

**NOTICE OF PUBLIC MEETING
SUDBURY CONSERVATION COMMISSION**
Monday, January 9, 2023 at 6:45 PM
Virtual Meeting

The Sudbury Conservation Commission will hold a public meeting to review the Request for Determination of Applicability filing under the Wetlands Protection Act and the Sudbury Wetlands Administration Bylaw to construct a sun porch within the 100-foot Buffer Zone at 2 Elmwood Avenue, in Sudbury, MA. Michael & Stephanie Elkort, Applicant. The meeting will be held on Monday, January 9, 2023 at 6:45 pm, via Zoom.

Copies of the application may be reviewed on the Conservation Department web page at:

<https://sudbury.ma.us/conservationcommission/meeting/conservation-commission-meeting-monday-january-3-2023/>

Please contact the Conservation Office with any questions at 978-440-5470.

SUDBURY CONSERVATION COMMISSION
12/23/22



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

| | | |
|------------------------------------|----------------------------|----------|
| Michael Elort and Stephanie Elkort | selkort@gmail.com | |
| Name | E-Mail Address | |
| 2 Elmwood Ave | | |
| Mailing Address | | |
| Sudbury | MA | 01776 |
| City/Town | State | Zip Code |
| 978 509 2156 | | |
| Phone Number | Fax Number (if applicable) | |

2. Representative (if any):

| | | |
|---------------------|-------------------------------|----------|
| Dillon Contracting | | |
| Firm | | |
| Michael Dillon | michael@dilloncontracting.net | |
| Contact Name | E-Mail Address | |
| 116 Sears Island Dr | | |
| Mailing Address | | |
| Worcester | MA | 01606 |
| City/Town | State | Zip Code |
| 508 735 8510 | | |
| Phone Number | Fax Number (if applicable) | |

B. Determinations

1. I request the _____ make the following determination(s). Check any that apply:
Conservation Commission
- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
 - b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
 - c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
 - d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:
Sudbury
Name of Municipality
 - e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



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C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

| | |
|---------------------------|-------------------|
| 2 Elmwood Ave | Sudbury |
| Street Address | City/Town |
| F04 | F04-0401 |
| Assessors Map/Plat Number | Parcel/Lot Number |

b. Area Description (use additional paper, if necessary):

Project to be conducted at rear of Residential single family lot.

c. Plan and/or Map Reference(s):

| | |
|-------|-------|
| _____ | _____ |
| Title | Date |
| _____ | _____ |
| Title | Date |
| _____ | _____ |
| Title | Date |

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Build sun porch in same footprint as existing deck off of back left side of house. Install 5 helical footings at deck location. Pitched roof to have gutters to divert run-off in appropriate directions. Machine used to install footings is minimally invasive and only requires a 36" path and 7' off clearance above to operate. There is no excavation nor any disturbance to trees or vegetation around the property.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 1- Request for Determination of Applicability

City/Town _____

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

According to records the house was built in 1997



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Michael and Stephanie Elkort

Name

2 Elmwood Ave

Mailing Address

Sudbury

City/Town

MA

State

01776

Zip Code

Signatures:

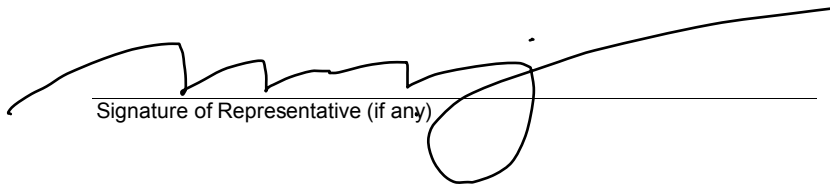
I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.



Signature of Applicant

12/12/2022

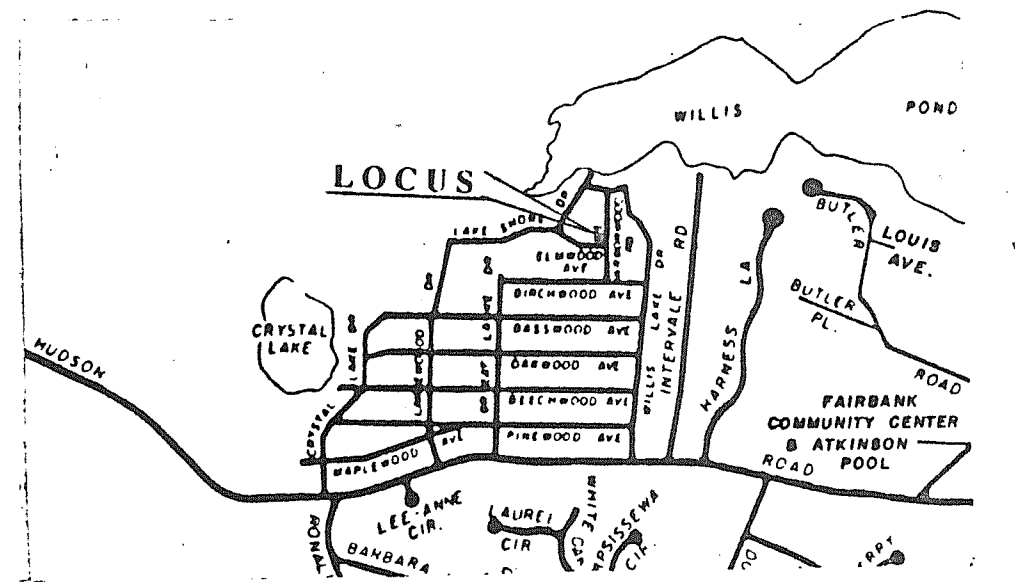
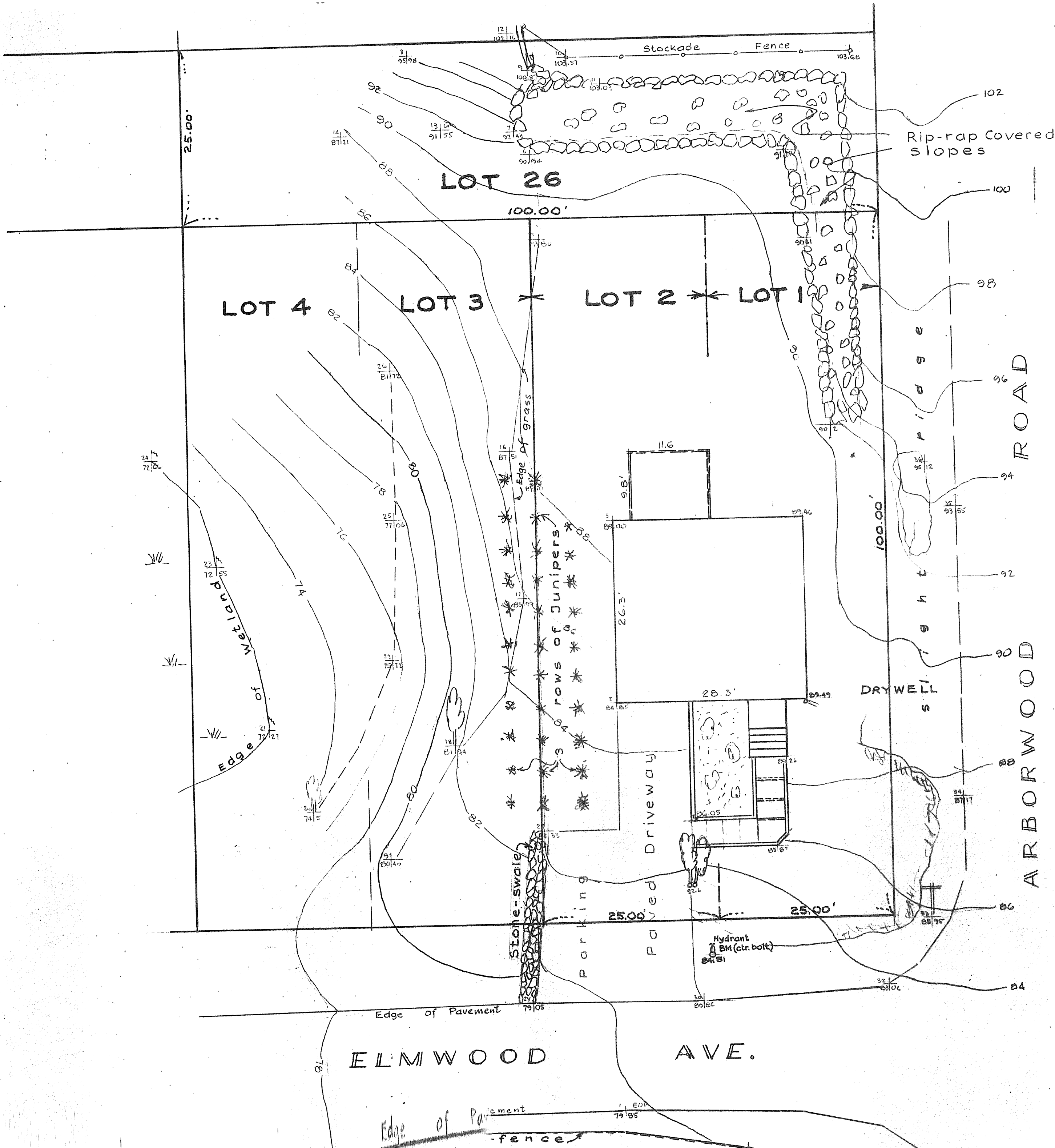
Date



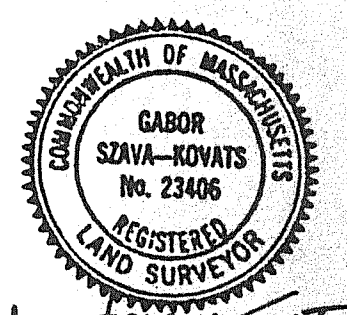
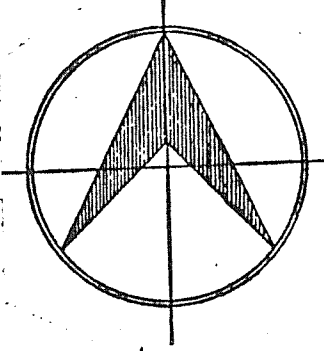
Signature of Representative (if any)

12/12/2022

Date



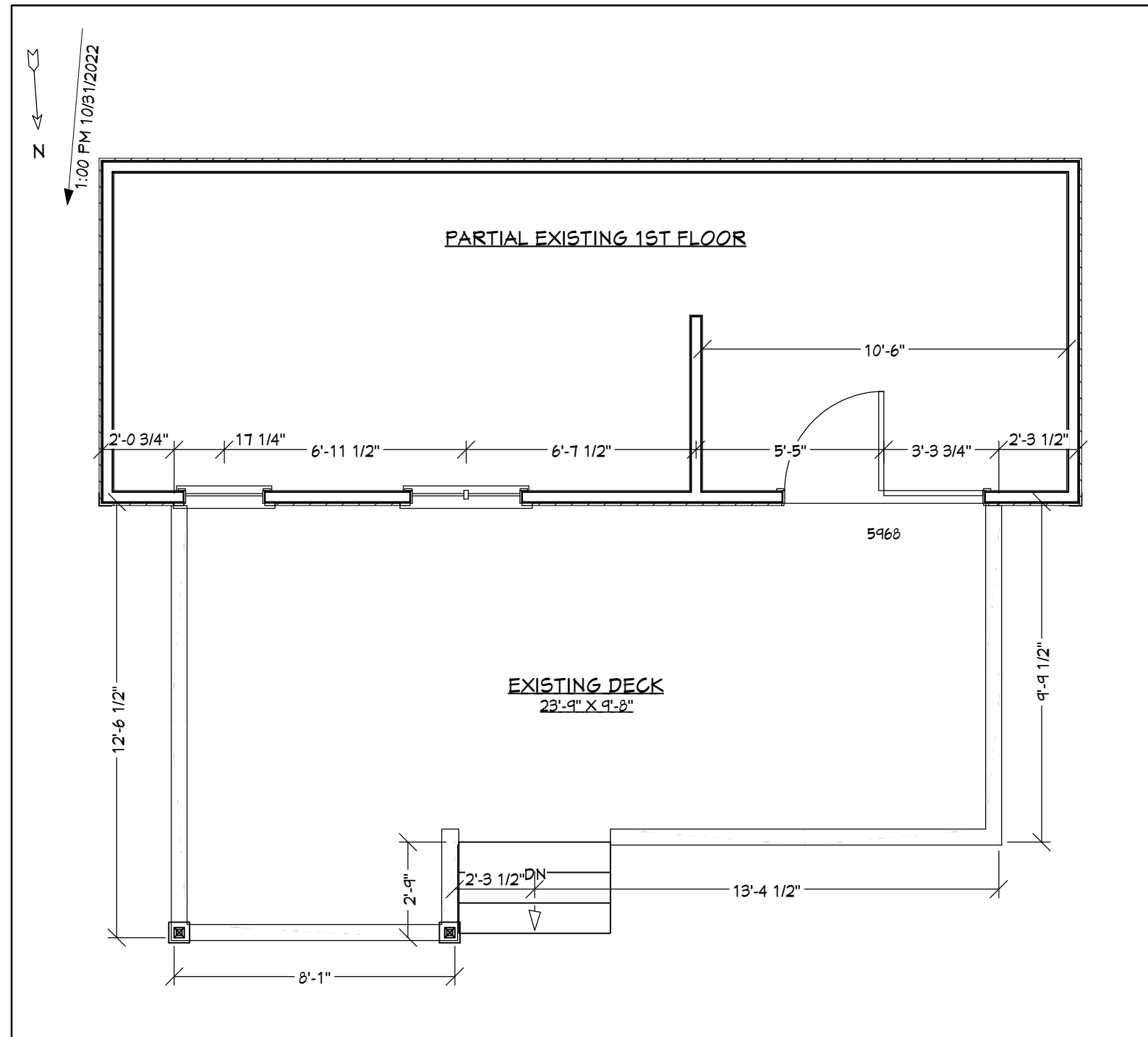
LOCUS PLAN



Gabor Szava-Kovats

'AS BUILT' PLAN
 in Sudbury, Middlesex Co. Mass.
 showing building, grading & landscaping
 on Lot 1-4 and 26, block H, Elmwood, Ave.
 Prepared for: Sudbury Conservation Comm.

Scale: 1"=10' Date: Aug 27, 1997.
 Survey by: Gabor Szava-Kovats R.L.S.

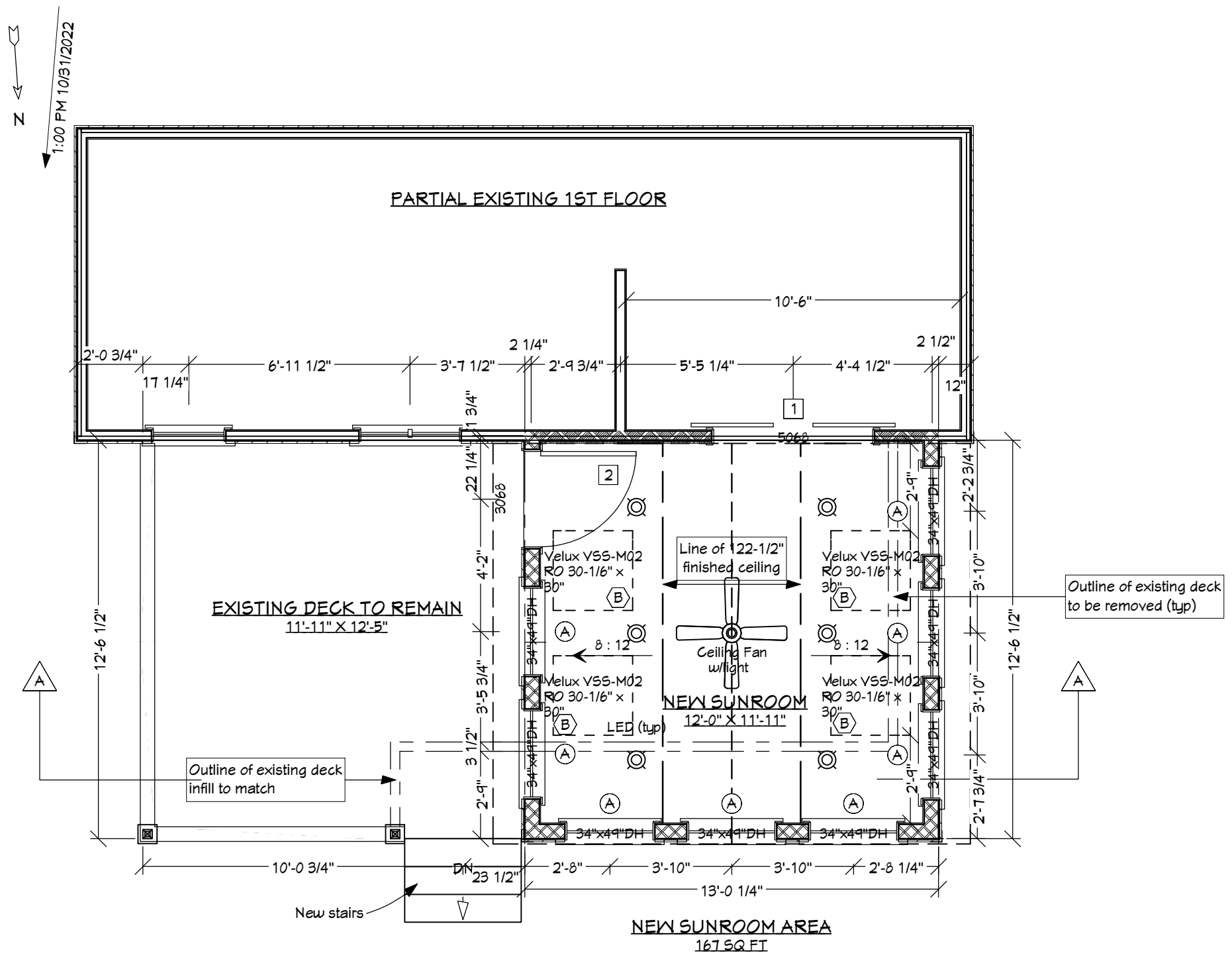


Drawn for
Dillon Contracting
Worcester, MA
508-735-8510

Project
Elkort Residence Deck Conversion
2 Elmwood Ave
Sudbury, MA

page/scale/date
1 of 1
1/4" = 1'-0"
9/12/2022

Partial 1st Floor Plan
'Existing'



WINDOW & DOOR SCHEDULE

| MARK | QTY | DESCRIPTION | ROUGH OPENING | NOTES | EXTERIOR HEADERS |
|------|-----|--|------------------|------------------------------|---------------------------------------|
| A | 8 | 34" X 49" VINYL DH, 6/6 LITE | VERIFY W/MFR | ADD FOR FOUNDATION CUTOUT | (3) 2X8 KD SPF W/1/2" PLYWOOD SPACERS |
| B | 4 | VELUX VSS-M02 | 30-1/16" X 30" | | |
| 1 | 1 | 5/0 X 6/8 CUSTOM MADE DOUBLE BARN DOOR | CONFIRM ON SITE | REPLACES EXISTING PATIO DOOR | |
| 2 | 1 | 3/0 X 6/8 1 LITE INSULATED ENTRY DOOR | VERIFY W/MFR | | (3) 2X8 KD SPF W/1/2" PLYWOOD SPACERS |
| | | *ALL OTHER WINDOWS & DOORS SHOWN | ARE EXISTING AND | ARE TO REMAIN* | |

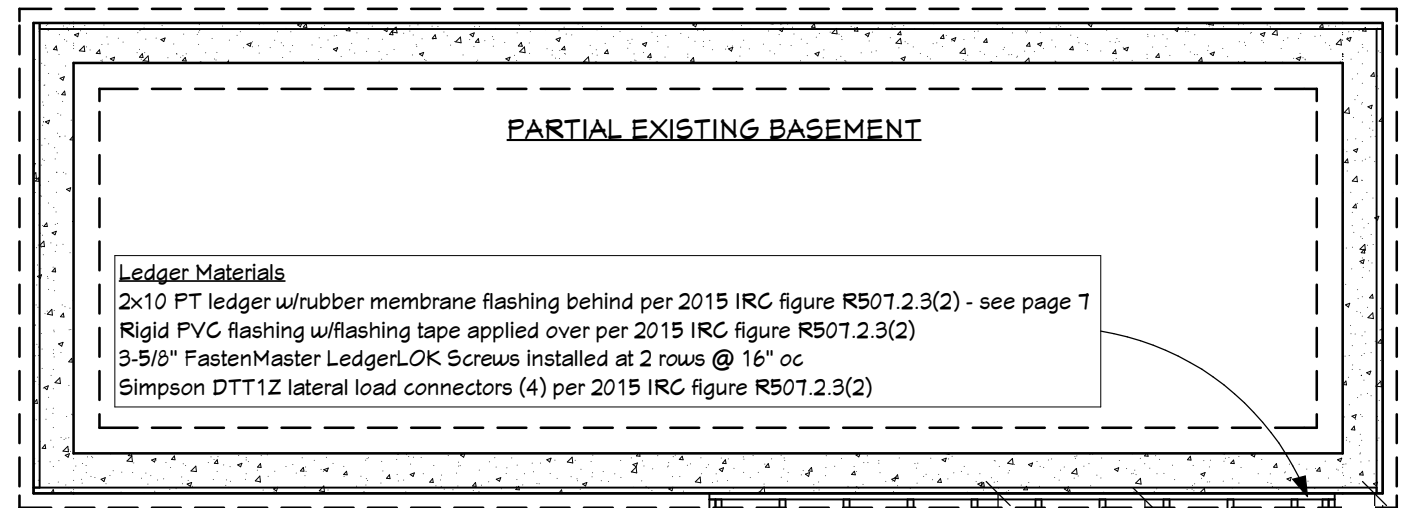


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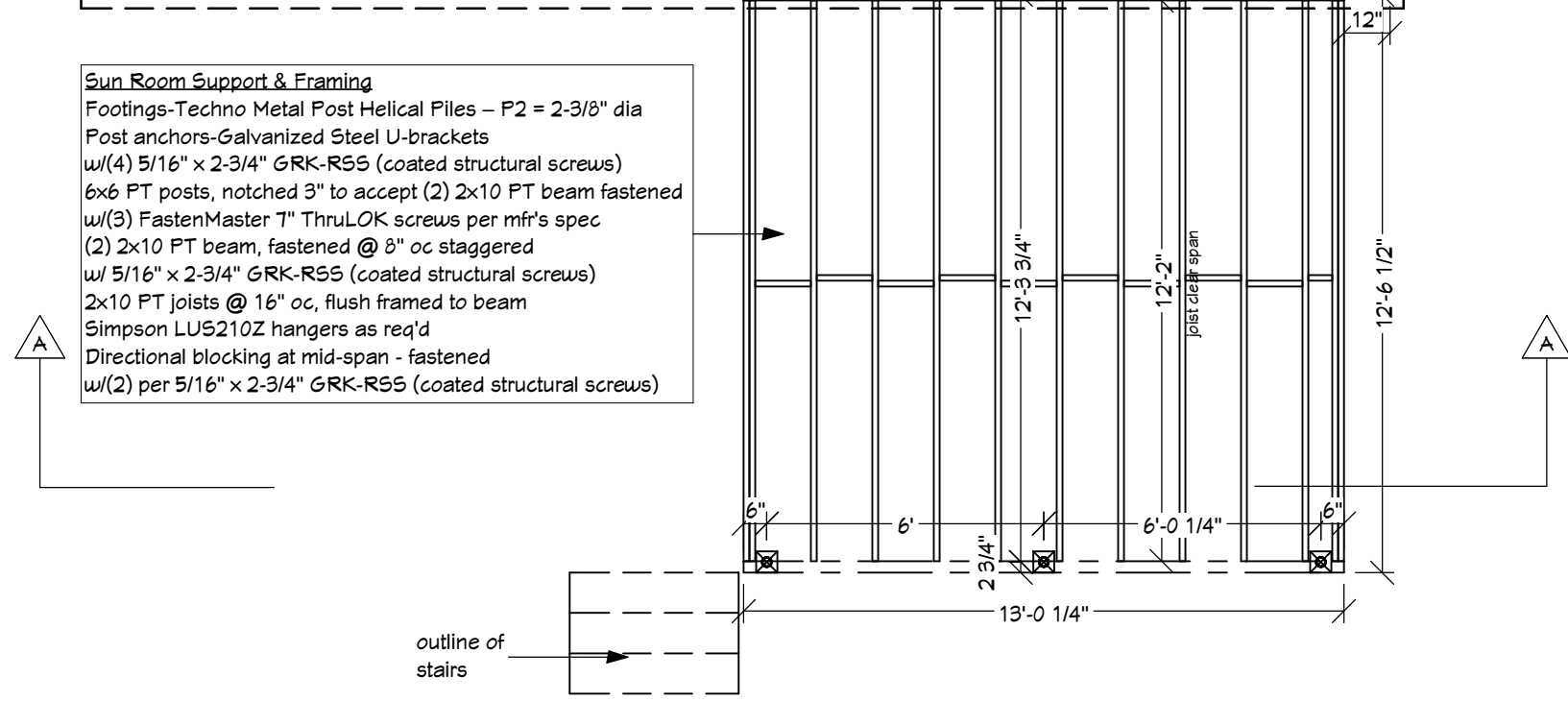
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 2 Elmwood Ave
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page/scale/date
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 1/4" = 1'-0"
 9/21/2022

Sun Room Floor Plan
 Window/Door Schedule



Sun Room Support & Framing
 Footings-Techno Metal Post Helical Piles – P2 = 2-3/8" dia
 Post anchors-Galvanized Steel U-brackets
 w/(4) 5/16" x 2-3/4" GRK-RSS (coated structural screws)
 6x6 PT posts, notched 3" to accept (2) 2x10 PT beam fastened
 w/(3) FastenMaster 7" ThruLOK screws per mfr's spec
 (2) 2x10 PT beam, fastened @ 8" oc staggered
 w/ 5/16" x 2-3/4" GRK-RSS (coated structural screws)
 2x10 PT joists @ 16" oc, flush framed to beam
 Simpson LUS210Z hangers as req'd
 Directional blocking at mid-span - fastened
 w/(2) per 5/16" x 2-3/4" GRK-RSS (coated structural screws)



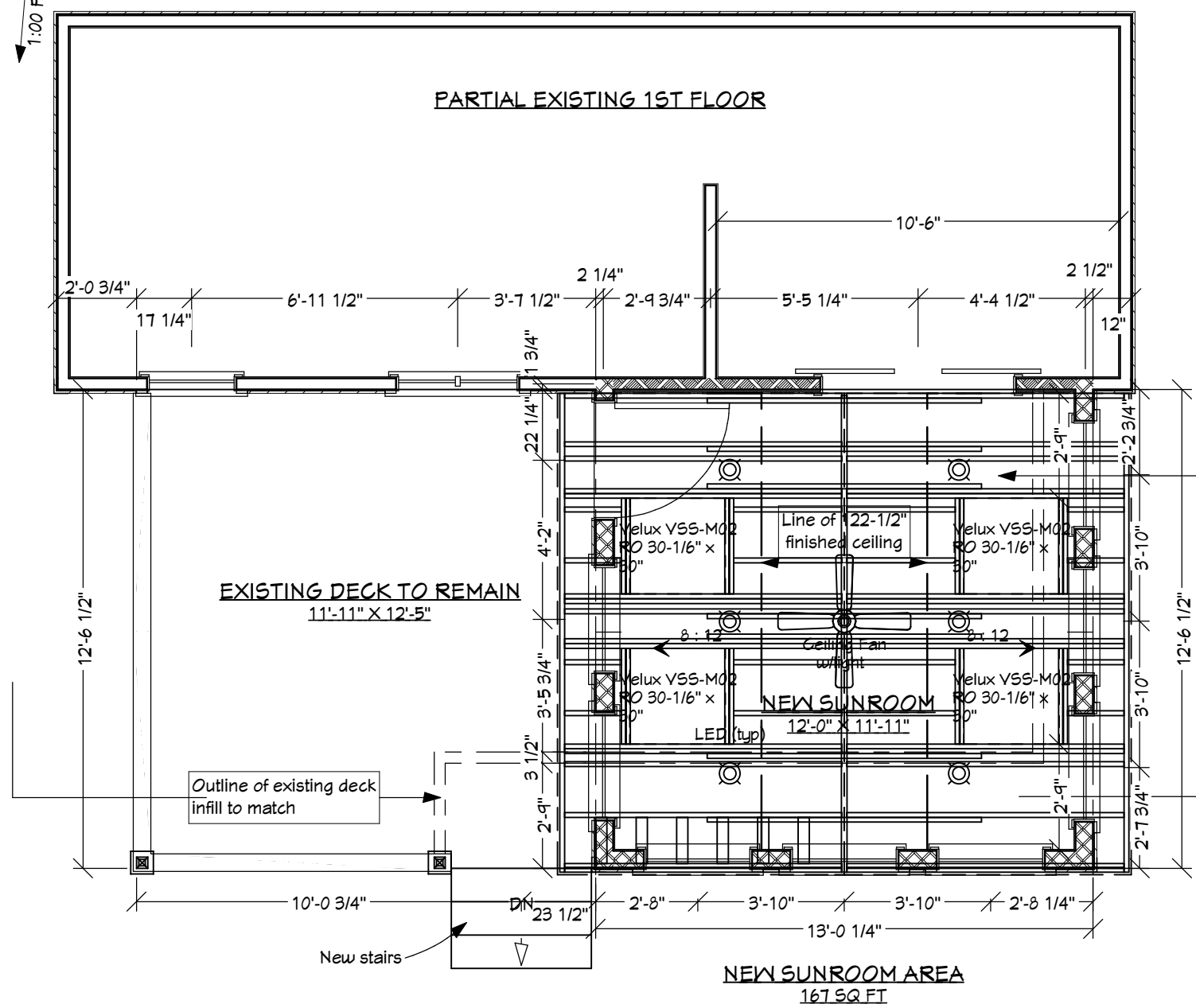
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 1/4" = 1'-0"
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Sun Room Floor Framing Plan

1:00 PM 10/31/2022
 Z



New Roof & Ceiling Construction
 5/8" ZIP sheathing w/tape
 (1) 1-3/4" X 14" 2.1E LVL ridge beam - TO BE VERIFIED BY OTHERS
 2x10 KD SPF rafters @ 16" oc
 Simpson H2.5A hurricane ties at each rafter
 2x8 KD SPF ceiling joists @ 16" oc
 Simpson LUS28Z hangers as req'd

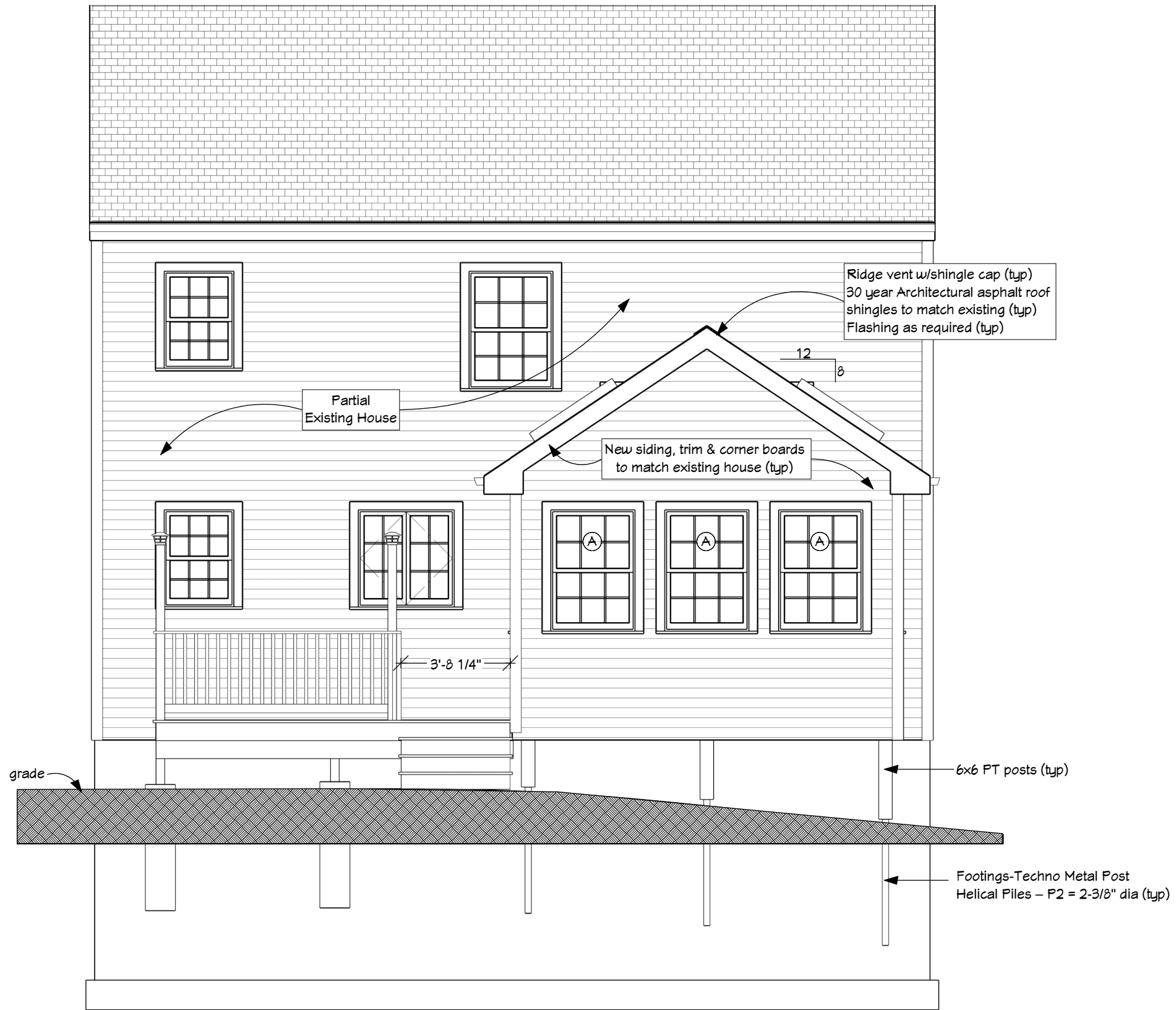


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 9/21/2022

Roof Framing Plan

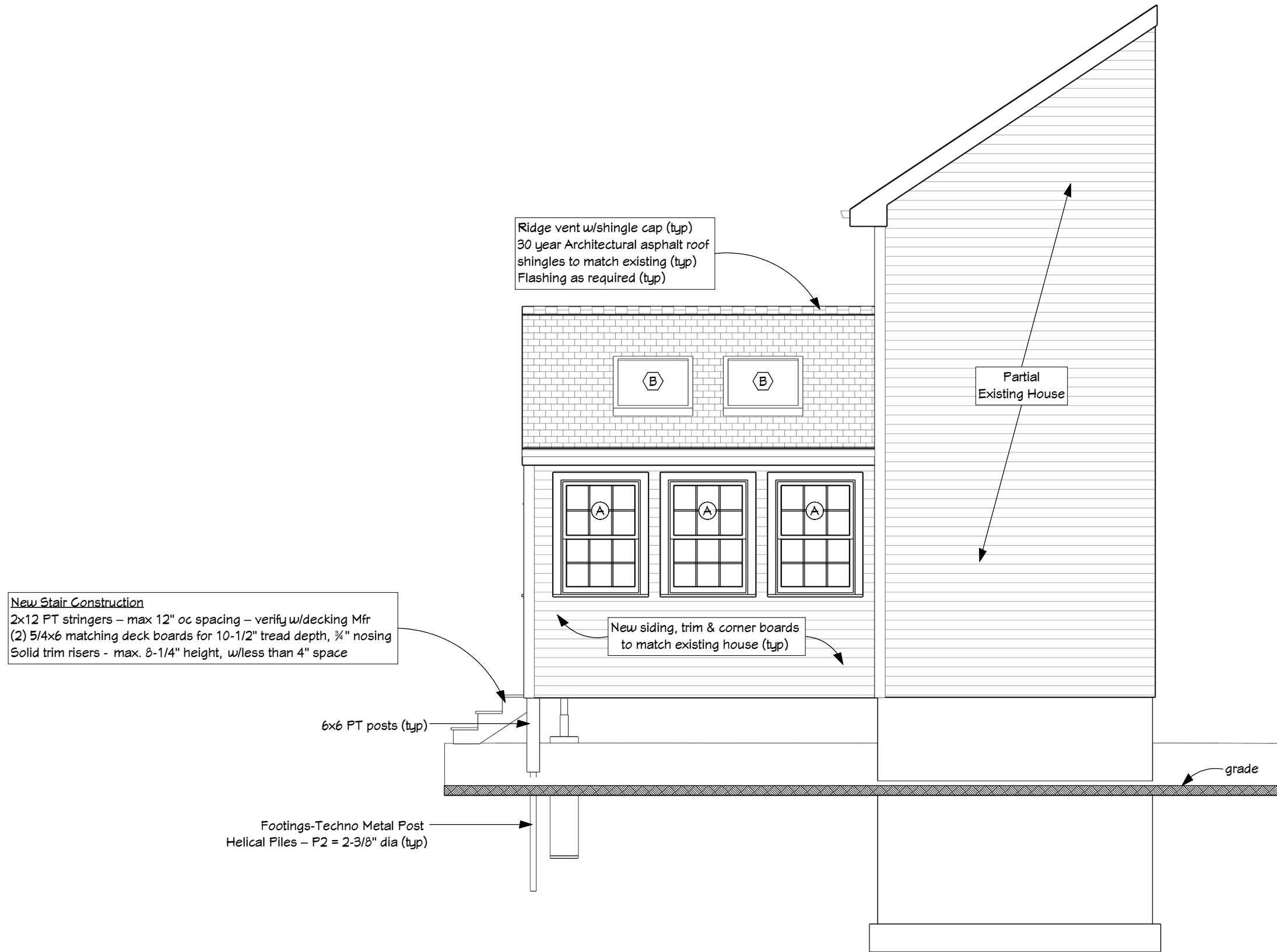


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2 Elmwood Ave
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4 of 7
1/4" = 1'-0"
9/21/2022

Rear Elevation

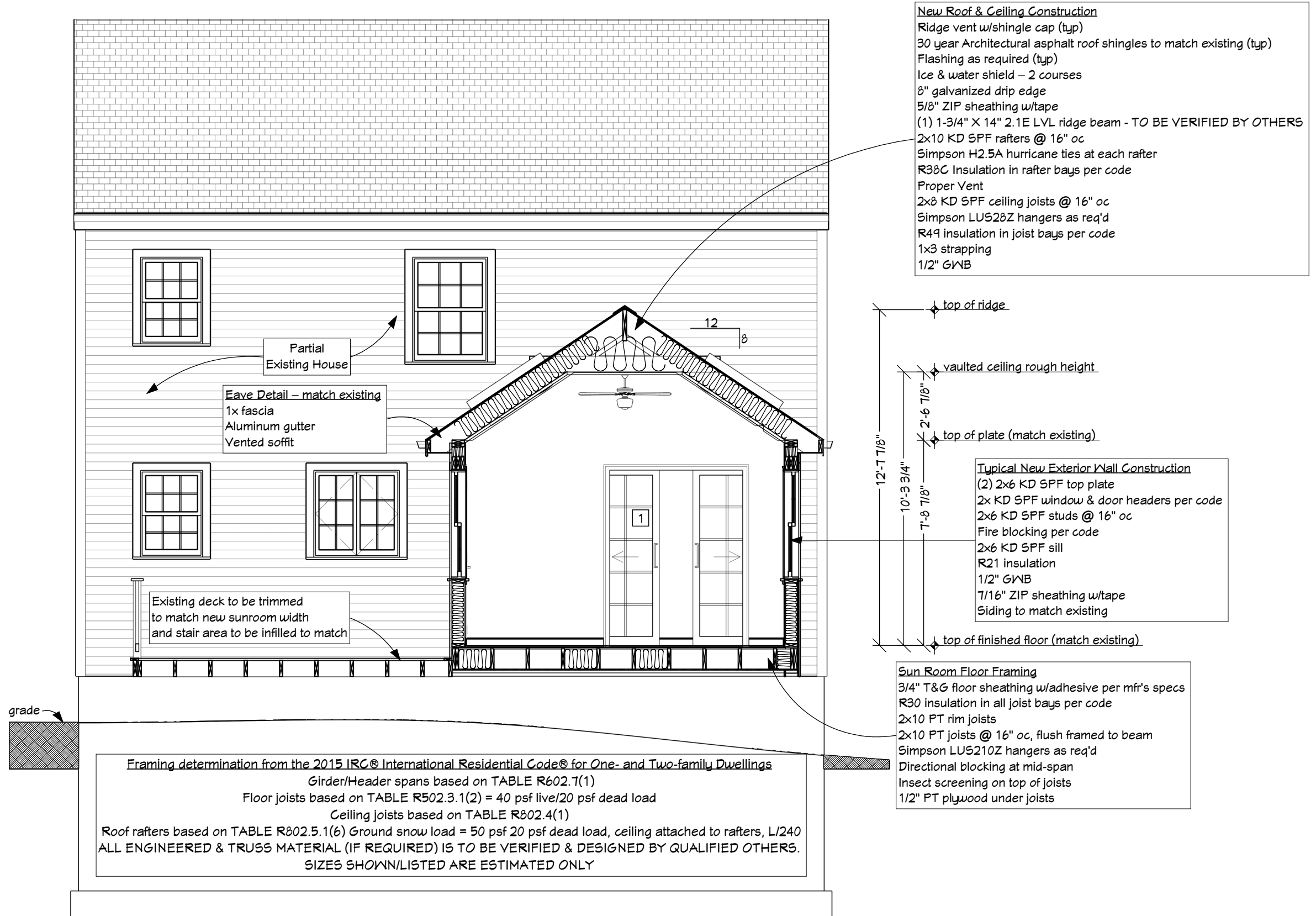


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1/4" = 1'-0"
9/21/2022

Left Elevation



New Roof & Ceiling Construction
 Ridge vent w/shingle cap (typ)
 30 year Architectural asphalt roof shingles to match existing (typ)
 Flashing as required (typ)
 Ice & water shield - 2 courses
 8" galvanized drip edge
 5/8" ZIP sheathing w/tape
 (1) 1-3/4" X 14" 2.1E LVL ridge beam - TO BE VERIFIED BY OTHERS
 2x10 KD SPF rafters @ 16" oc
 Simpson H2.5A hurricane ties at each rafter
 R38C Insulation in rafter bays per code
 Proper Vent
 2x8 KD SPF ceiling joists @ 16" oc
 Simpson LUS28Z hangers as req'd
 R49 insulation in joist bays per code
 1x3 strapping
 1/2" GWB

Typical New Exterior Wall Construction
 (2) 2x6 KD SPF top plate
 2x KD SPF window & door headers per code
 2x6 KD SPF studs @ 16" oc
 Fire blocking per code
 2x6 KD SPF sill
 R21 insulation
 1/2" GWB
 7/16" ZIP sheathing w/tape
 Siding to match existing

Sun Room Floor Framing
 3/4" T&G floor sheathing w/adhesive per mfr's specs
 R30 insulation in all joist bays per code
 2x10 PT rim joists
 2x10 PT joists @ 16" oc, flush framed to beam
 Simpson LUS210Z hangers as req'd
 Directional blocking at mid-span
 Insect screening on top of joists
 1/2" PT plywood under joists

Framing determination from the 2015 IRC® International Residential Code® for One- and Two-family Dwellings
 Girder/Header spans based on TABLE R602.7(1)
 Floor joists based on TABLE R502.3.1(2) = 40 psf live/20 psf dead load
 Ceiling joists based on TABLE R802.4(1)
 Roof rafters based on TABLE R802.5.1(6) Ground snow load = 50 psf 20 psf dead load, ceiling attached to rafters, L/240
 ALL ENGINEERED & TRUSS MATERIAL (IF REQUIRED) IS TO BE VERIFIED & DESIGNED BY QUALIFIED OTHERS.
 SIZES SHOWN/LISTED ARE ESTIMATED ONLY



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Section A-A

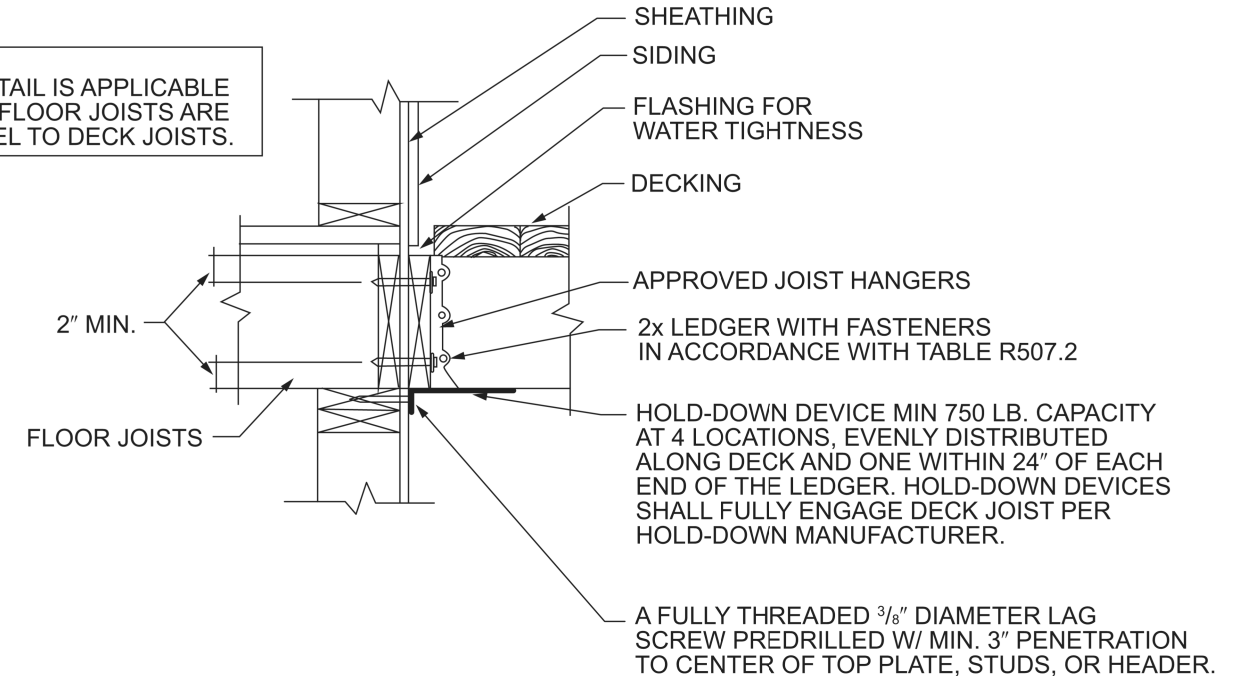
**TABLE R507.5
 DECK JOIST SPANS FOR COMMON LUMBER SPECIES^f (ft. - in.)**

| SPECIES ^a | SIZE | SPACING OF DECK JOISTS WITH NO CANTILEVER ^b (inches) | | | SPACING OF DECK JOISTS WITH CANTILEVERS ^c (inches) | | |
|----------------------|--------|---|-------|------|---|------|------|
| | | 12 | 16 | 24 | 12 | 16 | 24 |
| Southern pine | 2 × 6 | 9-11 | 9-0 | 7-7 | 6-8 | 6-8 | 6-8 |
| | 2 × 8 | 13-1 | 11-10 | 9-8 | 10-1 | 10-1 | 9-8 |
| | 2 × 10 | 16-2 | 14-0 | 11-5 | 14-6 | 14-0 | 11-5 |
| | 2 × 12 | 18-0 | 16-6 | 13-6 | 18-0 | 16-6 | 13-6 |

**TABLE R507.6
 DECK BEAM SPAN LENGTHS^{a, b} (ft. - in.)**

| SPECIES ^c | SIZE ^d | DECK JOIST SPAN LESS THAN OR EQUAL TO: (feet) | | | | | | |
|----------------------|-------------------|--|------|-------|------|------|------|------|
| | | 6 | 8 | 10 | 12 | 14 | 16 | 18 |
| Southern pine | 2 - 2 × 6 | 6-11 | 5-11 | 5-4 | 4-10 | 4-6 | 4-3 | 4-0 |
| | 2 - 2 × 8 | 8-9 | 7-7 | 6-9 | 6-2 | 5-9 | 5-4 | 5-0 |
| | 2 - 2 × 10 | 10-4 | 9-0 | 8-0 | 7-4 | 6-9 | 6-4 | 6-0 |
| | 2 - 2 × 12 | 12-2 | 10-7 | 9-5 | 8-7 | 8-0 | 7-6 | 7-0 |
| | 3 - 2 × 6 | 8-2 | 7-5 | 6-8 | 6-1 | 5-8 | 5-3 | 5-0 |
| | 3 - 2 × 8 | 10-10 | 9-6 | 8-6 | 7-9 | 7-2 | 6-8 | 6-4 |
| | 3 - 2 × 10 | 13-0 | 11-3 | 10-0 | 9-2 | 8-6 | 7-11 | 7-6 |
| | 3 - 2 × 12 | 15-3 | 13-3 | 11-10 | 10-9 | 10-0 | 9-4 | 8-10 |

NOTE:
 THIS DETAIL IS APPLICABLE
 WHERE FLOOR JOISTS ARE
 PARALLEL TO DECK JOISTS.

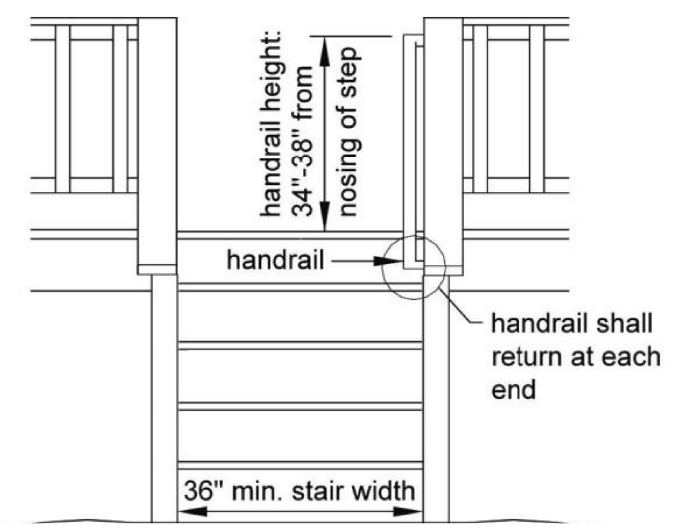


**FIGURE R507.2.3(2)
 DECK ATTACHMENT FOR LATERAL LOADS**



**Prescriptive Residential Wood
 Deck Construction Guide**
Based on the 2012 International Residential Code
 Copyright © 2015 American Wood Council

Figure 33. Miscellaneous Stair Requirements.



**TABLE R507.8
 DECK POST HEIGHT^a**

| DECK POST SIZE | MAXIMUM HEIGHT ^a |
|----------------|-----------------------------|
| 4 × 4 | 8' |
| 4 × 6 | 8' |
| 6 × 6 | 14' |



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IRC 2015 Deck Details