house, two over two, with a massive center chimney.

It then grew into an eight room house, as you see it now, with further additions added later. At some point it was a Saltbox with a sloped roof in the rear down to the first floor. Eventually the giant center chimney was removed to make more interior space, and it now has two small chimneys. (If such extensive remodeling seems improbable, check out the attic which can't be used due to the beams and joists running every which way.)

The house was built for Reverend Israel Loring, as the minister's parsonage. It became "his homestead" as he refers to it in his will. He lived here with his family until his death in 1772 at age 90.

The Wheeler Family inherited this house through marriage, and it continued in the Wheeler family until Walter Haynes inherited it thru his wife, who was a Wheeler. This house was kept as a tavern by Walter Haynes from about 1810 to 1830. By 1881 Walter had died, and Elisha Haynes had inherited it and was running a profitable farm with many outlying buildings and fields.

*It remained in the Haynes Family until 1931 when the Town purchased the building. It has served as Town offices, Fire Department offices, and many other uses up to this date and remains a public building."***

***Excerpt from the Sudbury Historical Society's Virtual Tour of Sudbury at www.sudbury01776.org*



The Loring Parsonage, 1915.

From the outside the Loring Parsonage is a stately building situated on a slight knoll between Sudbury's Town Hall and the Flynn Building. Its exterior has been well maintained and is a key element in the composition of Sudbury Center. In 2010 new windows, clapboards and a wood-shingled roof were

added. Some work has been done in the basement to address moisture and weakened supports, but the interior of the parsonage needs a great deal of work. Maintenance has been deferred due to other priority projects. Floors are not level and flex when stepped upon. Plaster is falling from walls and ceilings. Corners where walls join are becoming separated. The stairway to the second floor is narrow and difficult to maneuver. Unless an investment is made the Loring Parsonage may not be around for the future.

The Need for a History Center:

Sudbury is a town with great history, but our stories are unknown to many. Here we have one of the earliest settlements in New England, a town whose citizens took part in the King Philip War, the French and Indian Wars, the Revolutionary War, the Civil War, and all wars to follow. The early days of Sudbury are chronicled in the Pulitzer Prize winning book, *Puritan Village*, but the town is still known primarily as the location of the Wayside Inn. Although the town is fortunate to have this historic inn, there is much more to tell about Sudbury's long history.

Among its neighbors Sudbury stands out as having an active historical society, but the SHS has no museum in which to exhibit documents and objects that attest to the town's history. The lack of a site in which to invite the public hinders the organization's programmatic offerings and growth. In 2013 the Sudbury Historical Society visited over 20 other historical societies to research their operations, facilities, and financials. We found that almost all of the surrounding communities have provided space for town heritage to be put on display. If Sudbury does not build a History Center and Museum, it would be a disservice to the town and its future.

The benefits of a History Center and Museum include creating:

1. Town-wide awareness of the unique history of Sudbury;
2. A place for archiving and conserving local history;
3. Improved opportunities for research and study of objects and documents;
4. An educational resource for our schools, enhancing curricula at all levels from K thru 12;
5. An opportunity for our senior citizens to participate in preserving town history through volunteer opportunities and information sharing;
6. A destination for residents and visitors. Increased tourism adds value for our local businesses;
7. A way for new residents to become connected to the town through its history.
8. A hub for town activities in Sudbury's Town Center; and
9. A space for the Sudbury Historical Society so that it can continue collecting objects and documents as they become available and making them accessible when the Town Hall is no longer available for the SHS's use.

Opportunities for the Town:

By restoring and repurposing the Loring Parsonage, the Town of Sudbury has the opportunity to:

- **Restore a Most Historic Building** - History is fragile and if buildings of importance are lost so is our sense of history and our place within it. If we always re-build new, never preserving what is old, there is no physical evidence that a town has a past and a story to tell. The interior of the parsonage has been neglected due to deferred maintenance as other priority building projects have taken precedence. Floors are saggy and springing, paint is peeling, plaster is falling, panels

and old wood have been painted over, lighting is improper, and the building does not meet ADA requirements. Today only limited use of the Parsonage is possible. It is hard to imagine a public event being held in this historic structure in its existing state.

- **Create a History Center and Museum** - There have been efforts over the years to create a Town Museum in Sudbury. Twenty-five years ago a task force was formed to move the Wood-Davison House from Rt. 20 to the Town Center for use as a history museum. About \$40,000 was contributed by small and large donors. At a town meeting in October 1991, just before the house was about to be moved, a “resolution was affirmed asking the town not to take title to the building or commit land for the historic house” (*The Sudbury Town Crier*, October 24, 1991). There was no debate about the town’s desire for a museum; rather the question was if the town should acquire another historic building and use town land for this purpose. Minutes from the Board of Selectmen, even then, suggested that the Loring Parsonage was a better choice for a museum. Today the town has a building that is essentially unused on the same land it has been on for 300 years, and no other use has been proposed for this property
- **Provide a Visitor Center for Sudbury** - Over the last few years there has been an effort to revitalize the Town Center. The area known as 29 Hudson Road has been rehabbed and is filling up with businesses, restaurants and professional offices. The traffic patterns at the intersections of Concord and Old Sudbury Road have been changed for better vehicular and pedestrian access. The Town Hall is being studied for updating or repurposing, and there is the possibility of an outdoor amphitheater next to Grinnell Park. With these improvements the town can anticipate greater use of the area. As of now there is not a Visitor’s Center located there. By planning for a Visitor’s Center within the Loring Parsonage as part of the History Center, tourists and residents alike can learn about events and activities in Sudbury. Lexington, Concord and most other historic towns have a Visitor Center. If the Loring Parsonage is restored, the Sudbury Historical Society stands ready to manage and staff a Visitor Center as part of its operations with no additional costs to the town.
- **Provide Space for the Sudbury Historical Society**
Today the Sudbury Historical Society is housed on the second floor of Town Hall. It is a busy place many days of the week. In 1991 the Sudbury Historical Society had a collection of about 500 items considered to be relevant to the history of Sudbury. Today the Historical Society has a collection of over 5000 items. In 1991 the membership was around 75 members. Today there are approximately 200 members including Community Partners from the business community. The Historical Society now has a paid full-time executive director and 20 or more steady volunteers. The SHS provides internships to college students majoring in museum studies as well as opportunities for special projects and research for students at Lincoln Sudbury Regional High School. The Historical Society works with the elementary schools and each spring third grade students and parents participate in a walking tour of “Old Sudbury” around the Town Center. The SHS publishes and sells books on Sudbury history and offers regular tours and programs to the public. These programs are well attended, often nearing the occupancy limits of lower Town Hall. The SHS has its own up-to-date computer system and uses industry standard software for maintaining its collection, membership records, and for outreach. The SHS has its own website and actively uses social media such as Facebook and Twitter. Each year it offers to the public more and more programs and events. For the 2015-2016 calendar, there are 15 events scheduled, and other “ad hoc” projects will also occur. Having a proper space for operations and a History Center of its own will move the Society to the next level. The Loring Parsonage is in an

ideal location and the perfect size for continuing and extending the role history plays in the life and pride of the residents of Sudbury.

Current Status – Where we are Today:

In 2014 a study of the feasibility of restoring and repurposing the Loring Parsonage was completed by the architectural firm Spencer & Vogt Group, Inc. (see Appendix A). That study looked at both restoring the parsonage and adding a newly constructed barn like extension onto the parsonage. The total cost of the plan was estimated to be about 2 million dollars. The cost of just restoring and repurposing the Loring Parsonage was estimated to be about 1 million dollars. The restoration included strengthening the building so it could be opened for public events, replacing or updating mechanical, electrical and HVAC systems, making the building ADA compliant and adding fire protection. Considering the ongoing work of the Town Hall Blue Ribbon Committee (which may allow for meeting space in the Town Hall which would suit the programmatic needs of the Historical Society) the SHS believes the appropriate course of action at this point in time is to restore and repurpose the Loring Parsonage. An addition could be included in a later phase if needed, but is not necessary to start. As part of the restoration and repurposing, it would be desirable to provide space for a Visitor Center, including public bathrooms which are lacking in the heart of the Town Center.

Working with the town's Permanent Building Committee and the Board of Selectmen, an RFQ has been published. At the end of October 2015, an architectural firm will be selected to provide the design and engineering for this project. The anticipated schedule will have the engineering and design documents completed and approved by the end of March 2016. The work will progress in two phases. In the first phase the building will be strengthened with the emphasis on structural restoration, bringing the building up to a point where it can withstand substantial public traffic. The second phase will focus on restoration of the interior and updating systems such as electrical, HVAC, plumbing and other such work so that the building is fully usable by the Sudbury Historical Society and can be opened to the public.

To date the major milestones that have been reached in this project are:

- In September 2015 the Board of Selectmen agreed to begin negotiating with the Sudbury Historical Society for a long-term lease of the Loring Parsonage;
- The state has earmarked \$290,000 for restoration and repurposing of the Loring Parsonage;
- Sudbury's Town Counsel has been asked to probate the Harry Rice Trust and to investigate how to secure the Wood-Davison Fund so they can be used for this project. The Rice Trust has \$170,819 in funds and the Wood Davison has \$76,042, which combined are now valued at about \$246,841; and
- The Sudbury Historical Society is planning to launch a capital campaign in the winter of 2016 to restore the Loring Parsonage, establish an endowment to further support the History Center and Museum, and cover costs associated with the interior interpretive plan, including gallery displays and multi-media educational components.

What is Needed to Make it All Come Together:

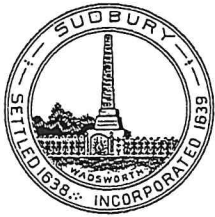
Approximately a third of the monies needed to undertake this project have already been raised due to the efforts of the Sudbury Historical Society. The SHS plans to do more private fundraising. In addition, the town has held funds for years that are intended for a Town Museum. What is needed now is a commitment of support from the Town of Sudbury to ensure that this project moves forward using available CPA funds. The History Center at the Loring Parsonage will be an asset to the town and an

investment in Sudbury's future that the SHS can ensure becomes successful. The Sudbury Historical Society is not asking the town to give the SHS the building, but rather the SHS is asking for the opportunity to use the building to establish a community resource and create a source of pride for all of Sudbury.

By the end of FY16 full architectural and engineering design documents should be completed and the structural work will be underway, if not completed. The Sudbury Historical Society will have raised money for this project and for an endowment. With the support of the Community Preservation Committee through CPA funding, the final phase of the project should be completed in the summer or fall of 2016. The way the SHS sees it, preserving the past by repurposing the Loring Parsonage is an investment in Sudbury's future.

APPENDICES

- Appendix A: Letter from Maureen Valente to Ruth Griesel dated December 4, 2013.
- Appendix B: Minutes of the Sudbury Historical Commission date Tuesday, September 24, 2013.
- Appendix C: E-mail from Lyn MacLean to State Senators Mike Barrett and Jamie Eldridge, and State Representative Carmine Gentile dated August 1, 2015.
- Appendix D: Agenda and excerpt of meeting minutes of the Board of Selectmen Meeting, dated September 8, 2015.
- Appendix E: Portion of Feasibility Study including Cost Estimates from Spencer & Vogt Group, Inc. Full Feasibility Study dated December 2014 may be found at <https://s3-us-west-2.amazonaws.com/cdn.sudbury.ma.us/wp-content/uploads/sites/290/2015/03/Loring-Parsonage-Conditions-Assessment-and-Feasibility-Study-2014Dec31.pdf?version=9eaf3ef6197ce86ea95ff725ccdee294>.



Town of Sudbury

Office of Selectmen

Flynn Building
278 Old Sudbury Rd
Sudbury, MA 01776-1843
978-639-3381
Fax: 978-443-0756

selectmen@sudbury.ma.us

December 4, 2013

Ms. Ruth Grisel
c/o Sudbury Historical Society
Sudbury Town Hall
322 Concord Road
Sudbury, MA 01776

Dear Ruth,

At their meeting of December 3, 2013, the Board of Selectmen voted in support of the Sudbury Historical Society's request to study the feasibility of the Town-owned Loring parsonage becoming a Sudbury Historical Museum. If the building is deemed feasible for this use, the Board of Selectmen would be willing to negotiate a long-term lease for the building to be used for this purpose.

Sincerely,

Maureen G. Valente
Town Manager



SUDBURY HISTORICAL COMMISSION

Tuesday, 24 September 2013

Those Present: Barbara Balhkw, Fred Bautze, Diana Cebra, Jim Hill, Bill Johnson,
Lyn MacLean, Liz Radoski

The minutes of August 2013 were accepted as typed. All bills have been submitted and deposits made. The Wayside Inn has sold many of out cup plates, mugs and ornaments.

Joesph Mooney gave a presentation on his Eagle Scout project which has been completed. He showed the Commission many pictures of before and after. The gravestone at the corner of Powder Mill Road and North Road now has a new split rail fence, flowers, shrubs and mulch. Nine scouts from Troop 63 assisted Joesph which took them six working days to complete. The Commission was very pleased with the final results and will put an article in the newspaper.

The Wadworth gazebo has been painted and three benches installed as another completed project by Boy Scouts. This project will be presented at our next meeting by Vic Gopal.. The new roof is planned to be put on in October.

The cemetery signs are to be installed the first week in October. Lyn has met with Scott Taylor for the placement of each. Precourt is installing the signs to the granite posts.

Rachel Goodrich published a brochure on the statues in Sudbury and presented to us her plans for the future of this project. Her goals are to restore and make the citizens aware of the research and history of each plus have a program for inspection each year. There are ten monuments and two have been already restored. Eight need to be done with cleaning and landscaping. She has met with town administration and the plan is to request from CPC 11K to accomplish this project.

Steward Hoover from the Sudbury Historical Society explained the need for them to have a place to display their artifacts. They had visited 30 museums in other surrrounding towns and found out valuable information. They are asking for a RFP for an architectural feasibility study for a cost of approximately 15K with 7,500 from SHS and 7,500 from other sources. They realize there are structural issues and the Loring Parsonage will need restoration inside and out. They are planning to add on to the rear of the buiding and meet ADA requirements. They will work with our Commission, Jim Kelly and the Permanent Building Committee. Our Commission supported their efforts and want to be included in their communications.

Minuteman Fair: Jim and Fred will meet at the Hosmer House at 8 AM on Saturday, 28 September to bring three long tables, 3 card tables, 3 tents and six chairs to the Wayside Inn. They will come back at 4 PM for take down. Barbara, Bill, Diana, Liz, and Lyn will meet on Friday, 27 Sept to organize all the items, pack them and load up the cars. All members will help during the fair with a lunch break covered by docents.

Rentals: October 1st, 7 to 10 PM - NewComers - Diana and Barbara to cover
October 9th, 10:30 - 1:30 - Town Employees - Lyn, Barbara and Liz to cover
October 9th, 7 to 10 PM - Rebecca Circle - Lyn to cover

233 Concord Road Property: It was a split vote to keep the land open space or to sell it so a house could be built. We realize historic CPC funds are needed for the Town Hall and Museum so the question remains where will the money come from if the town purchases it? This property is in the Historic District but is not of historical significance.

CPC Projects: Jim is meeting with Elaine this Friday to go over the bid for the Fire Suppression System which is planned to be install the beginning of the year. Jim is meeting this Thursday with the carpenter who will replace the back hall door.

Suggestions for CPC funding for the coming year would be to fire proof and water proof the art room and start ground penetration work at the Revolutionary Cemetery. Lyn is to ask Rick DePres and Jim Kelly what they would recommend using for this project and the cost to complete it.

A large painting of a little girl in yellow has been taken to Aragon Art for restoration and framing. A plaque will be put on the finished work stating that the Villagers contibuted to the restoration.

Fred and Jim will look over our website and make suggestions for improvements so Mark can update it.

Barbara and Lyn will work on Miss Hosmer's letters in January and complete the filing. Books and magazines in the attic need to be sorted. The inside inventory has been completed with a copy going to Jody and one for the town vault. Liz and Maureen will complete the parlor desk and then all items inside bureaus, desks, trunks, closets have been recorded. The furniture and painting inventories are already in the vault.

The meeting adjourned at 9:20 PM

Respectfully Submitted,
Lyn MacLean, Chairman
SHC

Executive Director

From: Stewart Hoover <shoover@stonept.com>
Sent: Tuesday, October 27, 2015 4:25 PM
To: Executive Director
Subject: FW: Sudbury Loring Parsonage Funds

From: Lyn Maclean [mailto:lyn_m_2000@yahoo.com]
Sent: Saturday, August 01, 2015 11:13 AM
To: mike.barrett@masenate.gov; carmine.gentile@mahouse.gov; James.Eldridge@MASenate.gov
Cc: shoover@stonept.com
Subject: Sudbury Loring Parsonage Funds

31 July 2015

Good Morning Mike, Carmine and Jamie,

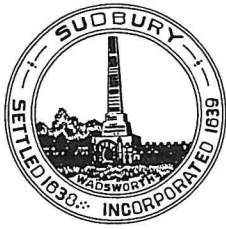
The Sudbury Historical Commission wished to support the Sudbury Historical Society in their effort to restore the 300 year old Loring Parsonage to a historical museum in the center of Sudbury, Mass. This building has

been under our care and has been maintained over the years but in order to hold all our artifacts it needs to meet the handicapped and building codes plus add space for the public to view our collection.

We support all the efforts of the Sudbury Historical Society to make this happen. We are asking for your support in restoring these funds to the final state budget. As we are a part of the Massachusetts Historical Commission we and they appreciate any effort you are able to apply in our behalf.

Regards,

Lyn MacLean, Chairman
Sudbury Historical Commission



SUDBURY BOARD OF SELECTMEN
 TUESDAY SEPTEMBER 8, 2015
 6:15 PM, FLYNN BUILDING, SILVA CONFERENCE ROOM
 7:30 PM, TOWN HALL - LOWER LEVEL

Item #	Time	Action	Item
	6:15 PM		CALL TO ORDER
1.	6:15 PM	VOTE	Open meeting in the Flynn Building, Silva Conference Room, and vote to immediately enter into Executive Session for the following purposes: (1) to consider strategy with respect to litigation where an open meeting may have a detrimental effect on the town's litigating position and the chair so declares, pursuant to General Laws chapter 30A, §21(a)(exception 3) and Suffolk Construction v. DCAMM with respect to the following pending case: Sudbury Health Department Director v. Bendoris. (2) Also to discuss strategy with respect to collective bargaining if an open meeting may have a detrimental effect on the bargaining position of the public body and the chair so declares (exception 3). (3) Also discuss the purchase, exchange, lease or value of real property, specifically the Wayland-Sudbury Septage Facility, if such discussion may have a detrimental effect on the negotiating position of the government body (exception 6). (4) Also conduct strategy session in preparation for negotiations with nonunion personnel and/or to conduct contract negotiations with nonunion personnel (Interim Town Manager) pursuant to General Laws chapter 30A, §21(a)(exception 2). At the conclusion of Executive Session, vote to convene in Regular Session in Lower Town Hall. <i>If necessary, the Executive Session will be suspended at 7:25 p.m. and resumed at the end of the Regular Session.</i>
2.	7:25 PM	VOTE	Vote to end Executive Session and reconvene in Open Session and continue meeting at Lower Town Hall, 322 Concord Road
	7:30 PM		Opening remarks by Chairman
	7:35 PM		Reports from Interim Town Manager
	7:40 PM		Reports from Selectmen
	7:50 PM		Citizen's comments on items not on agenda
TIMED ITEMS			
3.	8:00 PM	VOTE	Interview three candidates (Daniel E. Carty, 15 Stonebook Road; Margaret Dahl, 25 Frost Lane; and Mark Howrey, 55 Old Coach

These agenda items are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

Item #	Time	Action	Item
			Road) for appointment To The Capital Improvement Advisory Committee. Following interview, vote to approve the appointment of _____ to the Capital Improvement Advisory Committee for a term ending 5/31/18.
4.	8:20 PM		Discussion on Sudbury Historical Society's plan for repurposing the Loring Parsonage to a History Center and Museum. Sally Hild, Executive Director; and Stewart Hoover, President, Sudbury Historical Society, will attend.
5.	8:50 PM	<i>VOTE</i>	Discussion and vote on policy for accessing Town Counsel services
MISCELLANEOUS			
6.			Discussion on Ballot question "pro" and "con" wording
7.		<i>VOTE</i>	Discussion and vote to accept Town Trust spending limit requests for FY16 as per a memo provided by Finance Director/Treasurer-Collector Andrew Vanni, dated 9/3/15. Andrew Vanni will attend.
8.		<i>VOTE</i>	Review Melone Property Environmental Data Review - Revised Scope of Services for LSP.
9.		<i>VOTE</i>	Review and possibly vote changes to the Codes of Conduct and Ethics for all Town board and committee members, including Board of Selectmen
10.			Discuss future agenda items
CONSENT CALENDAR			
11.		<i>VOTE</i>	Vote to approve the Regular Session Minutes of 8/20/15.
12.		<i>VOTE</i>	Vote to Grant a Special Permit to the Fieldhouse Sudbury, to Hold the "The Fieldhouse 5K/10K for Accelerated Cure Project for MS" Walk/Run on Saturday November 14, 2015, from 8:30 A.M. through approximately 11:30 A.M., subject to Police Department safety requirements, Proof of Insurance Coverage and the assurance that any litter will be removed at the race's conclusion.
13.		<i>VOTE</i>	Vote to grant a special permit to Myke Farricker, Committee Co-Chair, to hold a "Positive Spin for ALS" bike ride on Sunday, September 27, 2015, from 7:00 a.m. through approximately 4:00 p.m., following the same route as in previous years, subject to Police Dept. safety requirements, proof of insurance coverage and the assurance that any litter will be removed at the race's conclusion.
14.		<i>VOTE</i>	Vote to accept, on behalf of the Town, a \$50,000 donation from Linda Lyons and family to the Boundless Playground Maintenance Trust Contributions & Donations account, (as requested by Nancy McShea, Park & Recreation Director, in a memo dated August 17, 2015), said funds to be expended under the direction of the Park and Recreation Director.
15.		<i>VOTE</i>	Vote to accept, on behalf of the Town, an anonymous donation of \$200 for the youth and teens of Sudbury, to the Program Contributions & Donations account, (as requested by Nancy

These agenda items are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

Selectman Simon asked if the candidates have attended any CIAC meetings. Both gentlemen stated they had not, but they each had an extensive conversation with the CIAC Chairman Tom Travers.

Vice-Chairman Iuliano asked if either candidate had any comments on the CIAC current process or any insights on how it is done in other towns.

Mr. Howrey explained how Maynard handled its projects, noting the process can be difficult and that there was not as much collaboration with all relevant Town groups as he would have liked.

Mr. Carty stated the challenge is that there are a lot of worthy projects, but a finite amount of money and people to bring them to fruition. He suggested it might be helpful to provide project guidelines for thorough proposals to be considered.

Every Board member expressed how difficult tonight's decision is because both men are so well suited for the Committee.

Selectman Haarde suggested Board members should write down their choice for the position, and the Chairman could read aloud each member's vote. He believes giving the vote audibly influences the votes of other Board members.

Town Counsel Barbara Saint Andre stated she would not recommend, under the Open Meeting Laws, taking a written vote as suggested.

Selectman Woodard stated Board members should have more confidence in each other's ability to reach independent conclusions.

It was on motion

VOTED: To approve the appointment of Mark Howrey, 55 Old Coach Road, to the Capital Improvement Advisory Committee for a term ending May 31, 2018.

The appointment was by a vote of three in favor of Howrey (Woodard, Simon, Iuliano) to two in favor of Carty (Haarde and Brown).

Selectman Haarde suggested the Board should consider alternative ways of voting in these situations so that one member's vote does not impact another's vote. He also asked if there is a candidate for the CPC position.

Chairman Brown suggested the Board could pursue voting alternatives with Town Counsel at another time, and she asked Interim Town Manager Bilodeau to follow-up regarding CPC candidates.

Sudbury Historical Society – History Center & Museum – Loring Parsonage Project – Discussion

Sudbury Historical Society Executive Director Sally Hild and Sudbury Historical Society President Stewart Hoover

At 8:50 p.m., Chairman Brown welcomed Sudbury Historical Society (SHS) Executive Director Sally Hild and President Stewart Hoover to the Meeting. The Board was previously in receipt of copies of a letter from Ms. Hild dated August 5, 2015, a letter from former Town Manager Maureen Valente to Sudbury Historical Society Secretary Ruth Griesel dated December 4, 2013, an email from Director of Planning and Community Development Jody Kablack to Ms. Hild and Mr. Hoover dated September 3, 2015, and a

handout prepared for the State Tourism Office entitled "Loring Parsonage Restoration and Repurposing Line Item 7008-0900 Commonwealth of Massachusetts FY State Budget Project Description."

Mr. Hoover stated the Society came before the Board last year to present its plans for a Town History Center and Museum. Subsequent to that discussion, he stated the Society received a letter from former Town Manager Valente stating the Board would consider negotiating a lease for use of the Loring Parsonage if the feasibility study deemed the project to be possible. Mr. Hoover stated the feasibility study provided positive feedback, and the Loring restoration was estimated at approximately \$1 million. He stated the Society has recently received confirmation of State funds for \$290,000. In addition, Mr. Hoover stated there are funds held by the Town related to the Harry Rice and Wood-Davison Trusts. The Society will request CPC funding, and it plans to initiate a capital fundraising campaign. He stated the Society would like to request tonight that the Board begins negotiations for a lease of the Loring Parsonage with the Society, and to request that Town Counsel begins the steps necessary to make the Trust funds held by the Town accessible to the Society for this project.

Town Counsel Barbara Saint Andre stated the Rice funds were left in a will for a purpose which is closely aligned to the proposed project. She described the process to pursue the funds with the Probate Court, which would include an explanation that this project is as close as possible to the intent of the deceased (the will required the artifacts be housed in a fireproof building, which is not the case at the Loring Parsonage). Town Counsel Saint Andre further stated the Wood Davison funds were donated by many individuals for a purpose which is not as closely aligned to this project, and the funds were not left as part of a will.

Mr. Hoover asked if the Society could research the history related to the Wood Davison funds to share with Town Counsel. Town Counsel stated it could, and that any information obtained would be helpful for her to review.

Selectman Woodard asked how much money is in the two Trusts. Interim Town Manager Bilodeau stated there is approximately \$76,000 in the Wood-Davison Trust and approximately \$171,000 in the Rice Trust.

State Representative Carmine Gentile stated the \$290,000 in State funds was already voted and it needs to be spent prior to June 30, 2016, or the funds are lost. He explained the Society would receive the money in 25% increments, and that the first disbursement needs to be spent before receiving the second disbursement. Representative Gentile stated the first payment is expected to be disbursed in the next few weeks. It was suggested the Society needs a lease for the building before it can start spending funds on it.

In response to a few questions from Selectman Woodard, Mr. Hoover stated the Planning and Community Development Office believes the Society needs to work with the Permanent Building Committee (PBC) through the public procurement process, which can be long. It is estimated that construction would not be able to begin until March 2016. Mr. Hoover also stated the Society would probably have enough money to stabilize the building, and then it could pursue additional funding later in the process.

Selectman Haarde clarified there seems to be approximately \$540,000 in funds available for the project. He believes the Town should safeguard its artifacts and that the building should be brought up to fire codes as much as possible to fulfill Mr. Rice's wishes. Mr. Hoover stated these standards would be part of the RFQ.

Chairman Brown summarized the process to be pursued with the PBC, noting the lack of funds appears to be holding up the process. She asked if there is a plan. Chairman Brown also stated accessing the Rice funds could take a few months and the Wood Davison funds are not a sure thing. Mr. Hoover explained there is a general plan and there is a line item cost estimate based on prevailing wages.

In response to a question from the Board, Interim Town Manager Bilodeau stated \$290,000 might be enough for design work, but the project cannot go out to bid unless all the funds are available.

Selectman Woodard stated he had thought the Town Hall Blue Ribbon Committee was going to discuss the Loring Parsonage as part of a larger plan for the Town Center buildings. Chairman Brown stated she also thought this was the case.

Ms. Hild stated she is on the Town Hall Blue Ribbon Committee and the buildings are being discussed in tandem.

Vice-Chairman Iuliano asked what the next steps are with the PBC. Mr. Hoover stated it would be to put the design out to bid and then to go to construction drawings. He also noted another alternative would be to do the project in two phases.

Mr. Hoover asked if the project would move along faster, if the Society had a lease for the building. He also asked if the project must follow the public procurement laws process, and Interim Town Manager Bilodeau stated it would.

Selectman Simon asked what the next step should be. Mr. Hoover stated they would like to begin to negotiate a lease arrangement.

Chairman Brown noted negotiation discussions would need to be conducted in Executive Session.

Town Counsel Saint Andre stated the law allows for a 30-year lease, after which it would need to be brought before Town Meeting again.

Selectman Haarde asked where the State funds will go. Representative Gentile stated they would be sent directly to the Society. Selectman Haarde urged the Society to work with the PBC which will help to identify and prioritize how the money should be spent.

Selectman Woodard reiterated he thought the Town Hall Blue Ribbon Committee was also considering the use of the Loring Parsonage, but he added that the State grant, with its deadline, meant we needed to act on this request now. He noted that, if the Town enters into a lease agreement, there would be funds needed for ongoing maintenance and utilities. Selectman Woodard asked if there is a budget for these items, and whose responsibilities they would be.

Mr. Hoover stated a proposed business plan was prepared a year ago, and it can be reviewed to see if it is still realistic. He also stated the proposed Visitor Center would be an asset for the Town, and providing this useful service for the community should be taken into consideration.

Selectman Haarde stated Sudbury has a rich history, and he is glad to work with the proponents. He believes the project will attract many benefactors, who will contribute to a fundraising campaign.

Chairman Brown summarized the Society will receive approximately \$72,000 in two weeks from the State, but the money cannot be spent on the Parsonage yet. Thus, a lease agreement with the Town is requested, and the Society also requests Town Counsel proceeds with the appropriate legal work needed to access the Rice and Wood Davison funds.

Selectman Simon asked if the Society has financial resources available to hire an attorney. Mr. Hoover stated not really, and that the Society's emergency funds are limited to approximately \$30,000.

It was on motion unanimously

VOTED: To begin the negotiation process with the Sudbury Historical Society to enter into a lease agreement for the use of the Loring Parsonage as a History Center and Museum.

It was also on motion unanimously

VOTED: To authorize Town Counsel to take the legal steps needed to file an action in Probate Court to access the Harry Rice Trust funds, and to continue the legal research and steps needed to be able to access the Wood-Davison Trust funds.

It was further on motion unanimously

VOTED: To authorize the Permanent Building Committee to begin to work with the Sudbury Historical Society on plans to repurpose the use of the Loring Parsonage for a History Center and Museum, pending negotiations of a lease agreement between the Society and the Town.

Town Counsel – Policy for Accessing Services – Discussion and Vote

At 9:30 p.m., Chairman Brown opened a discussion regarding the draft policy for accessing Town Counsel services. The Board was previously in receipt of a memorandum from Vice-Chairman Iuliano dated August 31, 2015, the revised draft dated September 8, 2015, incorporating proposed language to address previous concerns expressed by Selectmen Simon and Haarde and the highlighted and red-lined versions of the “Policy on Access to Town Counsel and Confidentiality of Attorney-Client Communications.” In addition, Vice-Chairman Iuliano distributed copies tonight of Selectmen Haarde’s and Simon’s suggested edits, and a new revised version of the draft Policy.

Vice-Chairman Iuliano summarized Section A regarding boards, commissions and committees other than the Board of Selectmen. She stated she does not believe the Policy should allow unfettered access to Town Counsel by these groups. To avoid potentially confusing situations, she believes inquiries would be best communicated by the Chair, and by individual members, if it were approved by the board/committee.

Selectman Haarde stated he believes the new Policy presents a lot of process and regulations where there were none before. He also stated he has issues with the attorney-client privilege section because he believes it established two standards of committee/board membership. Selectman Haarde stated he might be inclined to obtain his own private counsel to ensure the benefit of privileged communications.

Vice-Chairman Iuliano stated the attorney-client privilege with Town Counsel is with the Town of Sudbury.

Selectman Woodard stated Town Counsel is a finite Town resource, and it is in the Town’s best interest to get the highest and best use of her time.

Selectman Haarde suggested Town Counsel could let the Board know if she were to feel inundated.

Selectman Simon emphasized other boards/committees would be requesting Town Counsel’s assistance regarding Town business, and he believes it is appropriate for the Chairs to pursue the information, on behalf of their groups.

Introduction

This scope describes the renovation of the 19th century Loring Parsonage, removal of a mid-19th century ell and construction of a new ell, a two story linking entry and elevator core and a two story barn with meeting space, restrooms and second floor storage for archives and 3-dimensional historic materials.

For purposes of this outline scope the existing two story portion of the building to remain will be called the Main Block, the 1-story restroom and entry will be the Existing Shed, the two story portion being removed is the Existing Ell, its replacement is the New Ell, there is an Elevator and Entry Wing and finally the "Barn" which houses the meeting space on the first floor and the archives on the second floor.

This will be a publicly bid job – think Union rates for labor.

The accompanying site plans are 1:20 scale.

The floor plans are 1/8" = 1'-0"

All plans are formatted to print on 11x17.

Exterior

Site work:

- New one-way drive 18-width, 150' length – asphalt pavement. (Set price aside as an alternate).
- Regrade for new construction. From driveway to new entry 2% slope maximum,
- At courtyard behind Main Block and outside the Barn to reduce cross slope to 5% max (cut and fill – 25 cubic yards – assume use of material from Barn excavation). (Set price as an alternate).
- Excavate for new construction, New Ell to have full basement, full basement and elevator pit under south end of Entry Wing, slab on grade at "Barn" (note barn will be slightly "bank-built" into slope on north elevation.
- Added drywells, drainpipes for roof run-off control (under regraded yard) – assume CulTec, 1275 cu. Feet of storage – 760 square feet of bed area.
- Remove 20" maple tree and roots.
- 6" Loam and hydro seed full site (between parking, highway, driveway and Town Hall parking) – 2400 s.f..
- Trench for new water line for Fire Protection Sprinkler – assume 150' length.
- Restore concrete walkways disturbed by construction – 150 square feet.

Demo:

- Existing Ell – 2-story, 16' x 20'
- Existing 1-story shed roofed restroom and entry on east side of Parsonage 7x12

- Existing drywell in rear yard-assume 36-inch diameter

Concrete:

- Full height basement/foundation walls for New El 16'x20', south end of Entry Wing with elevator control, elevator pit, access – 25'x15'
- Slab on grade with perimeter frost wall for north end of Entry Wing. 25x20 and 42'x30'
- Slab on grade with perimeter frost wall extended above floor height 3' along north and partial east and west walls to retain bank – 42' + 20' lengths.
- New sidewalks – 150 l.f. asphalt paved, 5' sidewalks.
- Thick parge coat on exposed concrete foundations of new construction – 400 s.f..

Wood, Plastics, Composites:

- Stiffen Main Block second floor framing with flitch plates installed from above (requires removal of plank floor to access tops of beams for concealed flitch plate installation) – assume 8 beams at 20' lengths and posts (16) buried in first floor walls (will be concealed behind plaster).
- Reconstruct sills and first floor post in southwest corner of Main Block 12' each direction
- Reconstruct sills and first floor post in southeast corner of Main Block 8' each direction.
- Sister all beams supporting first floor framing Main Block. 8 beams at 12' lengths.
- Install 10 new steel posts on new footings (existing flooring has dust slab).
- Exterior trim on new construction to be pre-primed, painted wood, cedar or other rot resistant wood.
- NOTE: Parsonage siding and trim to remain – infill at removed shed only new siding.
- Beveled siding 3-3/4-inch exposure on New Ell and Entry Wing.
- Natural pre-dipped white cedar shingles on "Barn" – 4-1/2-inch exposure.
- Porch has painted fir decking and painted trim and posts – simple brosko or similar.

Thermal & Moisture Protection:

- At new gable roofs, galvanized round downspouts and half round galvanized 4" gutters linked to new drywells under courtyard at new construction.
- Wood shingle roofs on New Ell and Entry Wing on wood strapping over felt with ice and water at edges, ridges and valleys.
- Metal roof on "Barn", factory finished, raised lock seam.
- New construction, closed cell spray foam insulation (allow time for shutdown of interior access to job during application).
- Building wrap or zip-system boards as part of sheathing.
- Rigid insulation on inside face of new foundations (with 1x3 nailers for installation of board over face for protection in basements) at slab on grade and full foundation and under slab for slab on grade construction.
- Acoustic insulation at all new partitions.

Openings:

- SDL windows with bronze spacers, wood exterior and interior, preprimed, at new construction.
- Exit door at "Barn" painted, insulated steel- panic hardware, ball bearing hinges, lever on exterior.
- Double doors from "Barn" to yard – glazed French doors, no muntins, panic hardware, closers, coordinators.
- Sliding barn doors on exterior – board and batten doors, overhead door hardware, interior lock.
- Entry doors – Entry Wing (2 doors – 1 into entry vestibule, 1 into entry space) – 4 Panel doors with glazed upper panels with closers, ballbearing hardware, lever exterior and panic interior hardware interior, locking. Weatherstripping.
- Interior doors (New structures) – panic hardware on door out of "Barn" first floor assembly room into gift shop and into stairway. All doors lever sets. Closers on elevator mechanical and restrooms. Ballbearing hinges. Door silencers. Wood frames in public spaces, painted.
 - Stile and rail flat panel on first and second floor
 - Painted steel 90- min rated doors and frames in basement
- Interior doors (Existing) Assume removable jambs required at all room doors. Closet doors need not be altered.

Finishes:

- Paint all exterior woodwork – new and old.
- Paint all interior woodwork – new and old.
- Repaint wood floors, set raised nails.
- Tile floor at Entry Wing first floor entry vestibule and entry room.
- Carpet at New Ell first and second floors, second floor Entry Wing – 36 oz. tufted weight Atlas carpets.
- Carpet in Barn meeting room 36 oz. tufted weight Atlas carpets.
- VCT in Barn storage, mechanical space, restrooms, kitchenette.
- Walls in new construction plaster skim.
- New stair between first and second floor of New El will be open. Wood treads – clear finish, painted risers (red oak treads and risers), wood balusters (painted), wood handrail – clear finish with radiussed returns.
- New stair between basement and first floor of New Ell will be enclosed, Rubber treads and risers, handrail – painted metal with metal brackets
- New stair between first and second floor of Barn will be enclosed, rubber treads and risers, handrail both sides – painted metal with metal brackets.

Miscellaneous interior:

- Stainless steel handicap hardware in restrooms.

- Recessed paper towel, trash in restrooms
- Clear finish wood high/low MAAB ramp handrails both walls along interior ramps at first and second floor of entry wing – each ramp 12' long.
- In kitchenette - Laminate countertop, stock cabinets above and below, undercounter refrigerator, elkay or similar stainless steel sink and faucet.

Electrical:

- 4 exterior WP convenience receptacles
- Site lighting – allow for conduit for building lighting and path lighting at Entry Wing, outside “Barn” and along new sidewalk.
- 400 amp service to building.
- New wiring throughout existing.
- Typical commercial level electrical distribution throughout interior.
- Allowance of \$5 s.f. for lighting in interior.

Plumbing:

- 4 frost free hose bibs at exterior.
- Plumbing and fixtures – wall hung sinks, floor mounted toilets, two single use handicap restrooms, connection to domestic water and sanitary connection to site septic system (existing sanitary piping exits building to south).
- Boiler piping.
- Condensate drainage from air handlers.
- Sink for kitchenette, connection to domestic water and sanitary connection to septic system (no food prep.)

Fire protection

- Dual sprinkler system. Dry for Main Block (existing). Wet for new construction.

Elevator:

- 3-stop, two door (front to back), electric elevator in shaftwall construction – light gauge metal, hoistbeam., exterior sidewall louver for ventshaft with fire actuated louver mechanism.

HVAC:

- Hot water heat throughout. Use existing fuel oil boiler. New distribution.
- Air conditioning in new construction only.

Electrical:

- In basement, new protected porcelain fixtures – mounted to framing – with switches (10). Convenience receptacles. (10), assume power to basement air handler for EII cooling. Power for dry sprinkler compressor.

- In attic of Barn and Parsonage (2) convenience receptacles each attic, (6) lights each attic, power to assumed air handler in attic of Barn for cooling.
- New addressable FA system.
- Burglar alarm system.
- Lighting protection system.
- Timer for exterior lighting.

SP100

SUBBURY HISTORICAL SOCIETY

EXISTING SITE PLAN

Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

Date: _____
 Drawn By: _____
 Checked By: _____
 Project Number: _____

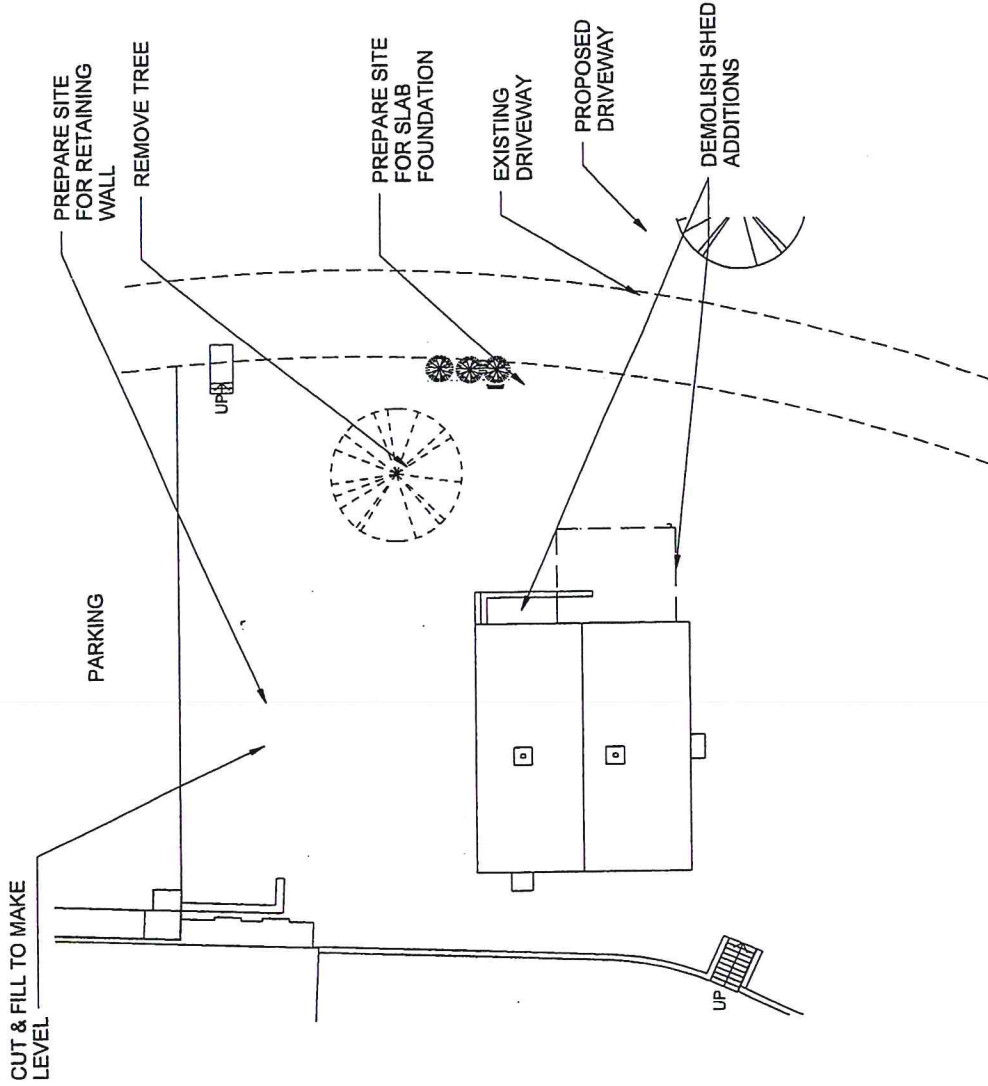
9.3.2014
 Author: _____
 Checker: _____
 1408.00

REVISIONS:

SPENCER & VCGT GROUP

DRAWING LIST

- SP100 EXISTING SITE PLAN
- SP101 PROPOSED SITE PLAN
- A100 BASEMENT PLAN
- A101 FIRST FLOOR
- A102 SECOND FLOOR
- A102 ROOF PLAN
- EX100 EXISTING BASEMENT
- EX101 EXISTING FIRST FLOOR
- EX102 EXISTING SECOND FLOOR
- A900 VIEW - SOUTHEAST FACADE
- A901 VIEW - SOUTH FACADE
- A902 VIEW - COURTYARD VIEW
- A903 VIEW - PARKING ENTRY
- A904 VIEW - BIRDS EYE VIEW



1 EXISTING SITE
 1" = 20'-0"

SP101

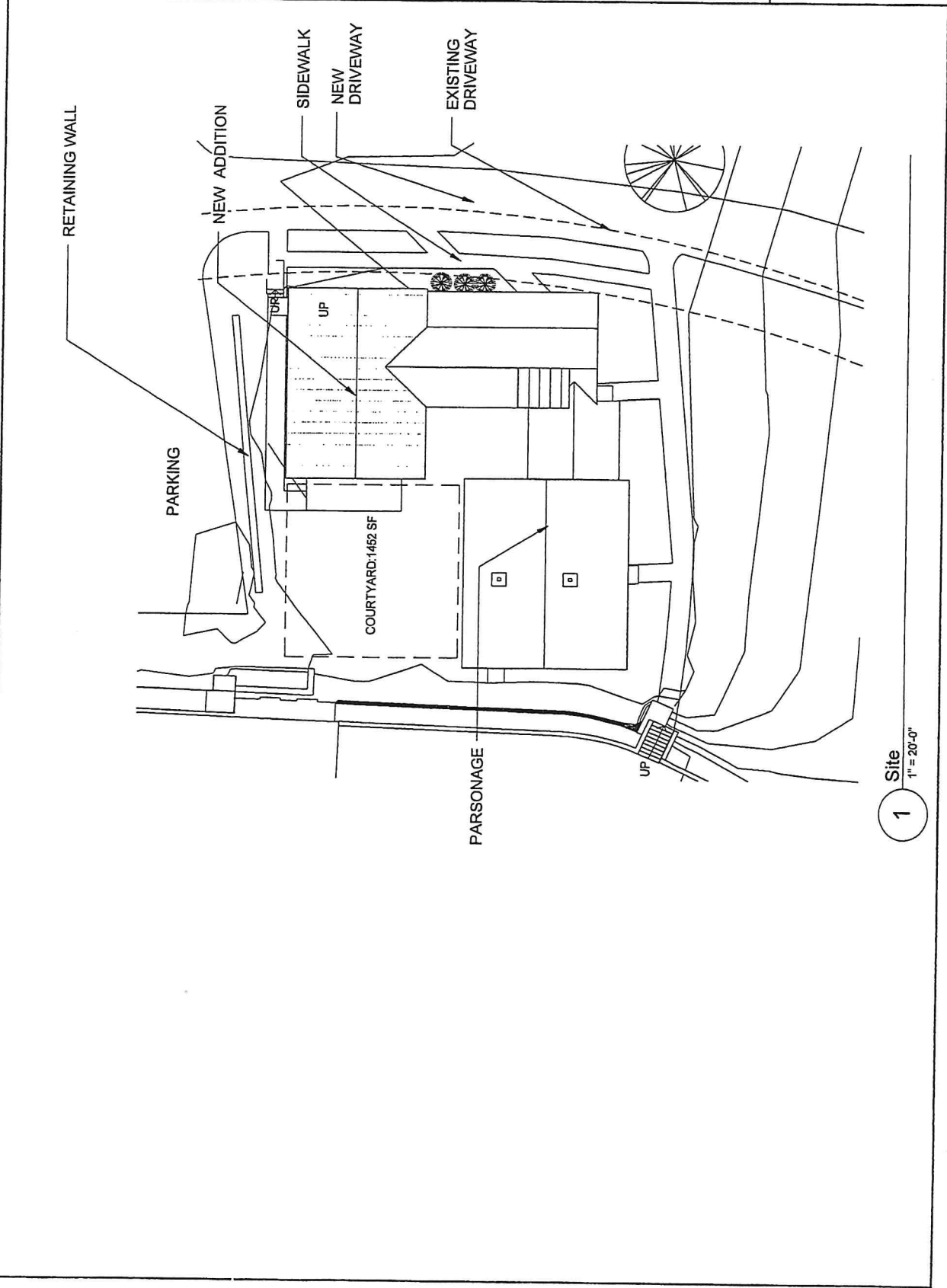
SUBBURY HISTORICAL SOCIETY

PROPOSED SITE PLAN

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Checked By: _____
Project Number: _____
Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

9.3.2014	Author
1408.00	Checker
	REVISIONS:

9.3.2014
Author
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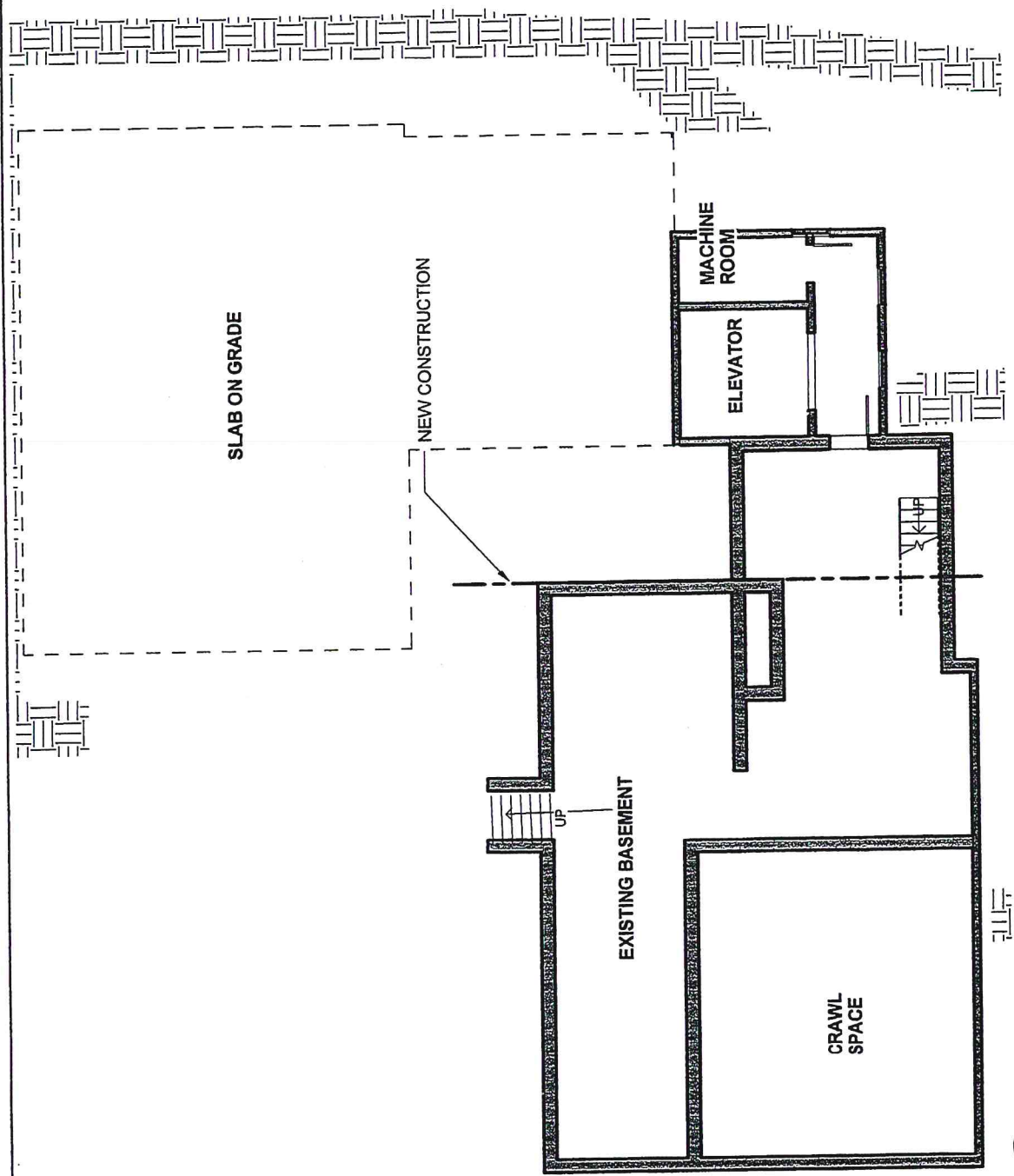
1 Site
1" = 20'-0"

A100

SUDBURY HISTORICAL SOCIETY BASEMENT PLAN

Date: _____
Drawn By: _____
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Project Number: _____
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Author: _____
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ISSUE: _____
SPENCER & VOGT GROUP

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1 BASEMENT FLOOR
1/8" = 1'-0"

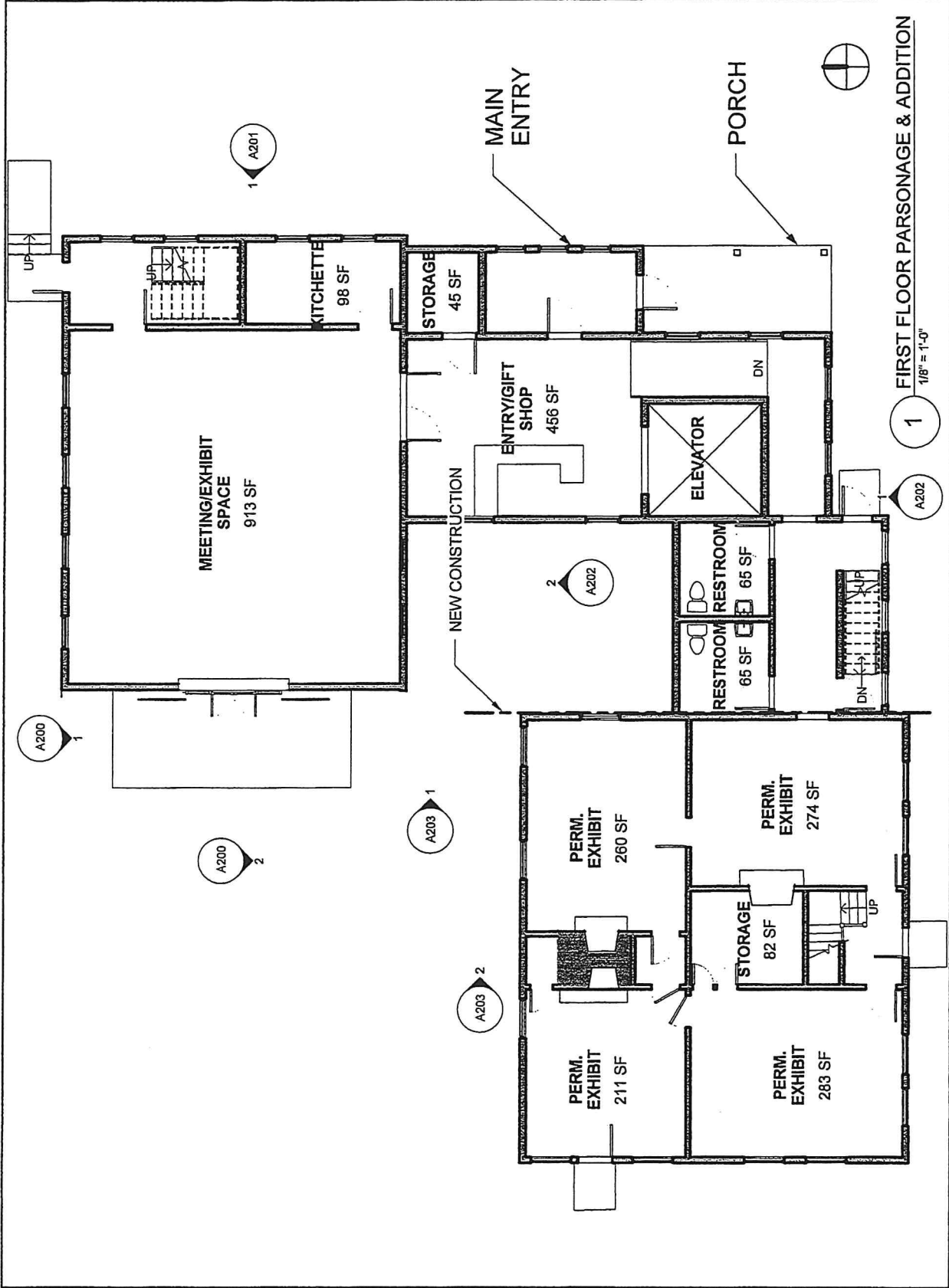
SADBURY HISTORICAL SOCIETY

A101

FIRST FLOOR PLAN

Date: _____
 Drawn By: _____
 Checked By: _____
 Project Number: _____
 Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

Issue: 9.3.2014
 Author: _____
 Checker: 1408.00
 Revisions: _____
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A102

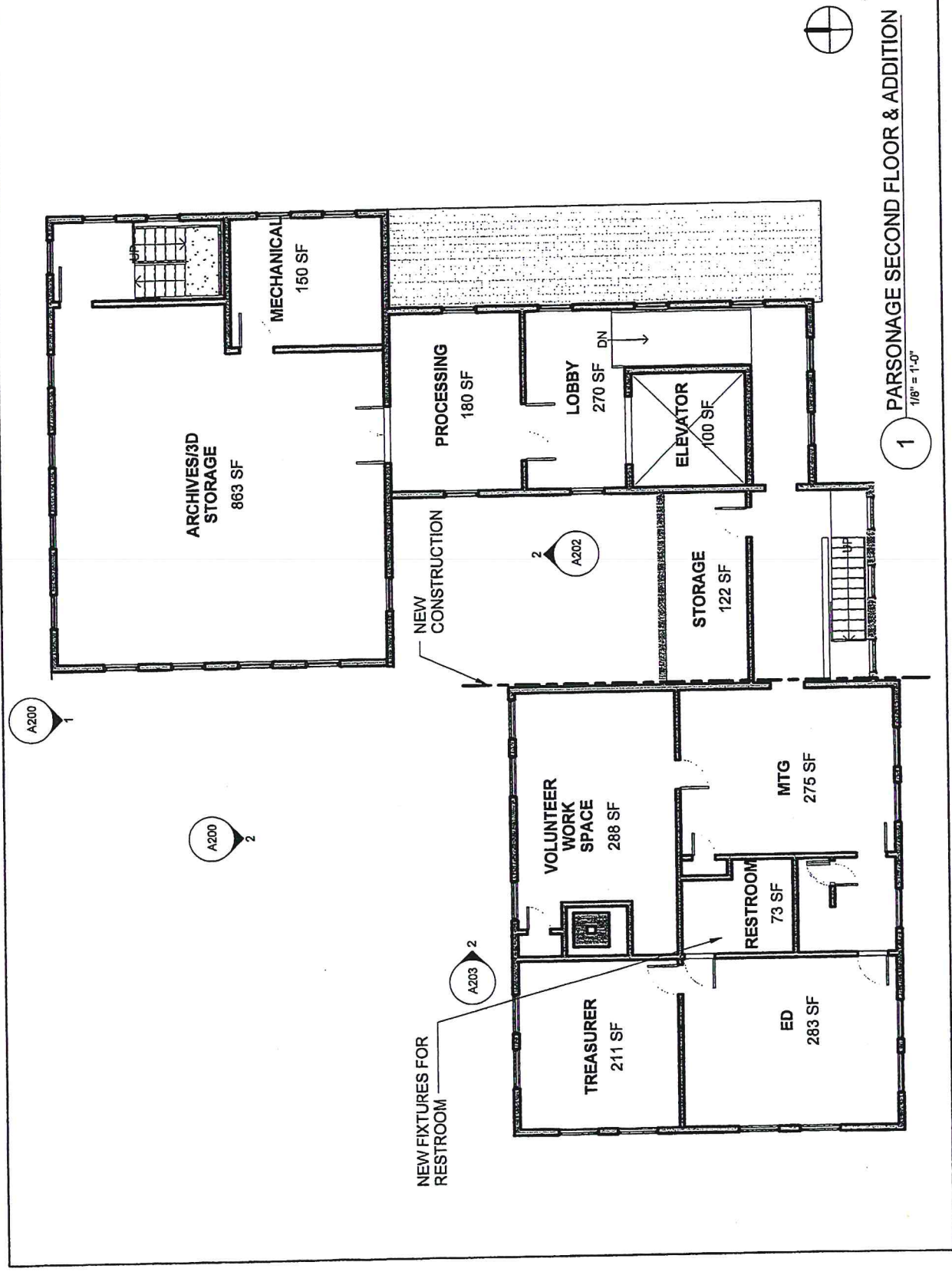
SUDBURY HISTORICAL SOCIETY

SECOND FLOOR PLAN

Date: _____
Drawn By: _____
Checked By: _____
Project Number: _____
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1 PARSONAGE SECOND FLOOR & ADDITION
1/8" = 1'-0"

A103

SUBBURY HISTORICAL SOCIETY

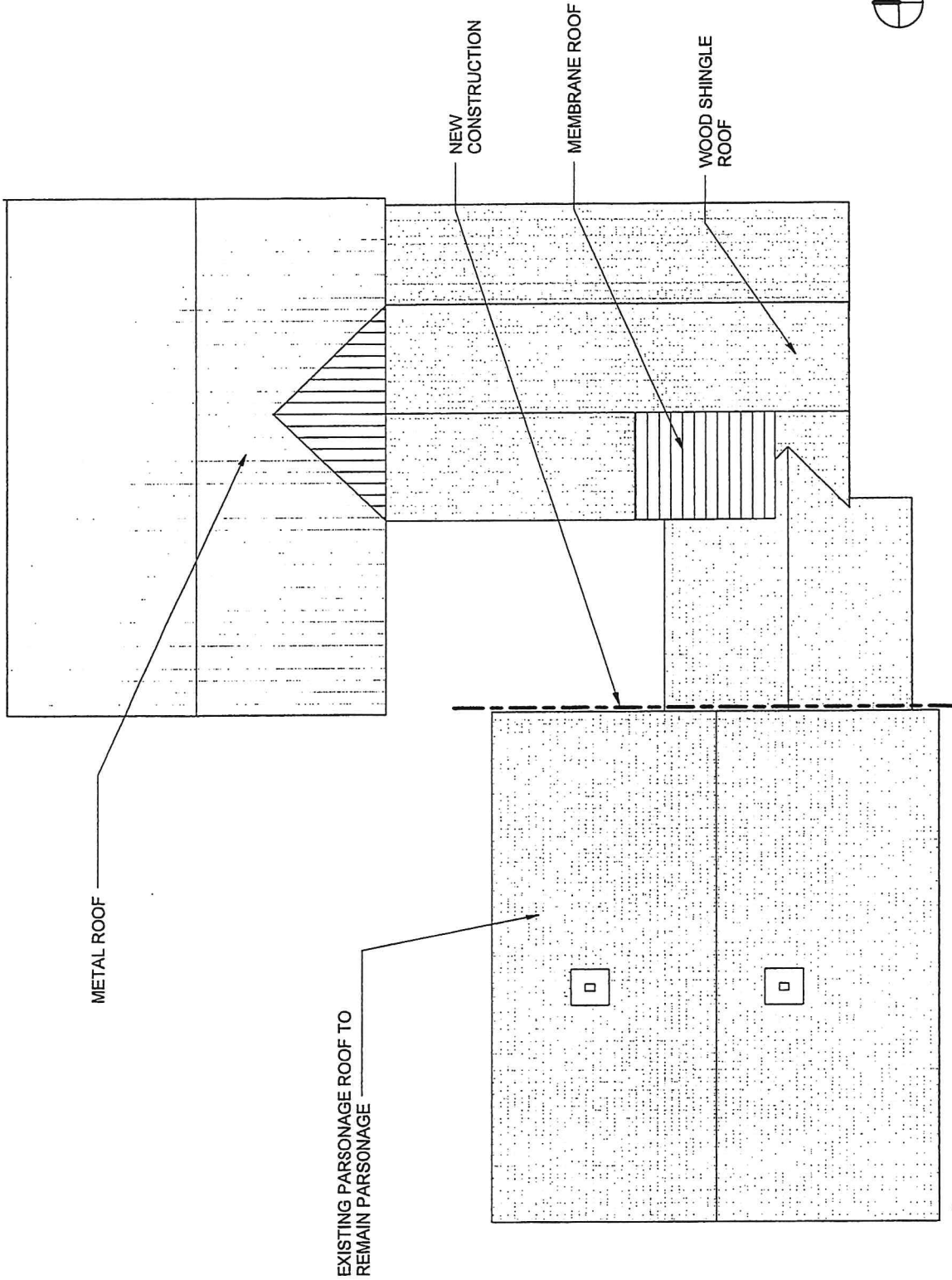
ROOF PLAN

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Project Number: _____
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Checker: _____
1408.00

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1 ROOF PLAN

1/16" = 1'-0"

A200

**SADBURY
HISTORICAL
SOCIETY**

NORTH ELEVATION

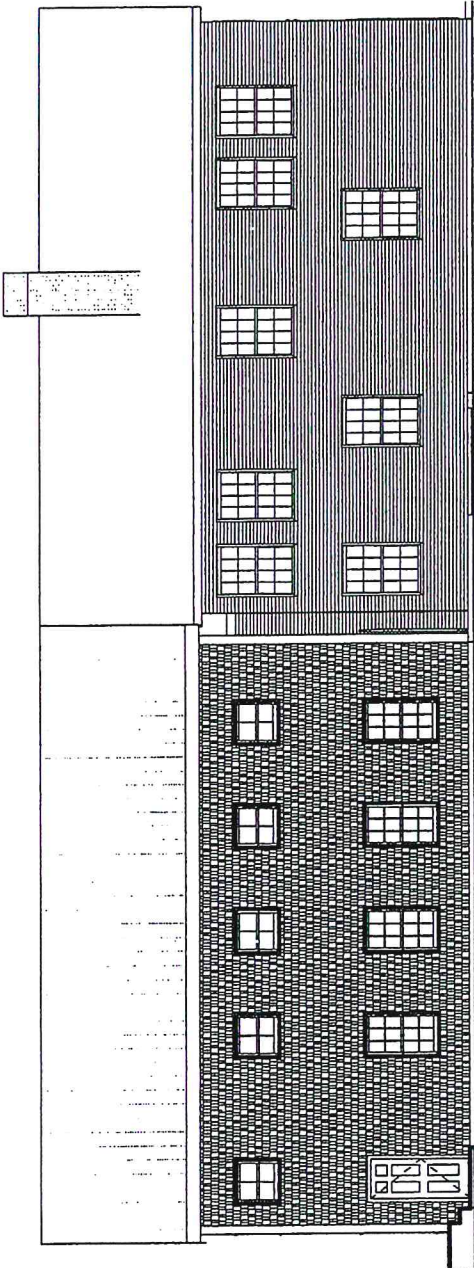
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 Project Number: _____

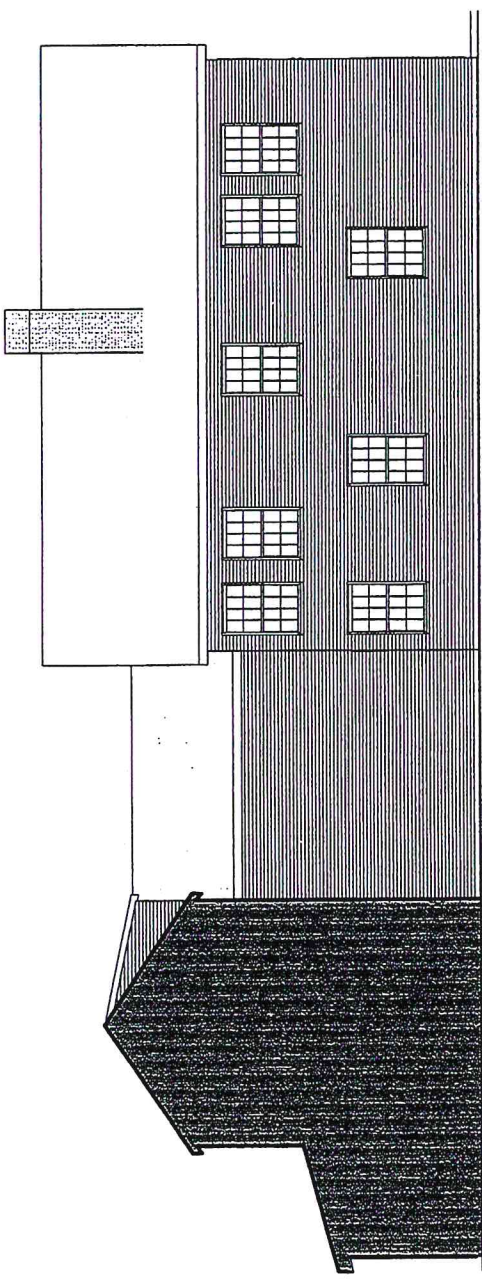
9.3.2014
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 1408.00

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SPENCER & VCGT GROUP
 ARCHITECTS
 123 MAIN STREET
 SUITE 200
 BOSTON, MA 02110
 TEL: 617.552.1234
 FAX: 617.552.1235



1 NORTH ELEVATION AA
 1/8" = 1'-0"



2 NORTH ELEVATION BB
 1/8" = 1'-0"

A201

SUBBURY
HISTORICAL
SOCIETY

EAST ELEVATION

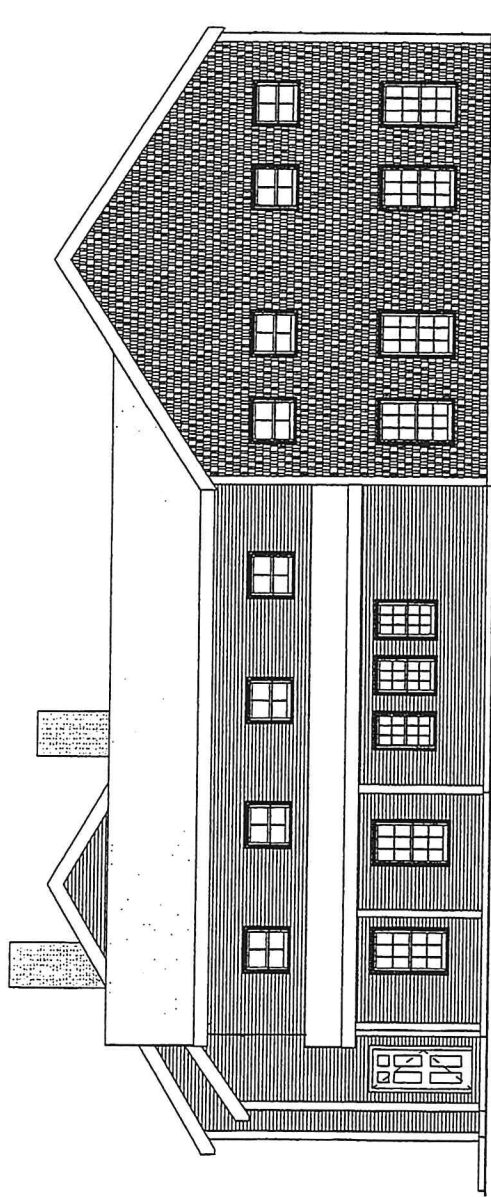
Do not scale the drawings. All
dimensions shall be confirmed
prior to construction. The contractor
shall immediately report any
discrepancies to the architect.

Date:
Drawn By:
Checked By:
Project Number:

9.3.2014
Author
Checker
1408.00

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1 EAST ELEVATION
1/8" = 1'-0"

A202

SUDBURY
HISTORICAL
SOCIETY

SOUTH ELEVATION

Date:

Drawn By:

Checked By:

Project Number:

Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

9.3.2014

Author

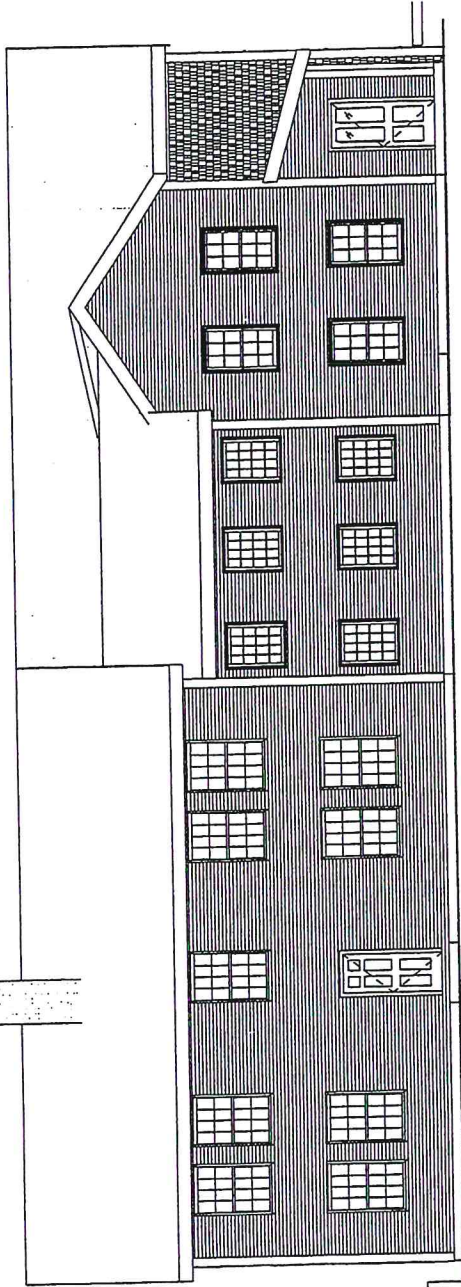
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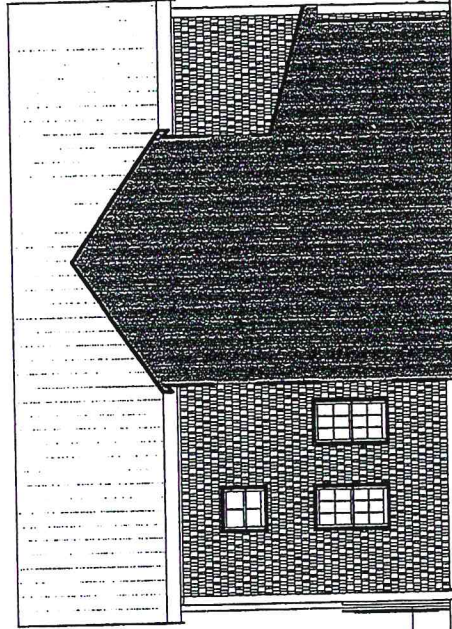
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1 SOUTH ELEVATION AA
1/8" = 1'-0"



2 SOUTH ELEVATION BB
1/8" = 1'-0"

A203

SUBBURY HISTORICAL SOCIETY

WEST ELEVATION

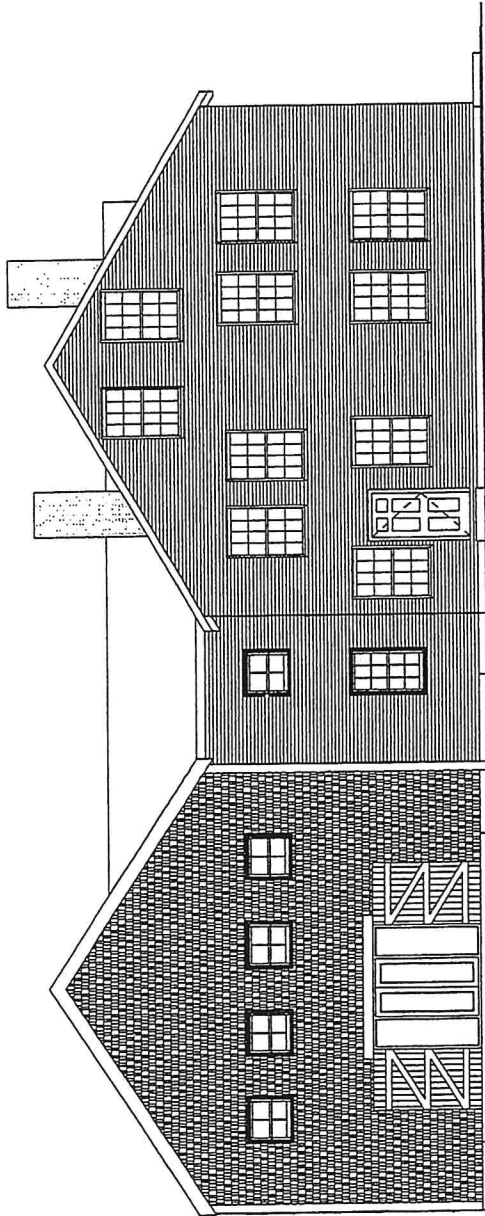
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Project Number:

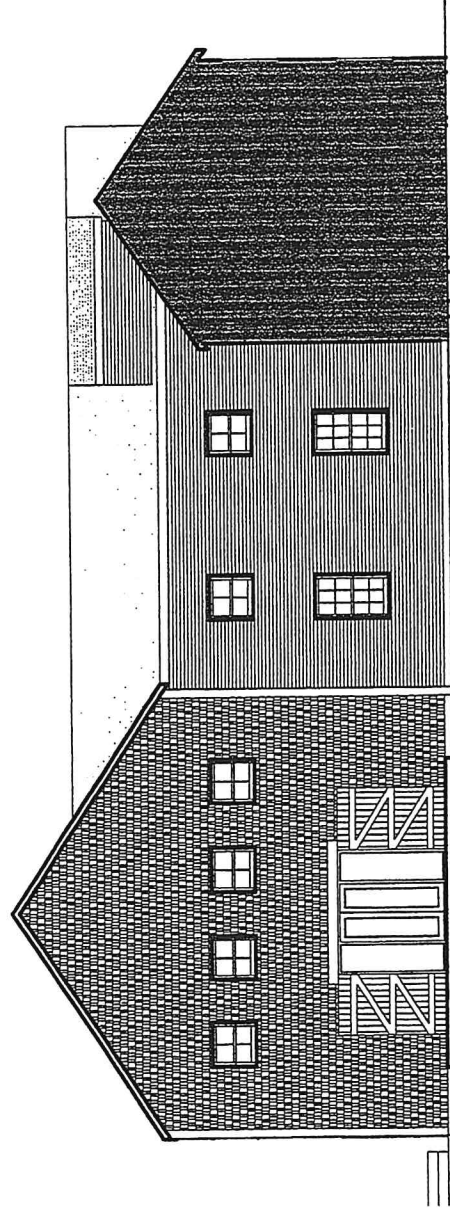
9.3.2014
Author
Checker
1408.00

REVISIONS:

SPENCER & VOGT GROUP
www.spencervogt.com
1000 Main Street
Newburyport, MA 01950
Tel: 978.351.1100



1 WEST ELEVATION AA
1/8" = 1'-0"



2 WEST ELEVATION BB
1/8" = 1'-0"

EX 100

SUBBURY HISTORICAL SOCIETY

PARSONAGE EXISTING
BASEMENT

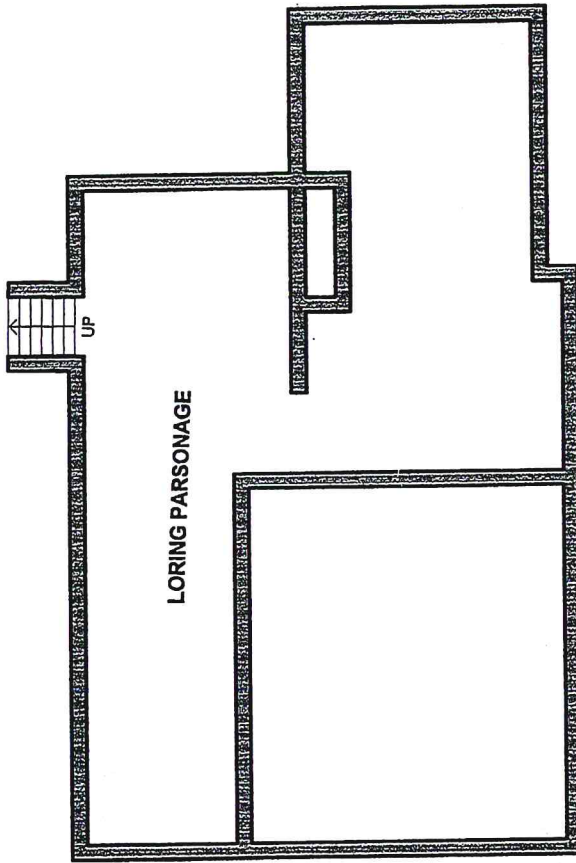
Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

Date: _____
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 Project Number: _____

9.3.2014
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1 PARSONAGE EXISTING BASEMENT

1/8" = 1'-0"

EX
101

SADBURY
HISTORICAL
SOCIETY

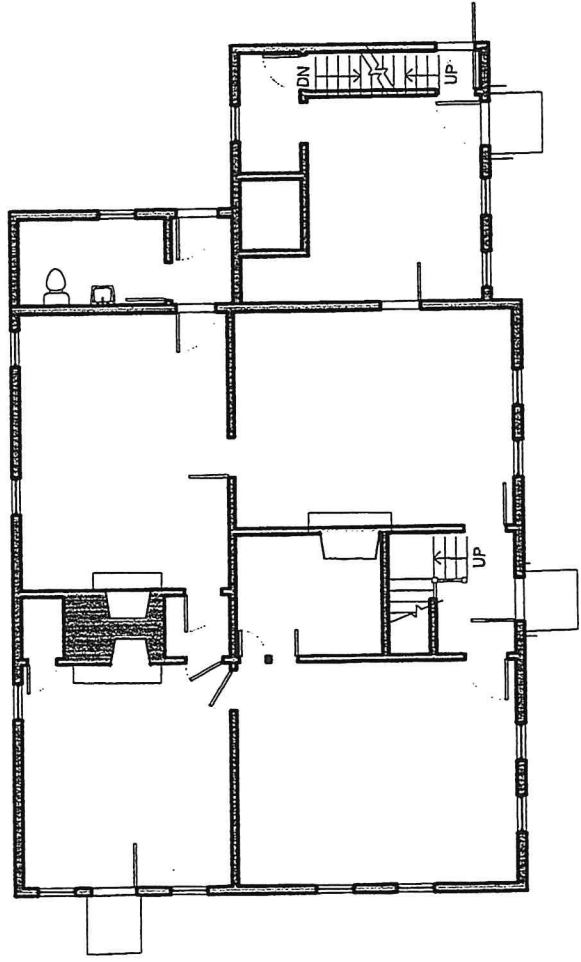
PARSONAGE FIRST
FLOOR EXISTING

Date:
Drawn By:
Checked By:
Project Number:
Do not scale the drawings. All
dimensions shall be confirmed
prior to construction. The contractor
shall immediately report any
discrepancies to the architect.

9.3.2014
Author
1408.00
Checker

REVISIONS:

SPENCER & VCOT GROUP



1 PARSONAGE FIRST FLOOR EXISTING
1/8" = 1'-0"

EX 102

SUBBURY HISTORICAL SOCIETY

PARSONAGE SECOND FLOOR EXISTING

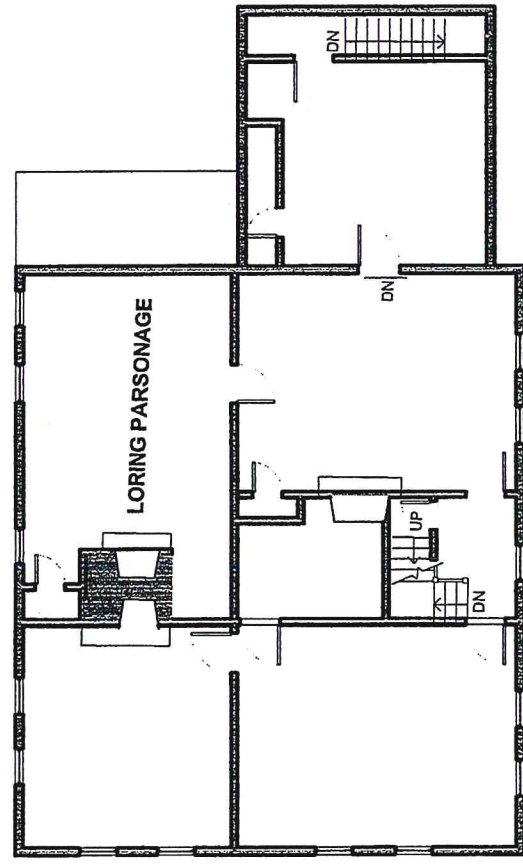
Date: _____
 Drawn By: _____
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 Project Number: _____

Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

9.3.2014
 Author
 Checker
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1 PARSONAGE SECOND FLOOR EXISTING
 1/8" = 1'-0"

A900

SUBBURY
HISTORICAL
SOCIETY

SOUTH EAST FACADE

Date:

Drawn By:

Checked By:

Project Number:

Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

1408.00

Checker

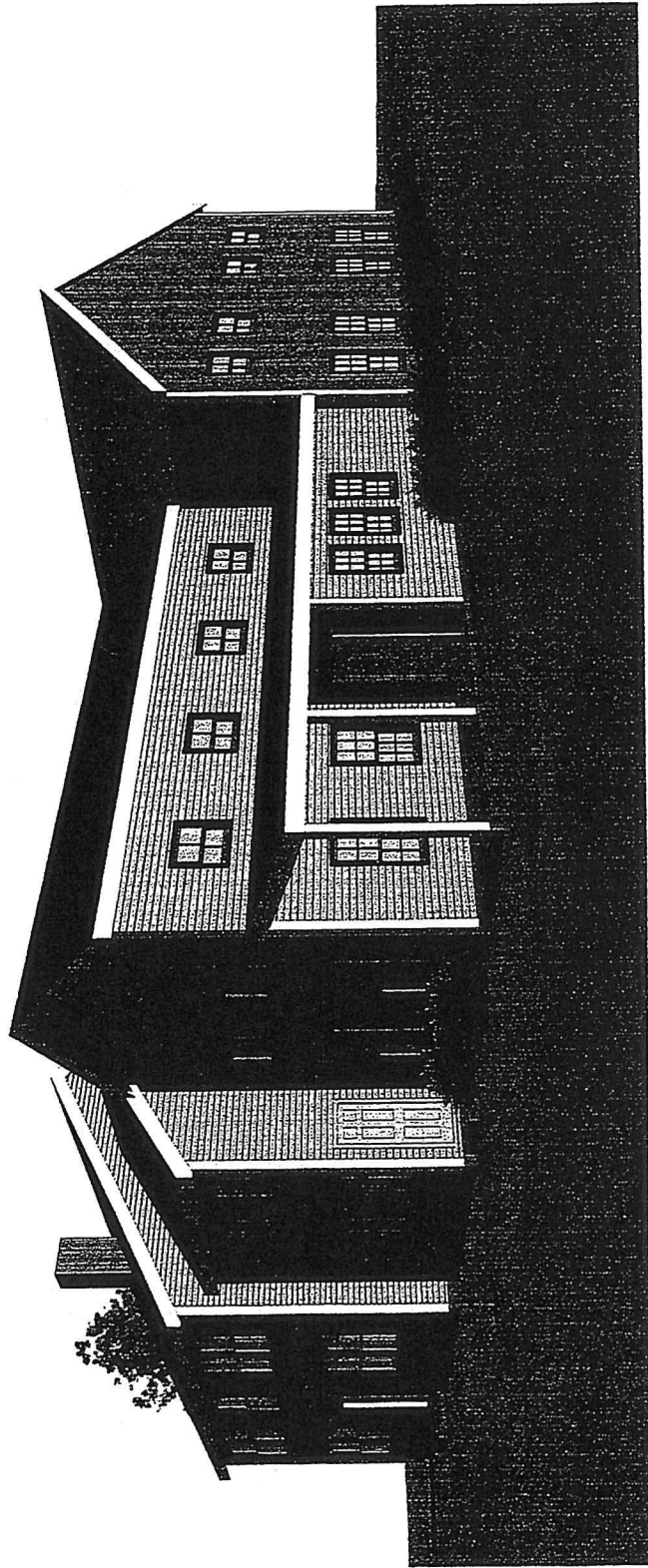
Author

9.3.2014

REVISIONS:

ISSUE:

SPENCER & VOGT GROUP



1 SOUTH EAST FACADE

A901

SUBBURY
HISTORICAL
SOCIETY

SOUTH FACADE

Date:

Drawn By:

Checked By:

Project Number:

Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

9.3.2014

Author

Checker

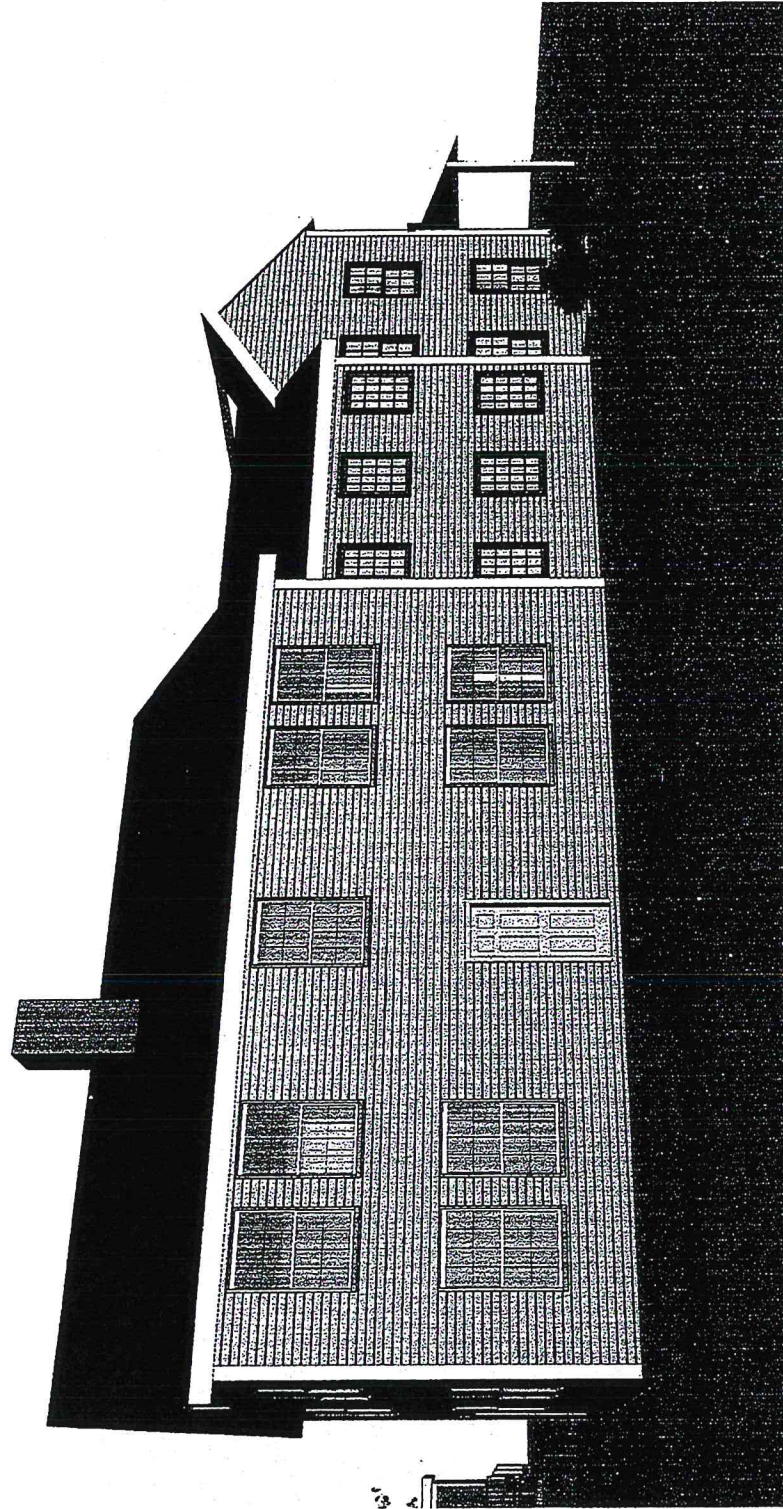
1408.00

REVISIONS:

ISSUE:

SPENCER & VOGT GROUP

Architect
1000
1000
1000



1 SOUTH FACADE

1

A902

SUDBURY
HISTORICAL
SOCIETY
COURTYARD VIEW

Date: _____
Drawn By: _____
Checked By: _____
Project Number: 1408.00

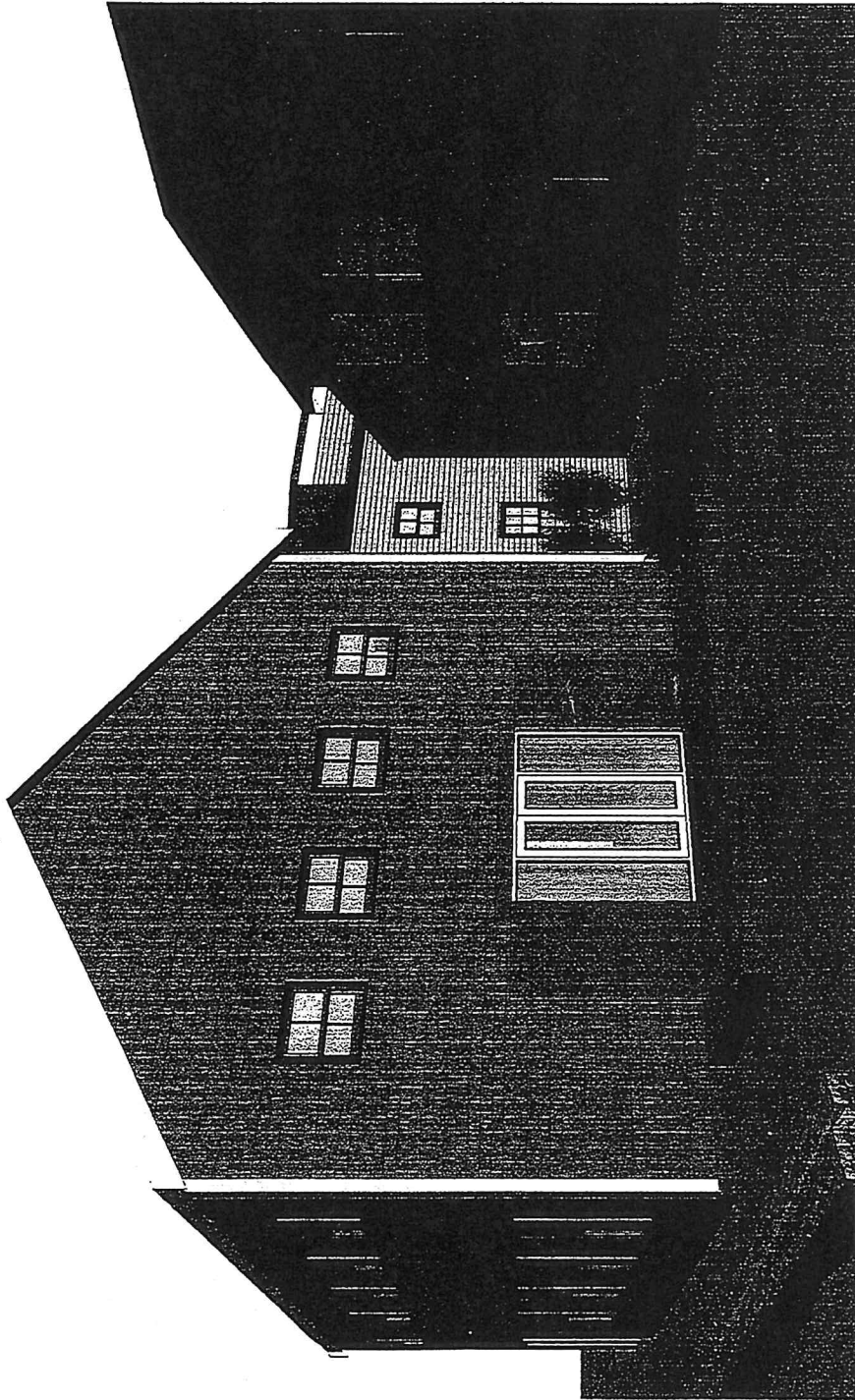
Author: _____
Checker: _____
1408.00

REVISIONS:

ISSUE:

SPENCER & VOGT GROUP

SPENCER & VOGT GROUP
ARCHITECTS
1000 WEST 10TH AVENUE
SUITE 100
DENVER, CO 80202
TEL: 303.733.8800
WWW.SVARCHITECTS.COM



1 Courtyard View

A903

SADBURY HISTORICAL SOCIETY

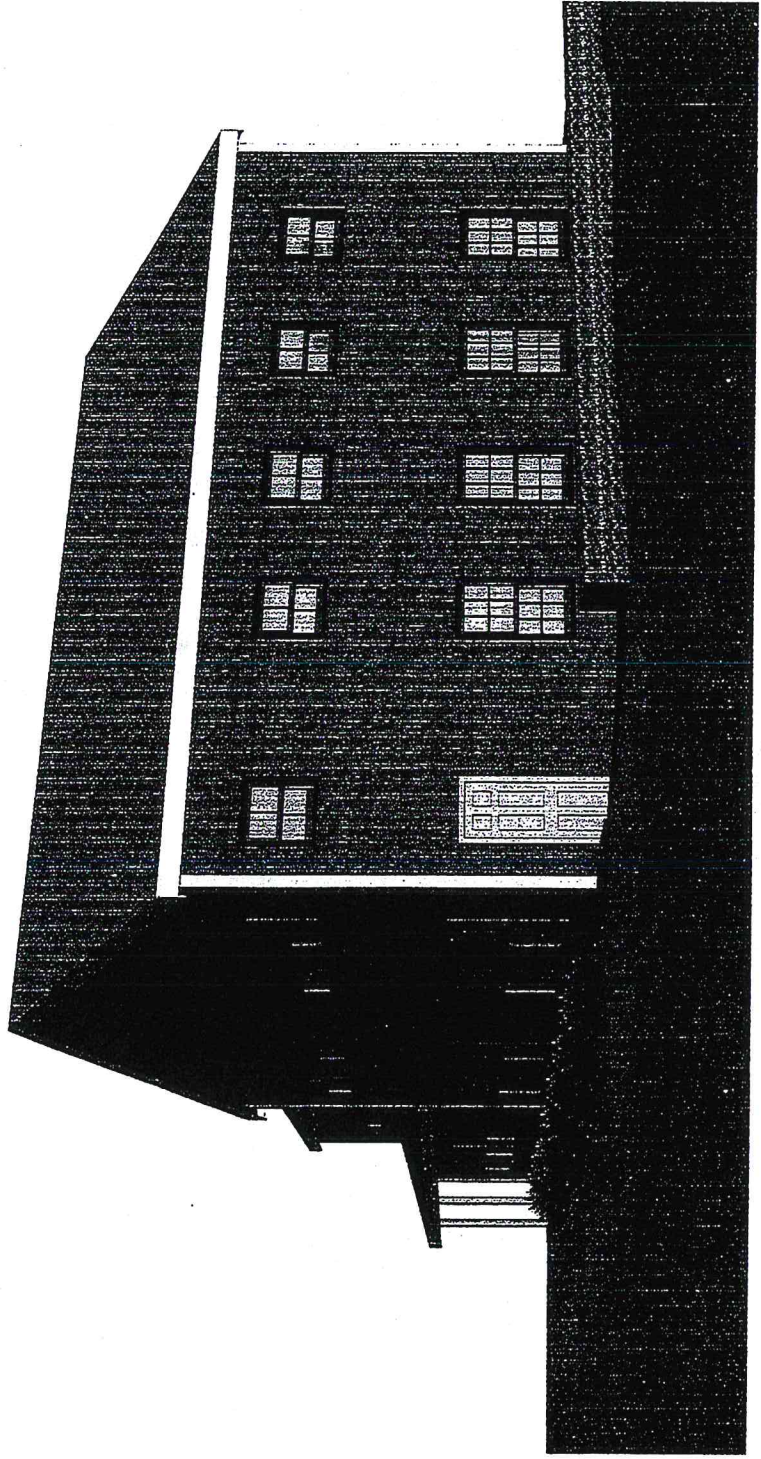
PARKING ENTRY VIEW

Date: _____
Drawn By: _____
Checked By: _____
Project Number: _____
Do not scale the drawings. All dimensions shall be confirmed prior to construction. The contractor shall immediately report any discrepancies to the architect.

9.3.2014
Author: _____
Checker: _____
1408.00

REVISIONS:

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1 PARKING ENTRY VIEW

A904

SUDBURY
HISTORICAL
SOCIETY

BIRDS EYE VIEW

Date:

Drawn By:

Checked By:

Project Number:

Do not scale the drawings. All
dimensions shall be confirmed
prior to construction. The contractor
shall immediately report any
discrepancies to the architect.

9.3.2014

Author

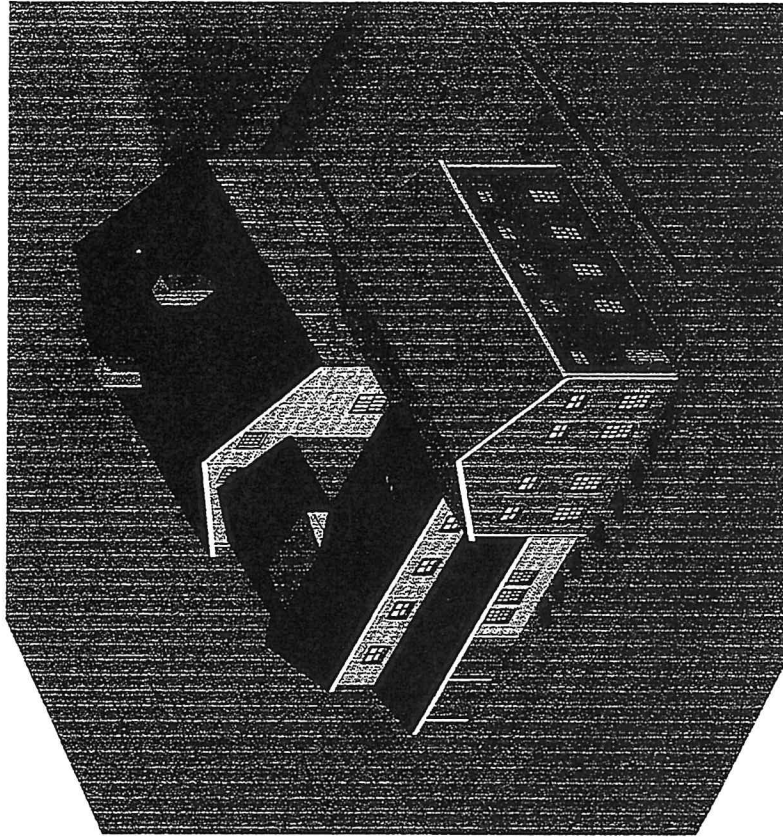
Checker

1408.00

REVISIONS:

ISSUE:

SPENCER & VOGT GROUP



1 BIRDS EYE VIEW

Loring Parsonage
Preliminary Budget Pricing

10/8/2014

ITEM	NO PHASING	PHASE ONE		PHASE TWO Barn and entry wing
		Historic	Rebuilt Ell	
General Conditions	\$51,200	\$46,000	\$0	\$40,000
Site work	\$68,800	\$11,000	\$11,000	\$46,800
Retaining Walls	\$35,000	\$0	\$0	\$35,000
Demolition	\$14,400	\$0	\$12,100	\$2,300
Concrete	\$47,800	\$5,500	\$16,500	\$25,800
Masonry	\$6,000	\$6,000	\$0	\$0
Metals	\$47,100	\$37,800	\$0	\$9,300
Wood & Plastics	\$170,000	\$21,800	\$42,510	\$105,690
Thermal & Moisture	\$139,500	\$0	\$27,250	\$112,250
Doors & Windows	\$91,200	\$5,200	\$11	\$85,989
Finishes	\$136,900	\$35,650	\$28,750	\$72,500
Specialties	\$3,000	\$0	\$3,000	\$0
Equipment	\$400	\$0	\$0	\$400
Conveying Systems	\$79,800	\$0	\$0	\$79,800
Plumbing	\$51,500	\$18,530	\$0	\$32,970
Heating	\$53,500	\$17,600	\$4,400	\$31,500
Air Conditioning	\$115,000	\$57,150	\$38,100	\$19,750
Electrical	\$122,200	\$77,700	\$11,100	\$33,400
Fire Alarm	\$34,500	\$27,000	\$0	\$7,500
Fire Protection	\$90,000	\$50,220	\$0	\$39,780
Security	\$6,500	\$5,750	\$0	\$750
TOTAL HARD COSTS	\$1,364,300	\$422,900	\$194,721	\$781,479
Contractor OH & P	\$204,645		\$92,643	\$117,222
TOTAL COST	\$1,568,945		\$710,264	\$898,701
Design & Engineering Fees	\$188,273		\$85,232	\$107,844
Permitting (other than building), legal and	\$20,000		\$18,529	\$23,444
Building permitting \$15/1,000 of constr	\$20,000		\$9,240	\$11,715
Contingency @15%	\$235,342		\$106,540	\$134,805
Furnishing and fittings	\$75,000	\$24,150	\$0	\$50,850
TOTAL BUDGET	\$2,107,560		\$953,955	\$1,227,359
	Escalation 5%	If Phase 2 is in 2016		\$1,288,727
	Escalation 5%	If Phase 2 is in 2017		\$1,353,163

Loring Parsonage
Preliminary Budget Pricing

10/8/2014

	PARSONAGE
ITEM	Historic
General Conditions	\$46,000
Site work	\$11,000
Retaining Walls	\$0
Demolition	\$0
Concrete	\$5,500
Masonry	\$6,000
Metals	\$37,800
Wood & Plastics	\$21,800
Thermal & Moisture	\$0
Doors & Windows	\$5,200
Finishes	\$35,650
Specialties	\$0
Equipment	\$0
Conveying Systems	\$0
Plumbing	\$18,530
Heating	\$5,500
Air Conditioning	\$0
Electrical	\$10,000
Fire Alarm	\$5,000
Fire Protection	\$1,000
Security	\$2,500
TOTAL HARD COSTS	\$211,480
Contractor OH & P	\$31,722
TOTAL COST	\$243,202
Design & Engineering Fees	\$29,184
Permitting (other than building), legal and hearings	\$20,000
Building permitting \$15/1,000 of construction	\$3,172
Contingency @15%	\$36,480
Furnishing and fittings	\$24,150
TOTAL BUDGET	\$356,189

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