



**NOTICE OF PUBLIC HEARING  
SUDBURY CONSERVATION COMMISSION  
Monday, September 12, 2022 at 6:45 PM  
Virtual Meeting**

The Sudbury Conservation Commission will hold a public hearing to review the Notice of Intent filing to demolish and reconstruct a single-family home within the 100-foot Buffer Zone, pursuant to the Wetlands Protection Act and Sudbury Wetlands Administration Bylaw, at 58 Massasoit Avenue, Sudbury, MA. Jonatas Storck, Applicant. The hearing will be held on Monday, September 12, 2022 at 6:45 pm, via remote participation.

Please see the Conservation Commission web page for further information.

<https://sudbury.ma.us/conservationcommission/meeting/conservation-commission-meeting-monday-september-12-2022/>

SUDBURY CONSERVATION COMMISSION  
8/22/2022

**NOTICE OF INTENT  
to  
CONSTRUCT A NEW SINGLE-FAMILY DWELLING**

**at**

**58 MASSASOIT AVENUE  
SUDBURY, MASSACHUSETTS**

**PREPARED FOR:**

**JONATAS STORCK  
15 EDWARDS LANE  
QUINCY, MA 02169**

**PREPARED BY:**



**19 EXCHANGE STREET  
HOLLISTON, MA 01746**

**Prepared By:**

  
\_\_\_\_\_  
**Joyce E. Hastings, P.L.S.  
Wetlands Consultant**

**August 11, 2022**

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Sudbury Property Card

**PROJECT PLAN:** Proposed Septic System Design  
58 Massasoit Ave.  
Sudbury, Massachusetts

**PREPARED BY:** GLM Engineering Consultants, Inc  
**DATED:** July 6, 2022



August 10, 2022

Sudbury Conservation Commission  
Department of Public Works Building  
275 Old Lancaster Road  
Sudbury, MA 01776

**Re: Notice of Intent  
Jonatas Storck  
58 Massasoit Avenue, Sudbury, MA**

Dear Commission Members,

**Project Introduction**

On behalf of Jonatas Storck, 1 Edwards Lane, Quincy, MA 02169, we are filing a Notice of Intent to perform work at 58 Massasoit Ave., Sudbury, MA. The proposed work is located within the 100-foot Buffer Zone of a bordering vegetated wetland. This application is being filed under the Massachusetts Wetlands Protection Act (M.G.L. Ch. 131, §40, the “Act”) and its implementing regulations (310 CMR 10.00, the “Regulations”) and the Sudbury Wetland Bylaw (Article XXII of the Town Bylaws, the “Bylaw”).

The project locus contains 37,800 square feet of area and is located on the easterly side of Massasoit Avenue, near the intersection of Franklin Place. The property contains a single-family dwelling, constructed in 1952. The existing property improvements include a house, detached garage, shed, driveway, walkway, patio, lawn and overgrown landscape areas.

There is a forested wetland across the rear of the property. The wetlands are associated with an intermittent stream and a series of man-made ditches. The entire subject property is within the 100-foot wetland buffer zone of the bordering vegetated wetland. Under the Bylaw Regulations, the 100-foot Buffer Zone is considered an adjacent upland resource area.

The wetland delineation of the site was performed by GLM Engineering Consultants, Inc. on February 6, 2022, utilizing the regulations outlined in the Massachusetts Wetlands Protection Act (MGL Chapter 131, §40), the National List of Plant Species That Occur in Wetlands: Massachusetts 2012 and Hydric Soils in New England, May 1995.

The wetlands are marked with pink flagging numbered 22-1 to 22-14. The wetlands are characterized by an over story of Red Maple (*Acer rubrum*) and Elm (*Ulmus americana*), a shrub layer of Highbush Blueberry (*Vaccinium corymbosum*) and a ground cover of Sensitive Fern (*Onoclea sensibilis*). The upland areas are characterized by an over story of White Pine (*Pinus strobus*), maintained lawn and overgrown landscaping.

The property lies within a zone X (un-shaded and shaded), as shown on Flood Insurance Rate Map, Community-Panel Number 25017C0506F, effective date: July 7, 2014.

According to 2022 MassGIS, this project is not located within an Estimated Habitat of Rare Wildlife or a Priority Habitat of Endangered Species.

### **Project Description**

The applicant purchased the property in April 2022. It is not economically feasible to rehabilitate the existing dwelling, so the house, detached garage and shed are proposed to be razed. The project will construct a new single-family, a new driveway and new septic system. There will be a three (3) foot high retaining wall around the septic system to minimize grading. The surface of the proposed roof will be infiltrated into a recharge system behind the house and a 2'x2' stone filter trench will be installed along the length of proposed driveway.

The existing area of impervious coverage (house, detached garage, driveway, walk, concrete pad and shed) is 4,545 square feet. The proposed area of impervious coverage (house, driveway and walk) is 4,538 square feet. The project will not increase the amount of impervious area; there is a slight decrease of 7 square feet.

### **Erosion Control**

Project Access will be from the existing driveway. Staked mulch sock will be installed as shown on the design plan prior to construction and will be maintained throughout the project. Upon completion of the project, all disturbed soils will be loamed and seeded.

### **Regulatory Compliance**

The proposed house and driveway reconfiguration are located within the outer 75-foot wetland buffer zone and the riparian area of Sunnyside Brook.

#### Buffer Zone: 310 CMR: 10.02(3)

This project also falls under the 10.02(3) since a portion of the proposed project is located in the 100-foot wetland buffer zone.

*3. Activities within the buffer zone which do not meet the requirements of 310 CMR 10.02(2)(b)1. and 2. are subject to preconstruction review through the filing of a Determination of Applicability to clarify jurisdiction or a Notice of Intent under the provisions of 310 CMR 10.05(4) and 10.53(1).*

No work is proposed within the bordering vegetated wetland. There are no performance standards for activities in the wetland buffer zone. The proposed work is located within the limits of the original house and existing lawn and patio. The erosion control measures and proposed stormwater infiltration will avoid any potential impacts to the wetland buffer zone


and adjacent wetland resource area.

Conclusion:

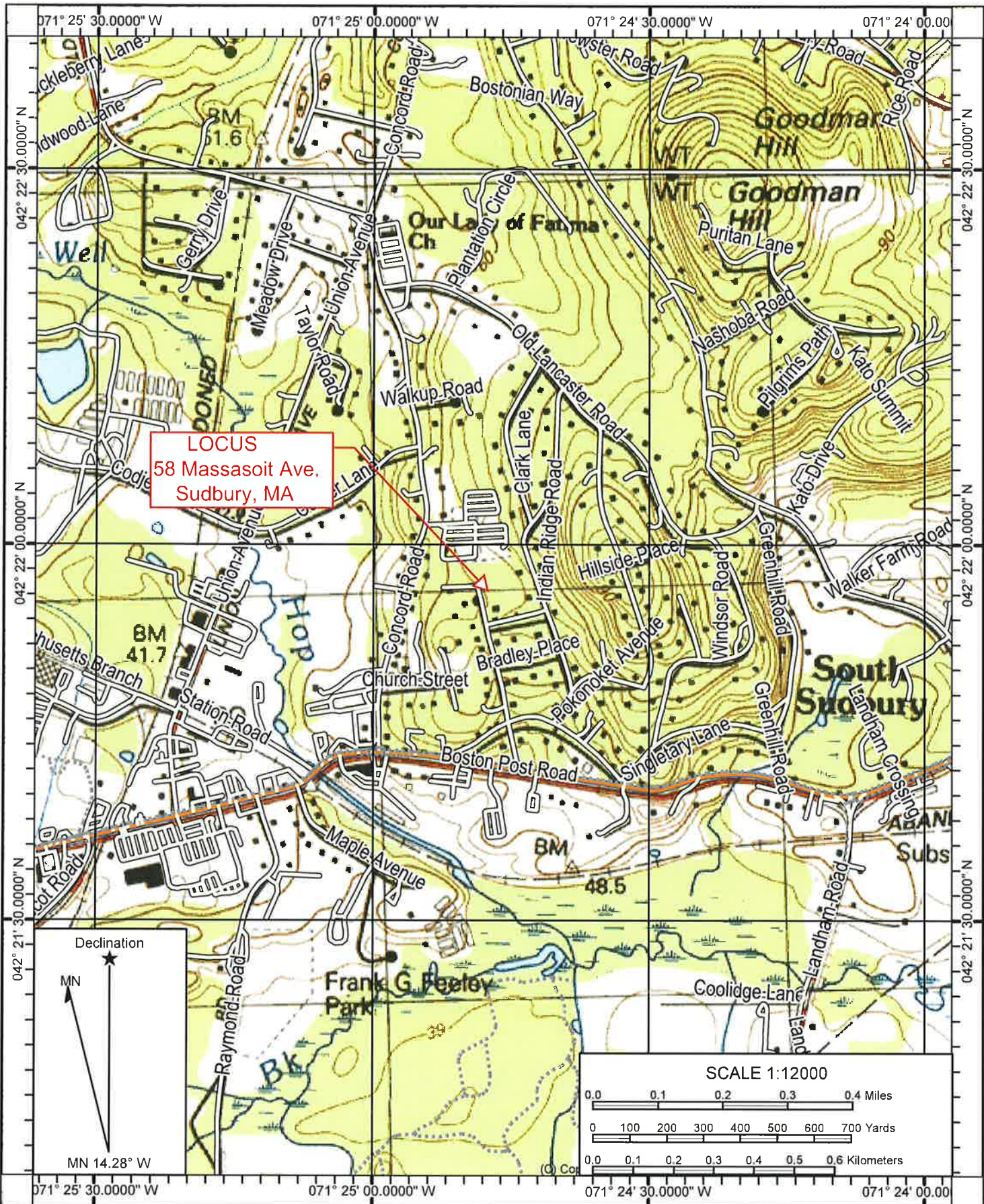
Based on this analysis, the project as proposed will meet the performance standards outlined in section 10.58(4) and 10.02(3) of the Massachusetts Wetlands Protection Act and will not negatively impact the Wetland Buffer Zone or the adjacent wetland resource area.

Thank you for your attention. Please call me at 508-429-1100 if you have any questions.

Sincerely,  
GLM Engineering Consultants, Inc.

  
Joyce E. Hastings, P.L.S.  
Wetland Consultant

cc. Jonatas Storck  
DEP NERO



Name: FRAMINGHAM  
 Date: 08/11/22  
 Scale: 1 inch = 1,000 ft.

Location: 042° 21' 55.1408" N, 071° 24' 46.8356" W  
 58 Massasoit Avenue, Sudbury, MA

(C) Copyright 2016, Trimble Navigation Limited

Datum: NAD27



- Bridges
- Driveways
- Parking Lots
- Medians
- Sidewalks
- Curbs
- Roads
- Paved Roads
- Unpaved Roads
- Buildings
- Parcels
- Streams/Ortho
- Streams CIR
- Lake/Reservoir
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Town Boundary
- Streets



LOCUS  
58 Massasoit Ave.  
Sudbury, MA

The data shown on this site are provided for informational and planning purposes only. The town and its consultants are not responsible for the use or misrepresentation of the data.







**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Sudbury

City/Town

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40  
Sudbury Wetlands Protection Administration Bylaw

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**Note:**  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

## A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

58 Massasoit Avenue

a. Street Address

Sudbury

b. City/Town

01776-2369

c. Zip Code

Latitude and Longitude:

42.365589°N

d. Latitude

71.412689°W

e. Longitude

Map K09

f. Assessors Map/Plat Number

Lot 0425

g. Parcel /Lot Number

2. Applicant:

Jonatas

a. First Name

Storck

b. Last Name

c. Organization

15 Edwards Lane

d. Street Address

Quincy

e. City/Town

MA

f. State

02169

g. Zip Code

774-330-6612

h. Phone Number

i. Fax Number

info@universaljsma.com

j. Email Address

3. Property owner (required if different from applicant):

Check if more than one owner

same

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Joyce

a. First Name

Hastings

b. Last Name

GLM Engineering Consultants, Inc.

c. Company

19 Exchange Street

d. Street Address

Holliston

e. City/Town

MA

f. State

01746

g. Zip Code

508-429-1100

h. Phone Number

508-429-7160

i. Fax Number

joyce.hastings@glmengineering.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$500.00

a. Total Fee Paid

\$237.50

b. State Fee Paid

\$262.50

c. City/Town Fee Paid



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**A. General Information** (continued)

6. General Project Description:

Proposal to demolish the existing house to construct a new single-family dwelling. The propose work is located within the 100-foot wetland buffer zone of a bordering vegetated wetland.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- |   |   |
|---|---|
| 1. <input checked="" type="checkbox"/> Single Family Home             | 2. <input type="checkbox"/> Residential Subdivision       |
| 3. <input type="checkbox"/> Commercial/Industrial                     | 4. <input type="checkbox"/> Dock/Pier                     |
| 5. <input type="checkbox"/> Utilities                                 | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation                |
| 9. <input type="checkbox"/> Other                                     |   |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Middlesex

a. County

79979

c. Book

b. Certificate # (if registered land)

14

d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced

- f.  Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland**
  2. Width of Riverfront Area (check one):
    - 25 ft. - Designated Densely Developed Areas only
    - 100 ft. - New agricultural projects only
    - 200 ft. - All other projects
  3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:
- |                      |                               |  |
|----------------------|-------------------------------|--|
| a. total square feet | b. square feet within 100 ft. | c. square feet between 100 ft. and 200 ft. |
|----------------------|-------------------------------|--|

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No
6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



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**C. Other Applicable Standards and Requirements**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program**  
**Division of Fisheries and Wildlife**  
**1 Rabbit Hill Road**  
**Westborough, MA 01581**

MassGIS 2022

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:
- (a) within wetland Resource Area \_\_\_\_\_  
percentage/acreage
- (b) outside Resource Area \_\_\_\_\_  
percentage/acreage
2.  Assessor's Map or right-of-way plan of site
2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
- (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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**C. Other Applicable Standards and Requirements (cont'd)**

- (c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site

- (e)  Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and  
the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c.  Is this an aquaculture project?      d.  Yes     No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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**C. Other Applicable Standards and Requirements (cont'd)**

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a.  Yes  No      If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2.  A portion of the site constitutes redevelopment
  3.  Proprietary BMPs are included in the Stormwater Management System.
- b.  No. Check why the project is exempt:
1.  Single-family house
  2.  Emergency road repair
  3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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**D. Additional Information (cont'd)**

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Proposed Septic System Design, 58 Massasoit Ave, Sudbury, MA

a. Plan Title

GLM Engineering Consultants, Inc.

b. Prepared By

July 6, 2022

d. Final Revision Date

R.S. Truax, P.E & J.E. Hastings, P.L.S.

c. Signed and Stamped by

1"=20'

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.
6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8.  Attach NOI Wetland Fee Transmittal Form
9.  Attach Stormwater Report, if needed.

**E. Fees**

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name





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**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

SEE ATTACHED LETTER.  
1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

[Signature]  
5. Signature of Representative (if any)

6. Date 8/11/22

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

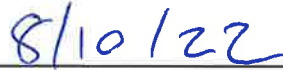
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

I, Jonatas Storck, am the **Owner** of the property at 58 Massasoit Avenue, MA (Map K09-0425). I hereby authorize GLM Engineering Consultants, Inc. to file a Notice of Intent Application with the Sudbury Conservation Commission and DEP on my behalf.

A handwritten signature in blue ink, appearing to read "Jonatas Storck", written over a horizontal line.

Signature

A handwritten date "8/10/22" in blue ink, written over a horizontal line.

Date

Phone Number: 774-330-6612

Address: 15 Edwards Lane, Quincy, MA 02169

Email Address: [info@universaljsma.com](mailto:info@universaljsma.com)



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

58 Massasoit Ave. \_\_\_\_\_ Sudbury \_\_\_\_\_  
 a. Street Address b. City/Town

\_\_\_\_\_ d. Fee amount

c. Check number \_\_\_\_\_

2. Applicant Mailing Address:

Jonatas \_\_\_\_\_ Storck \_\_\_\_\_  
 a. First Name b. Last Name

\_\_\_\_\_ c. Organization

15 Edwards Lane \_\_\_\_\_  
 d. Mailing Address

Quincy \_\_\_\_\_ MA \_\_\_\_\_ 02169 \_\_\_\_\_  
 e. City/Town f. State g. Zip Code

774-330-6612 \_\_\_\_\_ info@universaljsma.com \_\_\_\_\_  
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

same \_\_\_\_\_  
 a. First Name b. Last Name

\_\_\_\_\_ c. Organization

\_\_\_\_\_ d. Mailing Address

\_\_\_\_\_ e. City/Town \_\_\_\_\_ f. State \_\_\_\_\_ g. Zip Code

\_\_\_\_\_ h. Phone Number \_\_\_\_\_ i. Fax Number \_\_\_\_\_ j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Single-Family Dwelling	1	\$500.00	\$500.00

**Step 5/Total Project Fee:** \$500.00

**Step 6/Fee Payments:**

Total Project Fee:	<u>\$500.00</u>
	a. Total Fee from Step 5
State share of filing Fee:	<u>\$237.50</u>
	b. 1/2 Total Fee <b>less</b> \$12.50
City/Town share of filling Fee:	<u>\$262.50</u>
	c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

**AFFIDAVIT OF SERVICE**

Under the Massachusetts Wetlands Protection Act and the  
Sudbury Wetlands Administrative Bylaw

I, Joyce E. Hastings, hereby certify under the pains and penalties of perjury that on August 15, 2022, I gave notification to abutters within 100 feet of the proposed project in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, the DEP Guide to Abutter Notification dated April 8, 1994 and the Sudbury Wetlands Administrative Bylaw in connection with the following matter:

A Notice of Intent filed under the Act and Bylaw by Jonatas Storck with the Sudbury Conservation Commission on August 15, 2022 for work in an area subject to the Massachusetts Wetlands Protection Act and the Sudbury Wetlands Administrative Bylaw at 58 Massasoit Ave., Sudbury, MA.

The form of the notification, and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.

Name

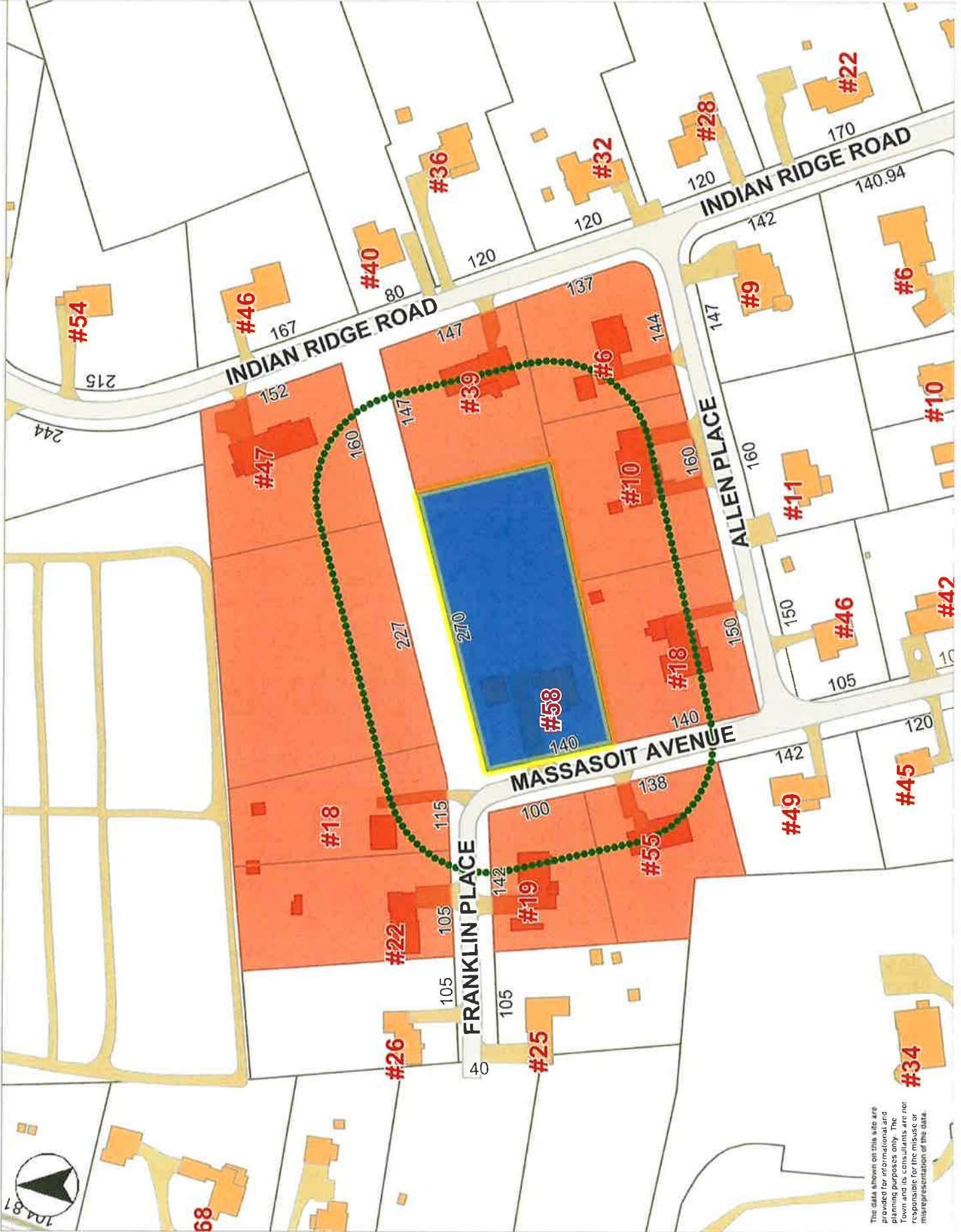


Date

8/15/22



- Bridges
- Driveways
- Parking Lots
- Medians
- Sidewalks
- Curbs
- Roads
- Paved Roads
- Unpaved Roads
- Buildings
- Parcels
- Streams Ortho
- Streams CIR
- Lake/Reservoir
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Town Boundary
- Streets



The data shown on this site are provided for informational and planning purposes only. The town and its consultants are not responsible for any use of the data for purposes other than those intended or misrepresentation of the data.



**Abutters List**

Date: May 23, 2022

[print this list](#)

Subject Property Address: 58 MASSASOIT AVE Sudbury, MA  
Subject Property ID: K09-0425

Search Distance: 100 Feet ✓

---

Prop ID: K09-0416  
Prop Location: 55 MASSASOIT AVE Sudbury, MA  
Owner: GABEL LEGG JENNIFER &  
Co-Owner: GABEL CHRISTOPHER V  
Mailing Address:

55 MASSASOIT AVE  
SUDBURY, MA 01776

---

---

Prop ID: K09-0417  
Prop Location: 19 FRANKLIN PL Sudbury, MA  
Owner: AKRIVELLIS PANAGIOTIS  
Co-Owner:  
Mailing Address:  
19 FRANKLIN PLACE  
SUDBURY, MA 01776

---

---

Prop ID: K09-0420  
Prop Location: 22 FRANKLIN PL Sudbury, MA  
Owner: GRIFFIN MICHAEL P  
Co-Owner:  
Mailing Address:  
22 FRANKLIN PL  
SUDBURY, MA 01776

---

---

Prop ID: K09-0421  
Prop Location: 18 FRANKLIN PL Sudbury, MA  
Owner: DETORA MICHELLE &  
Co-Owner: CAMERON MICHAEL M  
Mailing Address:  
18 FRANKLIN PLACE  
SUDBURY, MA 01776

---

*Cynthia W Berry 5/23/2022*  
*Accession - Det.*

*List*  
*P 183*

-----  
Prop ID: K09-0422  
Prop Location: FRANKLIN PL Sudbury, MA  
Owner: HALL WAYNE A  
Co-Owner:  
Mailing Address:  
47 INDIAN RIDGE RD  
SUDBURY, MA 01776  
-----

-----  
Prop ID: K09-0423  
Prop Location: 47 INDIAN RIDGE RD Sudbury, MA  
Owner: HALL WAYNE A & JUDITH S  
Co-Owner:  
Mailing Address:  
47 INDIAN RIDGE RD  
SUDBURY, MA 01776  
-----

-----  
Prop ID: K09-0424  
Prop Location: 39 INDIAN RIDGE RD Sudbury, MA  
Owner: GRIMES MARTIN E & M ROSEMARIE  
Co-Owner:  
Mailing Address:  
39 INDIAN RIDGE RD  
SUDBURY, MA 01776  
-----

-----  
Prop ID: K09-0426  
Prop Location: 18 ALLEN PL Sudbury, MA  
Owner: MERRILL-SKOLOFF GLENN A & KARE N R  
Co-Owner:  
Mailing Address:  
18 ALLEN PLACE  
SUDBURY, MA 01776  
-----

-----  
Prop ID: K09-0427  
Prop Location: 10 ALLEN PL Sudbury, MA  
Owner: MONAHAN THOMAS F  
Co-Owner:  
Mailing Address:  
10 ALLEN PL  
SUDBURY, MA 01776  
-----

*Lyth W. Jones*  
*assessor / Dept*

*5/23/2022*

*Test*  
*P. 293*



---

Prop ID: K09-0428

Prop Location: 6 ALLEN PL Sudbury, MA

Owner: LEBRUTO JOSEPH A JR &

Co-Owner: WICKHAM LOUISE M

Mailing Address:

6 ALLEN PL

SUDBURY, MA 01776

---

Scoby Bond & Accessory

June 10



Just

Erin Gray

5/23/2022

P. 382

**Notification to Abutters  
Under the Massachusetts Wetlands Protection Act  
and the Sudbury Wetlands Administrative Bylaw**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131,  
Section 40, you are hereby notified of the following:

- A. The name of the **Applicant** is Jonatas Storck
- B. The Applicant has filed a Notice of Intent with the Sudbury Conservation Commission seeking permission to work in an Area Subject to Protection (Wetland Resource Area and/or Buffer Zone) under the Massachusetts Wetlands Protection Act (General Laws Chapter 131, Sec.40) and the Town of Sudbury Wetlands Administrative Bylaw.
- C. The **address** of the lot where the activity is proposed: 58 Massasoit Ave, Sudbury, MA
- D. The **proposed activity** is: Proposal to demolish the existing house and garage and to construct a new single-family dwelling with a new septic system.
- 
- E. A **Public Hearing** regarding this Notice of Intent will be held on:  
**Monday, September 12, 2022 at 6:45 PM.**
- F. **Public Participation will be via Virtual Means Only** - In light of the ongoing COVID-19 coronavirus outbreak, Governor Baker issued an emergency Order on March 12, 2020, allowing public bodies greater flexibility in utilizing technology in the conduct of meetings under the Open Meeting Law. The Town of Sudbury Conservation Commission greatly values the participation of its citizens in the public meeting process, but given the current circumstances and recommendations at both the state and federal levels to limit or avoid public gatherings, including Governor Baker's ban on gatherings of more than 10 people, together with the present closure of Sudbury Town Hall and other public buildings to the public, the Town has decided to implement the "remote participation" procedures allowed under Governor Baker's emergency Order for all boards, committees, and commissions.
- G The public may participate in this meeting via Remote Participation:**
- From your computer, smart phone or tablet:
- See town calendar for agenda and link.
  - Meeting ID: \_\_\_\_\_
  - From your phone: **978-639-3366** or **470 250 9358**
- H Copies of the Notice of Intent may be examined by visiting this Website:  
<https://sudbury.ma.us/conservationcommission/meetings/>
- I. Copies of the Notice of Intent may be obtained from either The Applicant, or the Applicant's representative GLM Engineering Cons. Inc., by calling this telephone number: 508-429-1100 between the hours of 7:30am and 4:00pm

Note: Public Hearing Notice, including its date, time, and place, will be published at least 5 days in advance in the MetroWest newspaper (at the applicant's expense).

# NHESP Plan

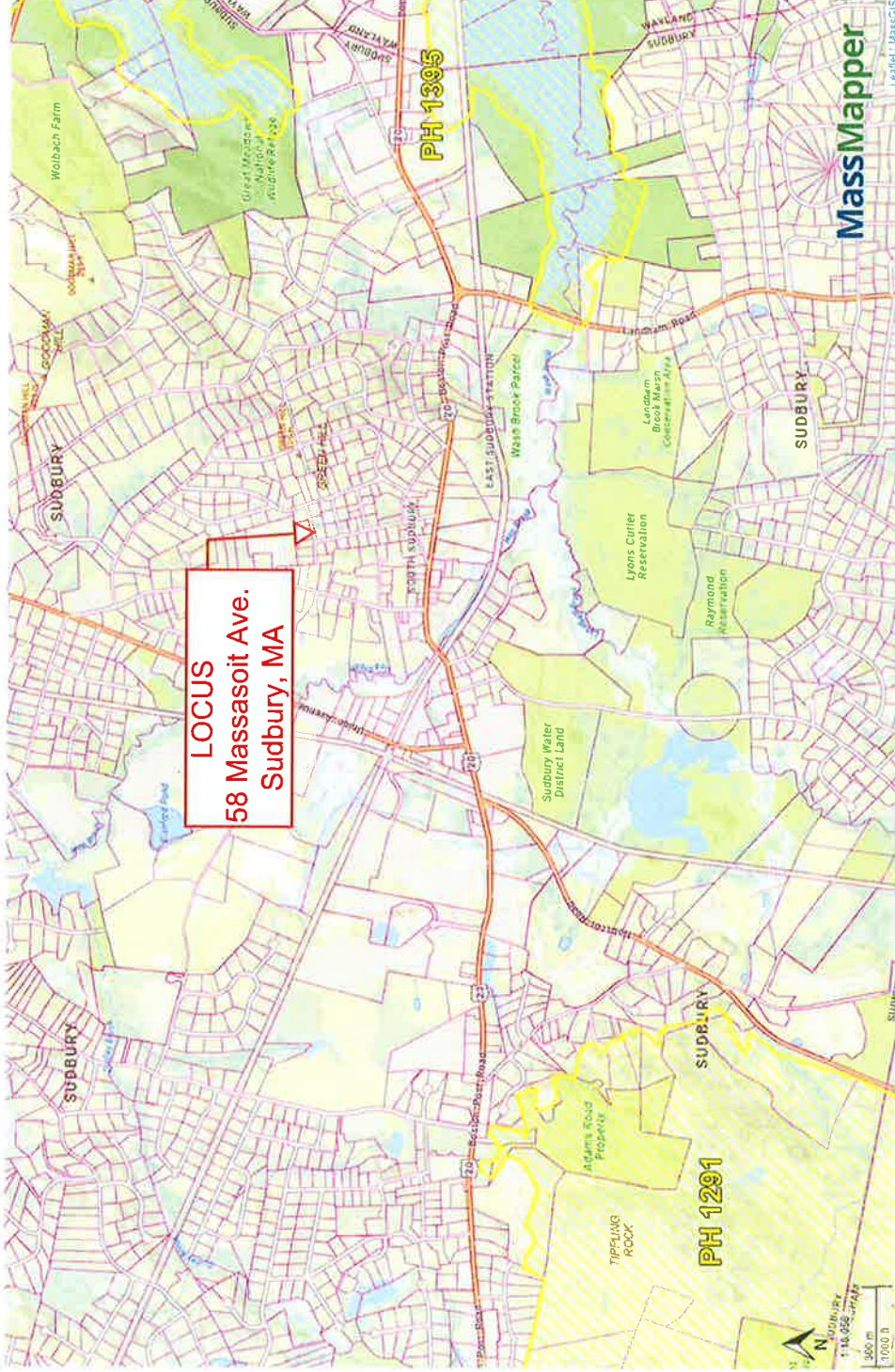
NHESP Priority Habitats of Rare Species



NHESP Estimated Habitats of Rare Wildlife



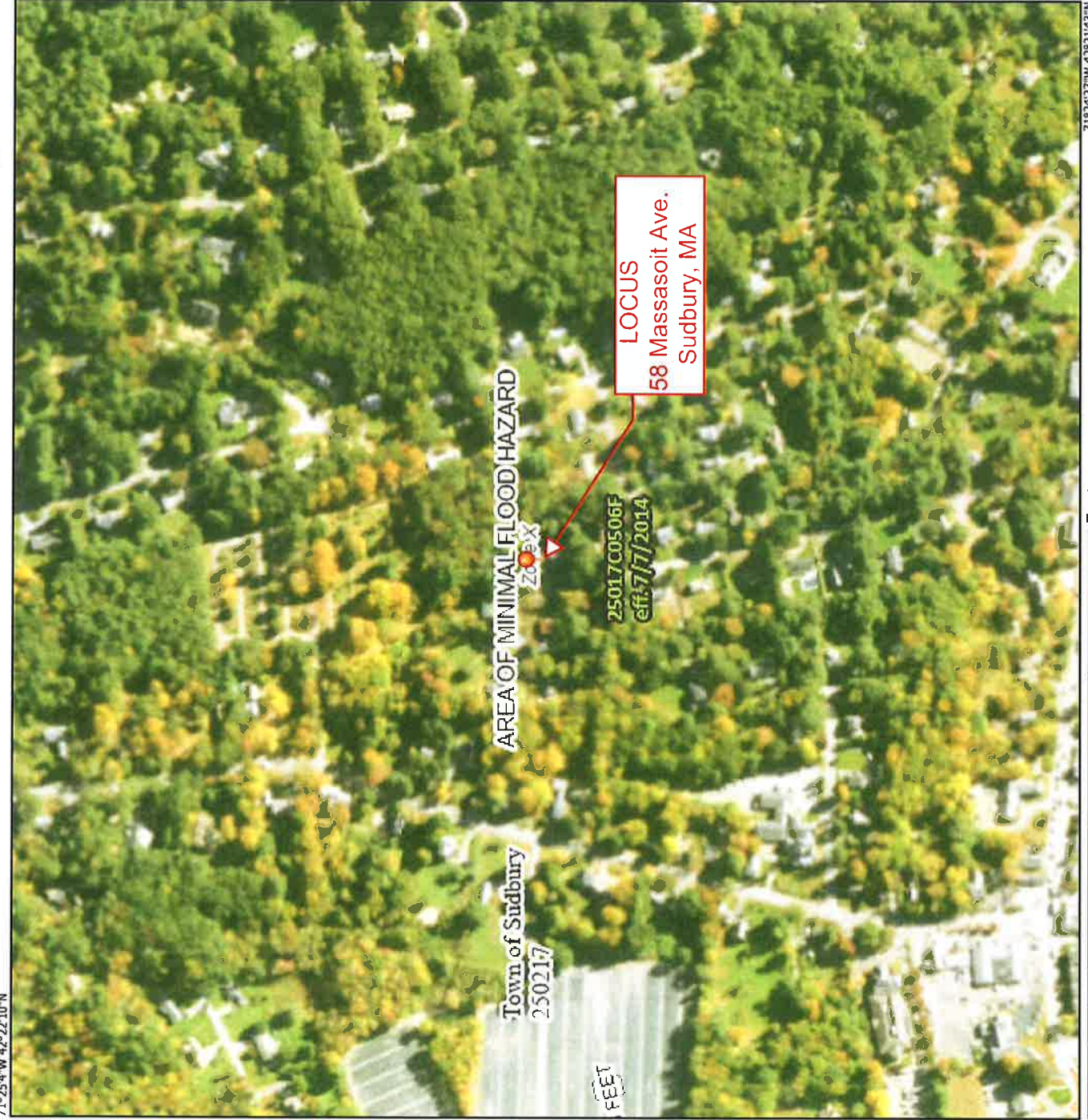
Property Tax Parcels



# National Flood Hazard Layer FIRMette



71°25'4"W 42°22'10"N



## Legend

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)  
*Zone A, V, A99*
- With BFE or Depth  
*Zone AE, AO, AH, VE, AP*
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee, See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

**OTHER AREAS**

- NO SCREEN
- Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone D*

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/11/2022 at 1:21 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

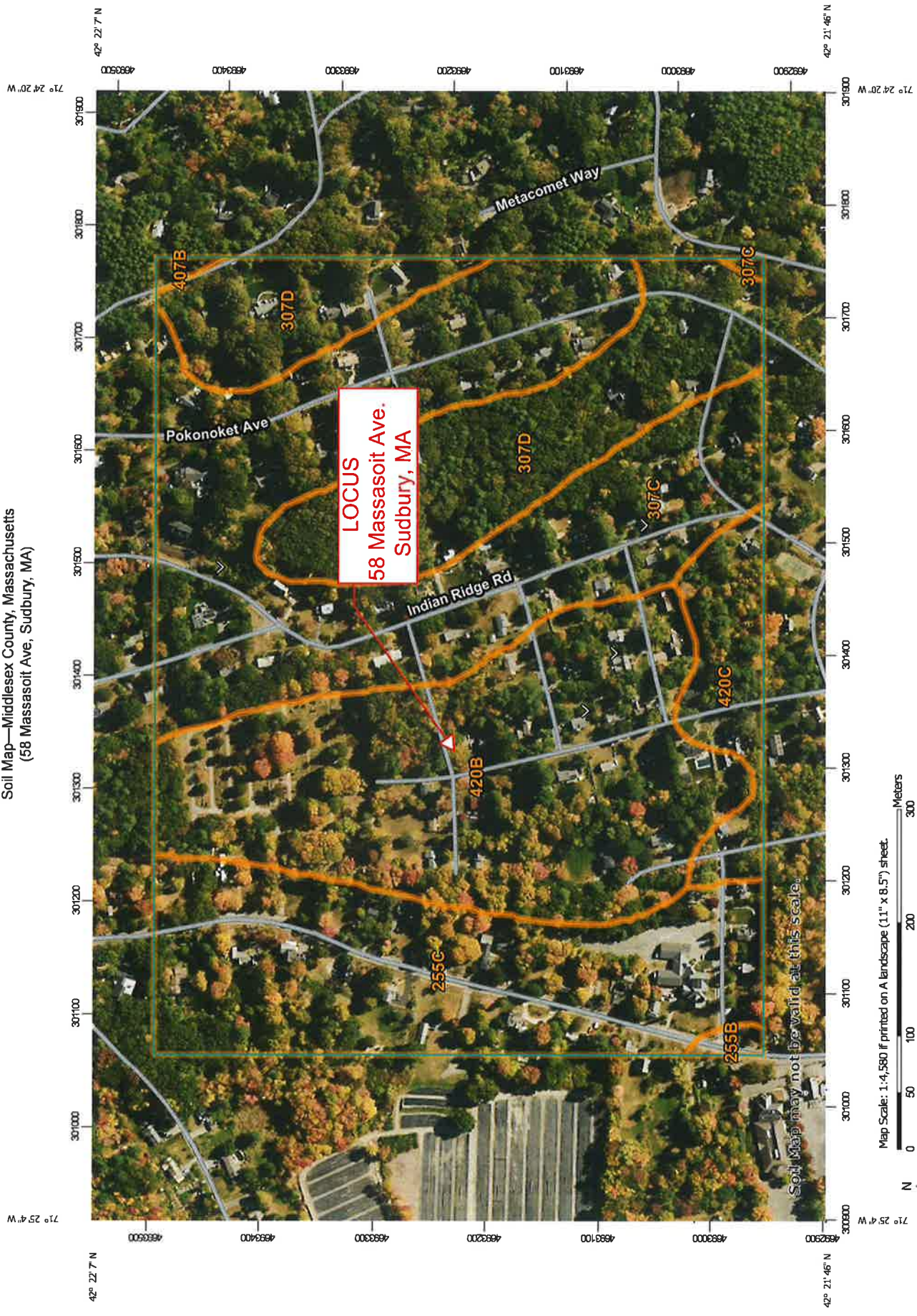
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

71°24'27"W 42°21'43"N

Soil Map—Middlesex County, Massachusetts  
(58 Massasoit Ave, Sudbury, MA)



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres In AOI	Percent of AOI
255B	Windsor loamy sand, 3 to 8 percent slopes	0.4	0.4%
255C	Windsor loamy sand, 8 to 15 percent slopes	19.0	20.0%
307C	Paxton fine sandy loam, 8 to 15 percent slopes, extremely stony	29.4	31.0%
307D	Paxton fine sandy loam, 15 to 25 percent slopes, extremely stony	17.0	18.0%
407B	Charlton fine sandy loam, 3 to 8 percent slopes, extremely stony	0.3	0.3%
420B	Canton fine sandy loam, 3 to 8 percent slopes	24.5	25.8%
420C	Canton fine sandy loam, 8 to 15 percent slopes	4.4	4.6%
<b>Totals for Area of Interest</b>		<b>95.0</b>	<b>100.0%</b>

Middlesex South Registry of Deeds  
Electronically Recorded Document

This is the first page of the document - Do not remove

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Recording Information

Document Number : 56203  
Document Type : DEED  
Recorded Date : April 14, 2022  
Recorded Time : 02:12:38 PM  
  
Recorded Book and Page : 79979 / 14  
Number of Pages(including cover sheet) : 4  
Receipt Number : 2804689  
Recording Fee (including excise) : \$2,115.80

\*\*\*\*\*  
MASSACHUSETTS EXCISE TAX  
Southern Middlesex District ROD # 001  
Date: 04/14/2022 02:12 PM  
Ctrl# 356573 24250 Doc# 00056203  
Fee: \$1,960.80 Cons: \$430,000.00  
\*\*\*\*\*

**Middlesex South Registry of Deeds**  
**Maria C. Curtatone, Register**  
208 Cambridge Street  
Cambridge, MA 02141  
617-679-6300  
[www.middlesexsouthregistry.com](http://www.middlesexsouthregistry.com)

## QUITCLAIM DEED

Grantor: **Candice Wright, Trustee of the Wright Family Realty Trust**, under declaration of trust dated April 11, 2019, recorded April 13, 2022 with the Middlesex South County Registry of Deeds at Book 79973, Page 458 evidenced by Trustee Certificate pursuant to M.G.L. Chapter 184, Section 35, recorded herewith, of 58 Massasoit Avenue, Sudbury, MA 01776

In consideration of Four Hundred Thirty Thousand Dollars (\$430,000.00) paid,

Grant to: **JBJS CHARLES, LLC**, a Massachusetts limited liability company with an address of , of 2 Shaker Road, D203, Shirley, Massachusetts 01464

**WITH QUITCLAIM COVENANTS,**

A certain parcel of land with the buildings thereon, known as 58 Massasoit Avenue, situated in the Town of Sudbury, Middlesex County, Commonwealth of Massachusetts, more particularly described as follows:

See Exhibit A attached hereto.

Property Address: **58 Massasoit Avenue, Sudbury, MA 01776**

For title see deed dated April 11, 2019 and recorded with the Middlesex South District Registry of Deeds in Book 72500, Page 243.

[Remainder of this page intentionally blank.]



Executed as a sealed instrument this 12<sup>th</sup> day of April, 2022.

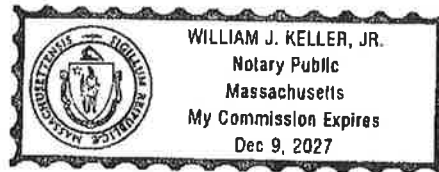


**Candice Wright**

COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss

On this 12<sup>th</sup> day of April 2022, before me, the undersigned notary public, personally appeared **Candice Wright**, proved to me through satisfactory evidence of identification, which was/were  Mass. driver's license(s) or [ ] \_\_\_\_\_, to be the person(s) whose name(s) is/are signed on the preceding or attached document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose, in her capacity as Trustee of the Wright Family Realty Trust.

  
Notary Public

## EXHIBIT A

### Parcel 1

The land in said Sudbury, Massachusetts, situated at the Easterly corner of Massasoit Avenue and Franklin Place being Lot H as shown on a plan entitled "Part Plan of Subdivision Plan of "King Philip Heights", South Sudbury, Massachusetts dated June 18, 1946, compiled by E. W. Pettigrew, C. E., a copy of which is recorded with the Middlesex South District Registry of Deeds.

NORTHERLY            by Franklin Place as shown on said plan one hundred and fifty (150) feet;

EASTERLY            by Lot I as shown on said plan one hundred and forty (140) feet;

SOUTHERLY           by land of persons not designated as shown on said plan one hundred and fifty (150) feet;

WESTERLY            by Massasoit Avenue as shown on said plan one hundred and forty (140) feet.

### Parcel 2

The land in said Sudbury situated on the Southerly side of Franklin Place and being Lot I as shown on unrecorded plan entitled "Part Plan of Subdivision plan of King Philip Heights, South Sudbury, Massachusetts," dated June 18, 1946, compiled by E.W. Pettigrew, C.E., bounded and described as follows:

NORTHERLY           by Franklin Place as shown on said plan one hundred and (120) feet;

EASTERLY            by land of persons not designated as shown on said plan one hundred and forty (140) feet;

SOUTHERLY           by land of persons not designated as shown on said plan one hundred and twenty (120) feet; and

WESTERLY            by Lot H as shown on said plan one hundred and forty (140) feet.

# Unofficial Property Record Card - Sudbury, MA

## General Property Data

Parcel ID **K09-0425**  
Prior Parcel ID **LOT- H -1444 OF 55-**  
Property Owner **WRIGHT EVELYN E TRS**  
**WRIGHT FAMILY REALTY TRUST**  
Mailing Address **58 MASSASOIT AVE**  
  
City **SUDBURY**  
Mailing State **MA** Zip **01776**  
ParcelZoning **RESA**

Account Number  
  
Property Location **58 MASSASOIT AVE**  
Property Use **ONE FAM**  
Most Recent Sale Date **4/25/2019**  
Legal Reference **72500-243**  
Grantor **WRIGHT EVELYN E,**  
Sale Price **1**  
Land Area **0.870 acres**

## Current Property Assessment

Land Value **358,200**

Building Value **118,700**

Total Value **479,100**

## Building Description

Building Style **CAPE**  
# of Living Units **1**  
Year Built **1952**  
Building Grade **AVERAGE**  
Building Condition **Poor**  
Finished Area (SF) **1424**  
Number Rooms **7**  
# of 3/4 Baths **0**

Foundation Type **CONCRETE**  
Frame Type **WOODEN**  
Roof Structure **GABLE**  
Roof Cover **SLATE**  
Siding **CLAPBOARD**  
Interior Walls **N/A**  
# of Bedrooms **3**  
# of 1/2 Baths **1**

Flooring Type **N/A**  
Basement Floor **N/A**  
Heating Type **FORCED H/W**  
Heating Fuel **OIL**  
Air Conditioning **0%**  
# of Bsmt Garages **0**  
# of Full Baths **1**  
# of Other Fixtures **0**

## Legal Description

## Narrative Description of Property

This property contains 0.870 acres of land mainly classified as ONE FAM with a(n) CAPE style building, built about 1952 , having CLAPBOARD exterior and SLATE roof cover, with 1 unit(s), 7 room(s), 3 bedroom(s), 1 bath(s), 1 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

15783-032020

Prepared by Microsoft

HydroCAD® 10.00-18 s/n 07559 © 2016 HydroCAD Software Solutions LLC

Type III 24-hr 100-year Rainfall=8.19"

Printed 8/12/2022

### Pond 2P: (new Pond) - Chamber Wizard Field A

**Chamber Model = Cultec C-100HD (Cultec Contactor® 100HD)**

Effective Size= 32.1"W x 12.0"H => 1.86 sf x 7.50'L = 14.0 cf

Overall Size= 36.0"W x 12.5"H x 8.00'L with 0.50' Overlap

Row Length Adjustment= +0.50' x 1.86 sf x 1 rows

6 Chambers/Row x 7.50' Long +0.50' Row Adjustment = 45.50' Row Length +12.0" End Stone x 2 = 47.50' Base Length

1 Rows x 36.0" Wide + 18.0" Side Stone x 2 = 6.00' Base Width

6.0" Base + 12.5" Chamber Height = 1.54' Field Height

6 Chambers x 14.0 cf +0.50' Row Adjustment x 1.86 sf x 1 Rows = 84.7 cf Chamber Storage

439.4 cf Field - 84.7 cf Chambers = 354.7 cf Stone x 40.0% Voids = 141.9 cf Stone Storage

Chamber Storage + Stone Storage = 226.6 cf = 0.0 af

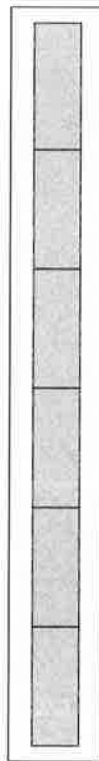
Overall Storage Efficiency = 51.6%

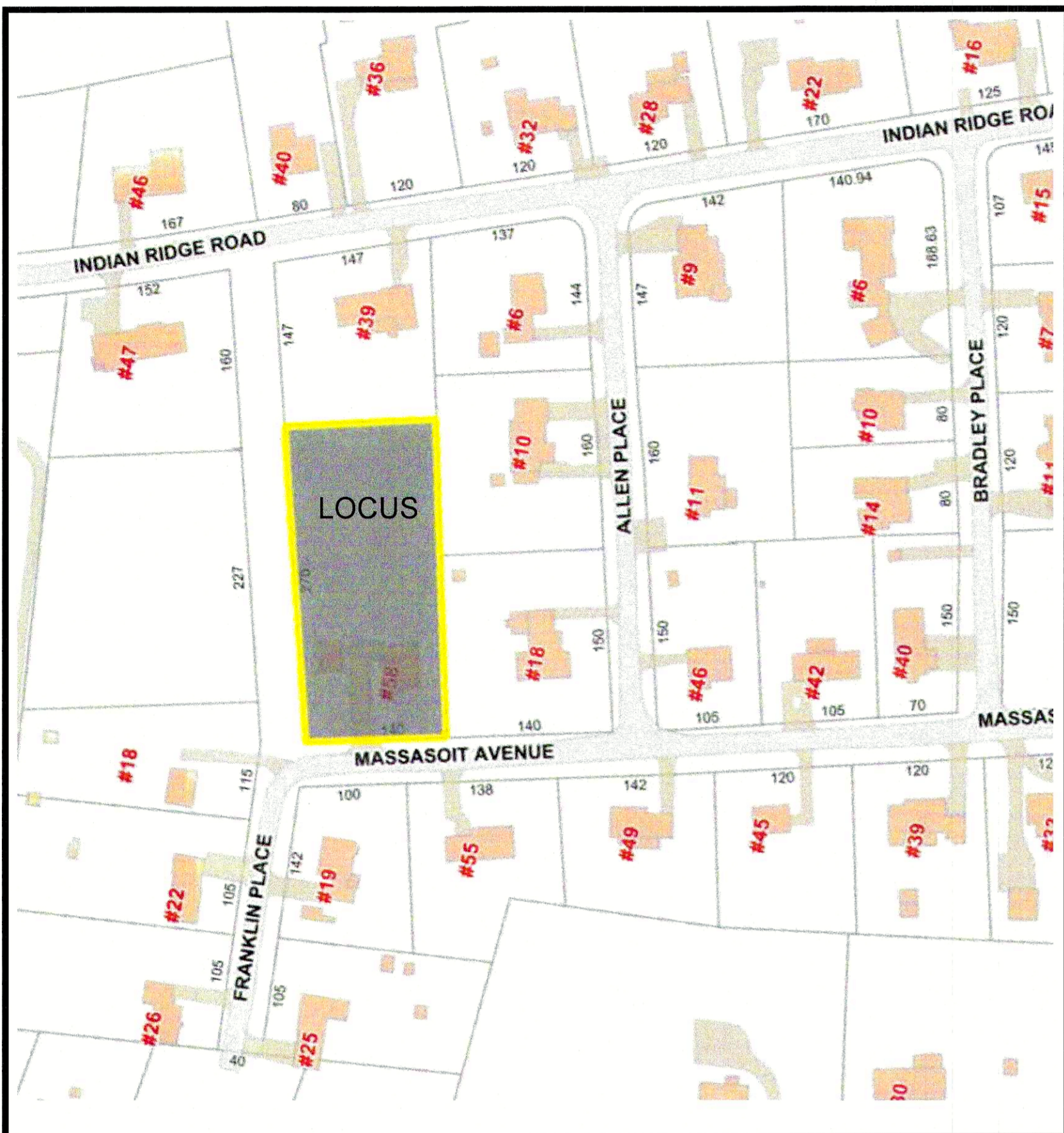
Overall System Size = 47.50' x 6.00' x 1.54'

6 Chambers

16.3 cy Field

13.1 cy Stone





LOCUS MAP

ASSESSOR'S REFERENCE:  
K09-0425

DEED REFERENCE:  
MIDDLESEX COUNTY REGISTRY OF DEEDS  
Bk. 79979, Pg. 14

PLAN REFERENCE:  
PLAN No. 933 OF 1949

OWNER OF RECORD:  
JBJS CHARLES, LLC c/o JONATAS STORCK  
15 EDWARDS LANE  
QUINCY, MA 02169

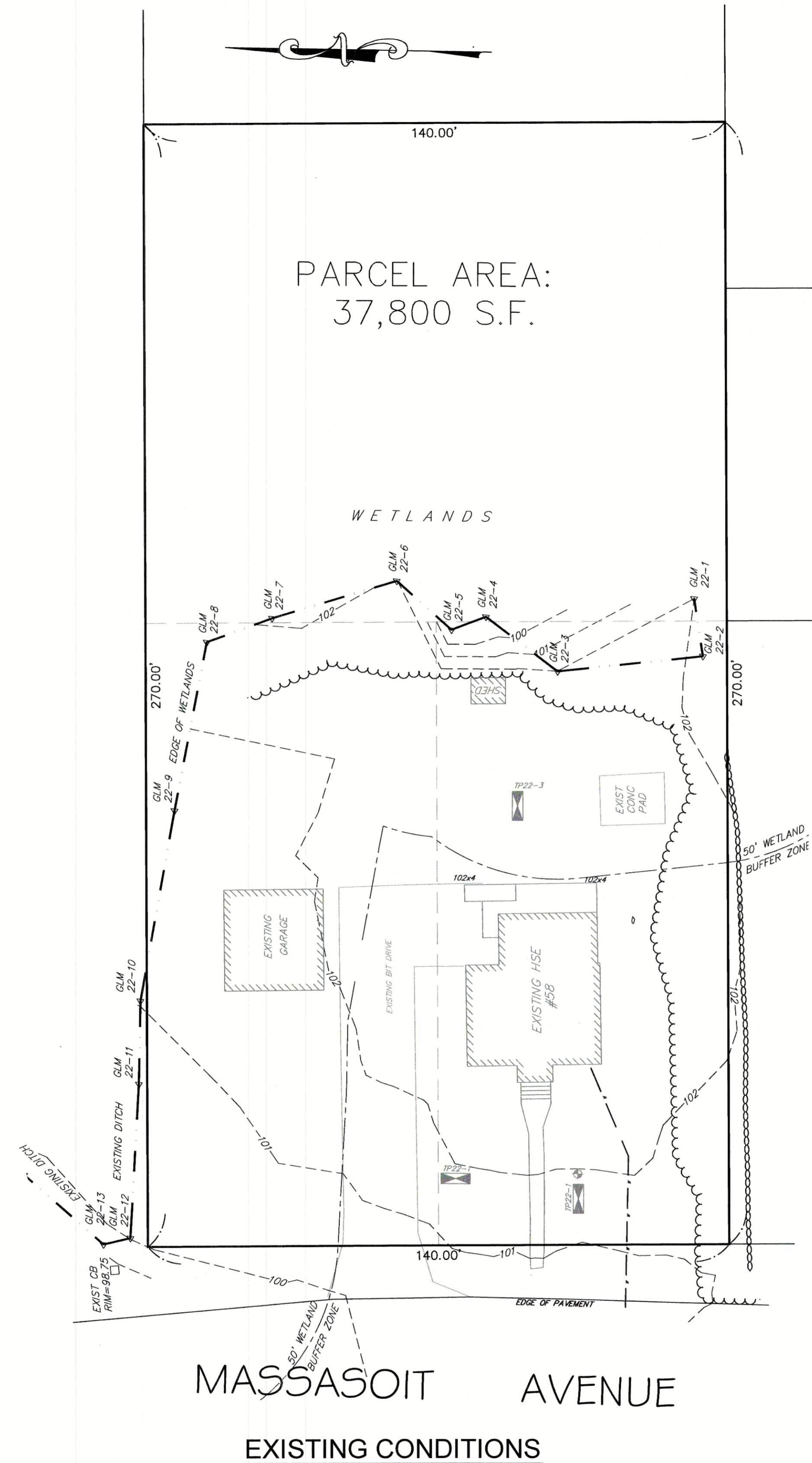
ZONING CLASSIFICATION:  
RES A-1  
MIN. LOT SIZE = 40,000 S.F.  
MIN. FRONTAGE = 180 FEET

MIN. SETBACK REQUIREMENTS:  
FRONT SETBACKS = 40 FEET  
SIDE SETBACKS = 20 FEET  
REAR SETBACKS = 30 FEET

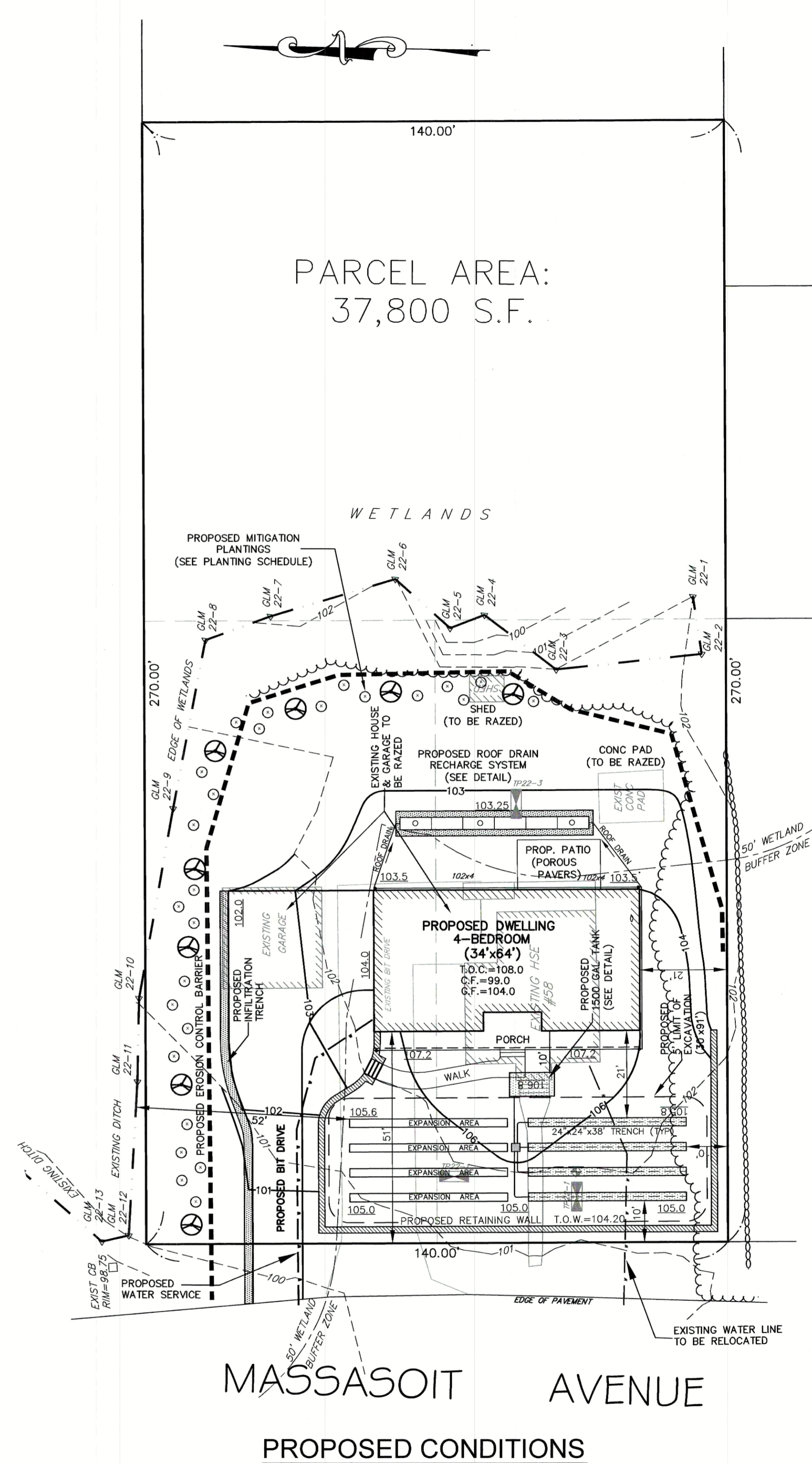
WETLAND BUFFER ACTIVITY

ACTIVITY	100' BUFFER
EXISTING CONDITIONS	
HOUSE	1,348 S.F.
DRIVEWAY/WALK	2,375 S.F.
GARAGE	581 S.F.
SHED	52 S.F.
CONC. PAD	189 S.F.
TOTAL:	4,545 S.F.
PROPOSED CONDITIONS	
HOUSE	2,432 S.F.
DRIVEWAY/WALK	2,106 S.F.
TOTAL:	4,538 S.F.

\*\*THE PROJECT RESULTS IN A 7 S.F. DECREASE IN BUFFER ZONE ACTIVITY\*\*



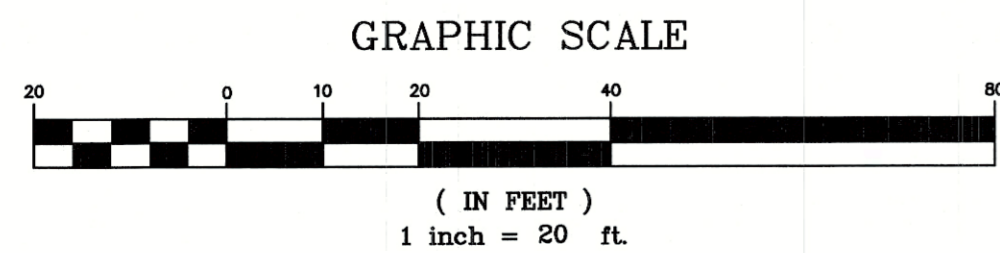
MASSASOIT AVENUE  
EXISTING CONDITIONS



MASSASOIT AVENUE  
PROPOSED CONDITIONS

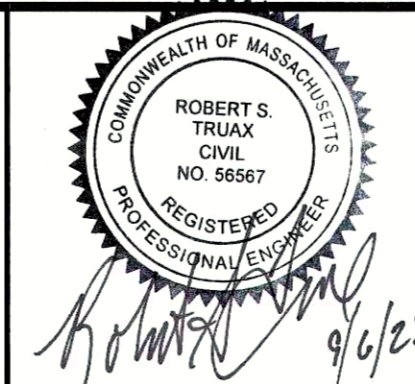


NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233



REVISIONS		
No.	DATE	DESCRIPTION
1	8/10/2022	DRAINAGE, GRADING, SEPTIC DETAILS
2	9/1/2022	STORMWATER, PLANTING

FLD.: RC, ML  
DRW.: JEH  
CHKD.: RST



**GLM Engineering Consultants, Inc.**  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100 F: 508-429-7160  
www.GLMengineering.com

**PROPOSED HOUSE LOCATION PLAN**  
**"58 MASSASOIT AVENUE"**  
**SUDBURY, MASSACHUSETTS**  
APPLICANT:  
JBJS CHARLES, LLC  
15 EDWARDS LANE  
QUINCY, MA 02169

JOB No. 17,240  
DATE: 7/6/2022  
SCALE: 1"=20'  
SHEET: 1 of 3  
PLAN #: 27,611

AS MITIGATION FOR ACTIVITY IN THE WETLAND BUFFER ZONE 2,200 S.F. OF EXISTING YARD WILL BE RESTORED WITH NATIVE VEGETATION.

PLANTING SCHEDULE

- - (26) SHRUBS (1 GALLON)
  - (10) - SWEET PEPPERBUSH (*Clethra alnifolia*)
  - (20) - Highbush Blueberry (*Vaccinium corymbosum*)
  - (10) - GRAY DOGWOOD (*Cornus racemosa*)
  - (10) - RED CHOKEBERRY (*Aronia arbutifolia*)
  - (10) - SERVICEBERRY (*Amelanchier arborea*)
- ⊗ - (8) TREES (2 GALLON) - 1.5 INCH CALIPER
  - (4) - RED MAPLE (*Acer rubrum*)
  - (2) - BALSUM FIR (*Abies balsamea*)
  - (4) - BLACK GUM (*Nyssa sylvatica*)

- NOTES:
- TREES AND SHRUBS WILL BE PLANTED AS SHOWN ON THE PLAN, WITH MINOR DEVIATIONS TO LOCATION BASED ON SITE CONDITIONS.
  - ALL PLANTINGS WILL BE WATERED AS NECESSARY AFTER PLANTING UNTIL SUCCESSFULLY ESTABLISHED.
  - ANY MODIFICATIONS TO PLAN SPECIES SHALL ONLY BE ALLOWED IF APPROVED BY SUDBURY CONSERVATION COMMISSION STAFF PRIOR.
  - THE RESTORATION AREA IS NOT INTENDED TO BE A LANDSCAPED AREA. IT IS TO BE REMAIN NATURAL. NO MULCH IS TO BE ADDED.
  - AS GRASS WITHIN THE RESTORATION AREA REACHES A HEIGHT OF 12 TO 14 INCHES, THE AREA WILL BE MOWED TO A HEIGHT OF 4 INCHES TO ENCOURAGE THE GROWTH OF THE PLANTED TREES AND SHRUBS.
  - AFTER THE SHRUBS AND TREES ARE PLANTED, THE RESTORATION SHALL BE OVERSEED WITH A WETLAND SEED MIX.
  - DURING THE MONITORING PERIOD, THE WEEDS AT THE BASE OF THE PLANTED TREES AND SHRUBS SHALL BE PULLED TO ENCOURAGE THE GROWTH OF THE TREES AND SHRUBS.

AS ADDITIONAL MITIGATION FOR WETLAND BUFFER ZONE ACTIVITY, THE PROJECT WILL INCLUDE INVASIVE SPECIES MANAGEMENT.

AS ADDITIONAL MITIGATION FOR WETLAND BUFFER ZONE ACTIVITY, THE PROJECT WILL INCLUDE INVASIVE SPECIES MANAGEMENT.

NOTES:  
The applicant is proposing to reduce the prevalence of invasive species within the wetland buffer zone along the northerly side and easterly sides of the property.

The undesirable species in this area include:  
Tatarian honeysuckle (*Lonicera tatarica*)  
Glossy Buckthorn (*Frangula alnus*)  
Oriental Bittersweet (*Celastrus orbiculatus*)  
Japanese Knotweed (*Polygonum cuspidatum*)

Methods  
Woody shrubs and vines will be either pried (smaller specimens) using leverage tools (i.e. puller bar, weed wrench, etc.), or they will be cut and the stems/trunks will be and painted immediately with concentrated, wetland safe herbicide. Herbicides shall only be applied by a licensed applicator and the product will be approved by the Conservation Commission prior to use. The area will be monitored for re-sprouts or missed plants during the build out of the project; undesirable vegetation can be treated with a dilute herbicide solution (usually 2%) applied to the leaves during the mid-late growing season.

All woody or herbaceous materials will be removed from the site and disposed of so as not to foster propagation of these species elsewhere; either buried or properly composted, as appropriate. During the build out of the project, the areas of invasive treatment will be inspected and spot treated by either mechanical or legally applied chemical means so that at the closure of the Order of Conditions, the property will have benefitted from one or more years of invasive species management that will diminish the prevalence of these species.

Invasive Vegetation Management for Habitat Improvement

- Remove small undesirable shrubs via wrenching tool as practicable.
- Cut woody stems with licensed application of herbicide.
- Legally dispose of all salvage vegetation.
- Monitor for re-sprouts and spot treat/maintain treatment through issuance of Certificate of Compliance.

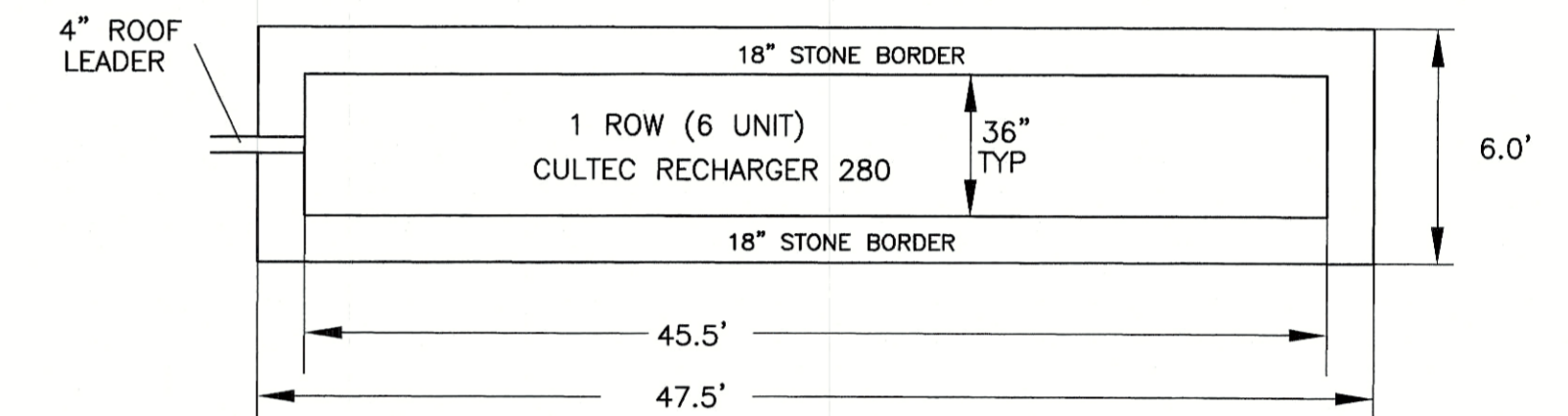
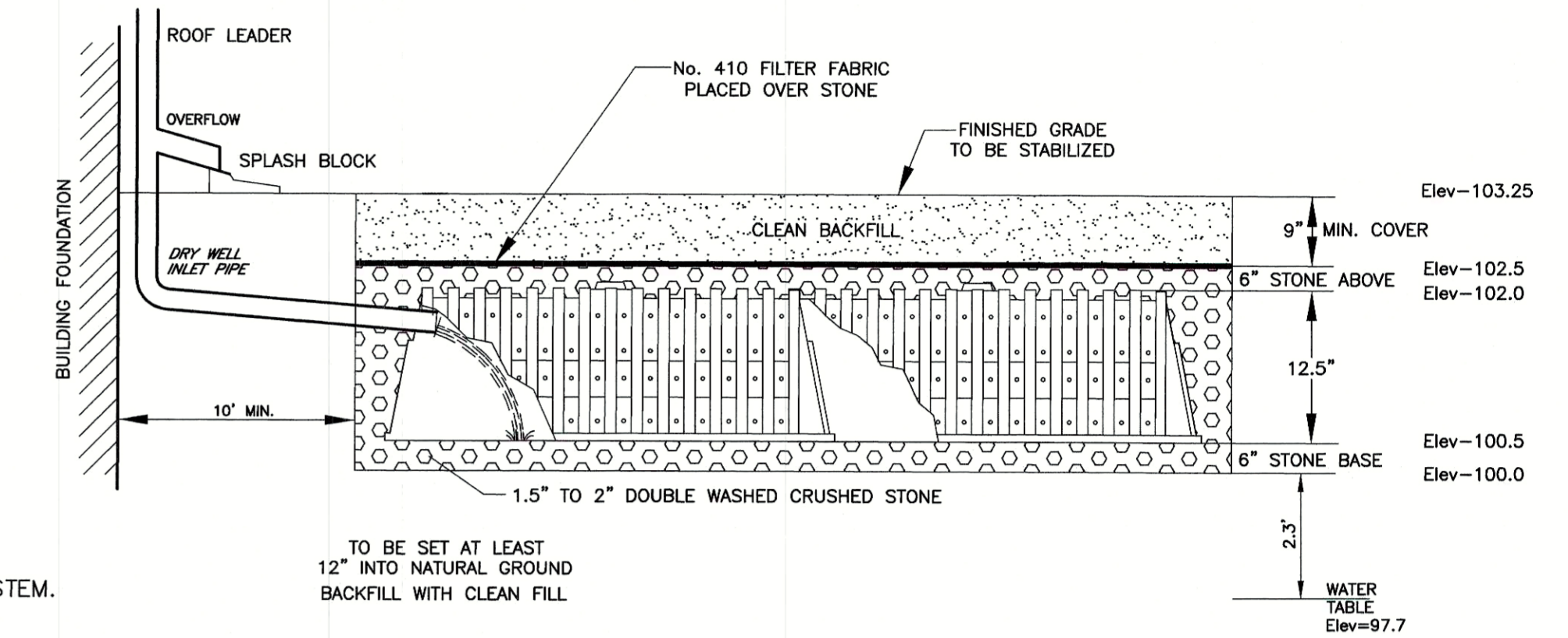
DRAINAGE SYSTEM CALCULATIONS  
ALL ROOF RUNOFF TO BE DIRECTED TO RECHARGE SYSTEM.

PROPOSED ROOF AREA = 2,432 S.F.

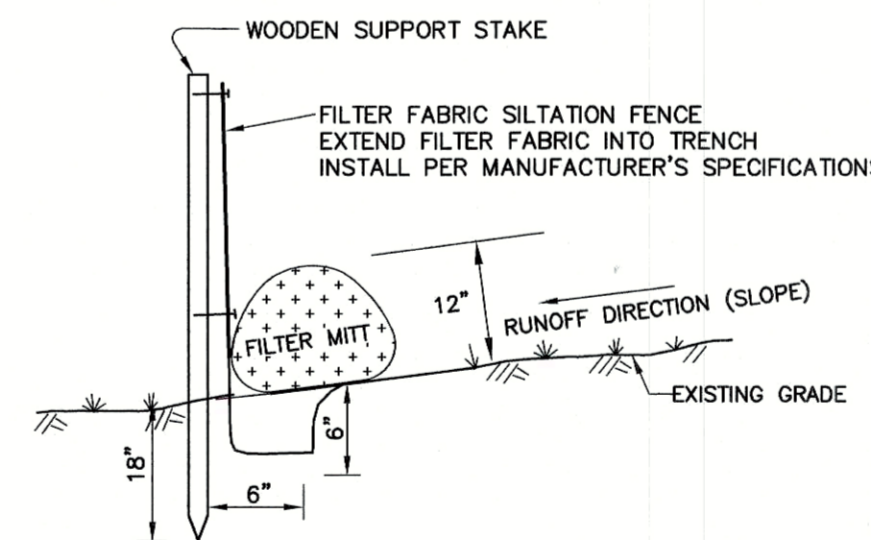
VOLUME REQUIRED FOR 1" OF RUNOFF OVER ROOF AREA:  
2,432 S.F. x 1" = 202.67 C.F.

DRAINAGE SYSTEM:  
CULTEC CHAMBERS - CONTRACTOR 100HD WITH STONE  
TOTAL STORAGE WITH 18" STONE = 37.76 C.F./UNIT

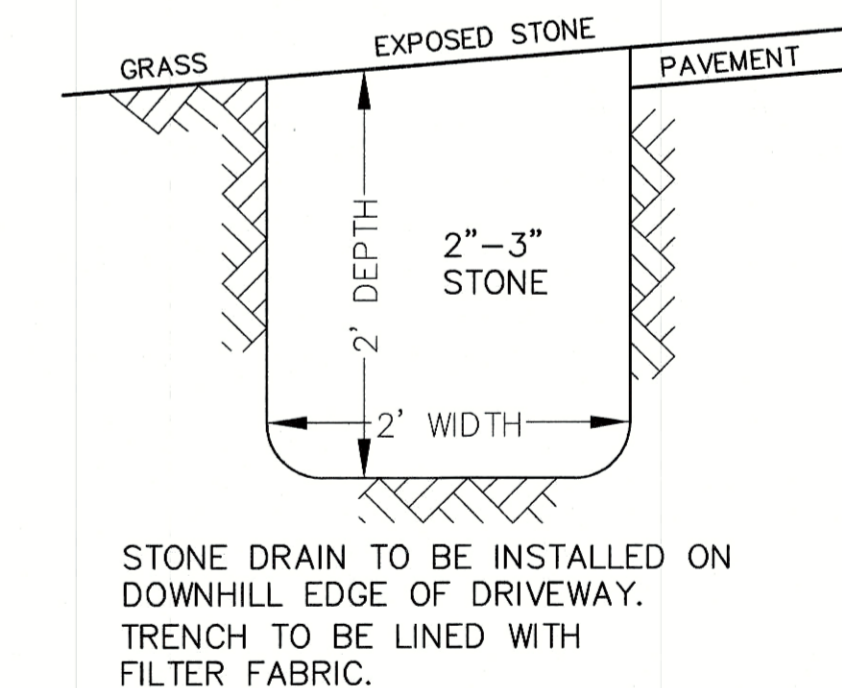
VOLUME PROVIDED:  
6 SYSTEMS x 37.76 C.F. = 226.6 C.F.



**CULTEC DRY WELL SYSTEM  
FOR ROOF RUNOFF INFILTRATION  
CULTEC CONTRACTOR 100HD**  
N.T.S.



**EROSION CONTROL BARRIER  
FILTER MITT W/ SILT FENCE**  
N.T.S.



**INFILTRATION TRENCH DETAIL**  
N.T.S.

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

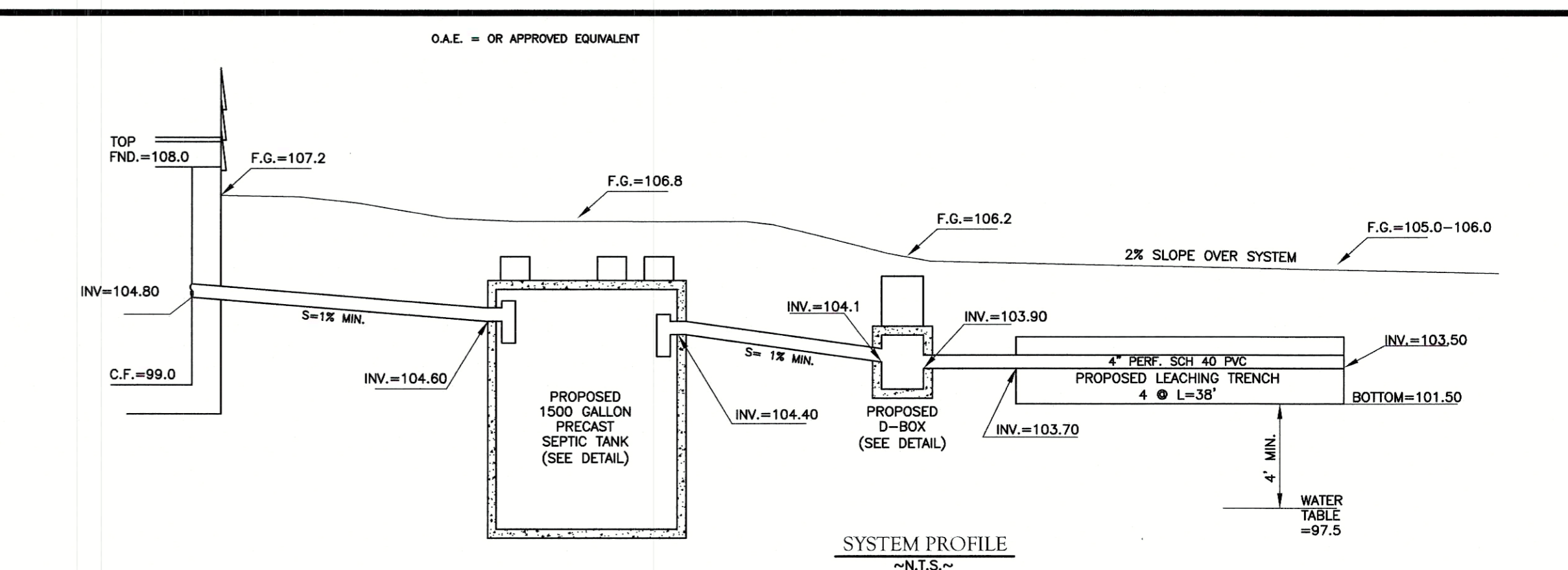
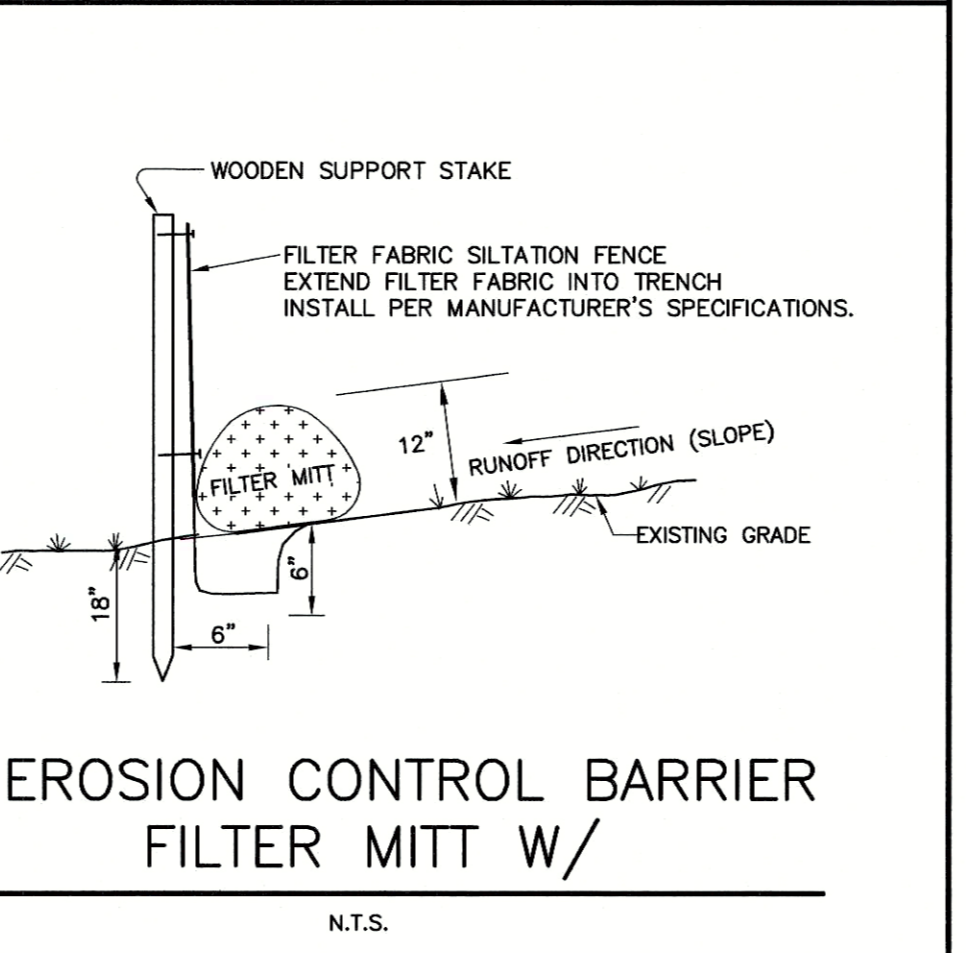
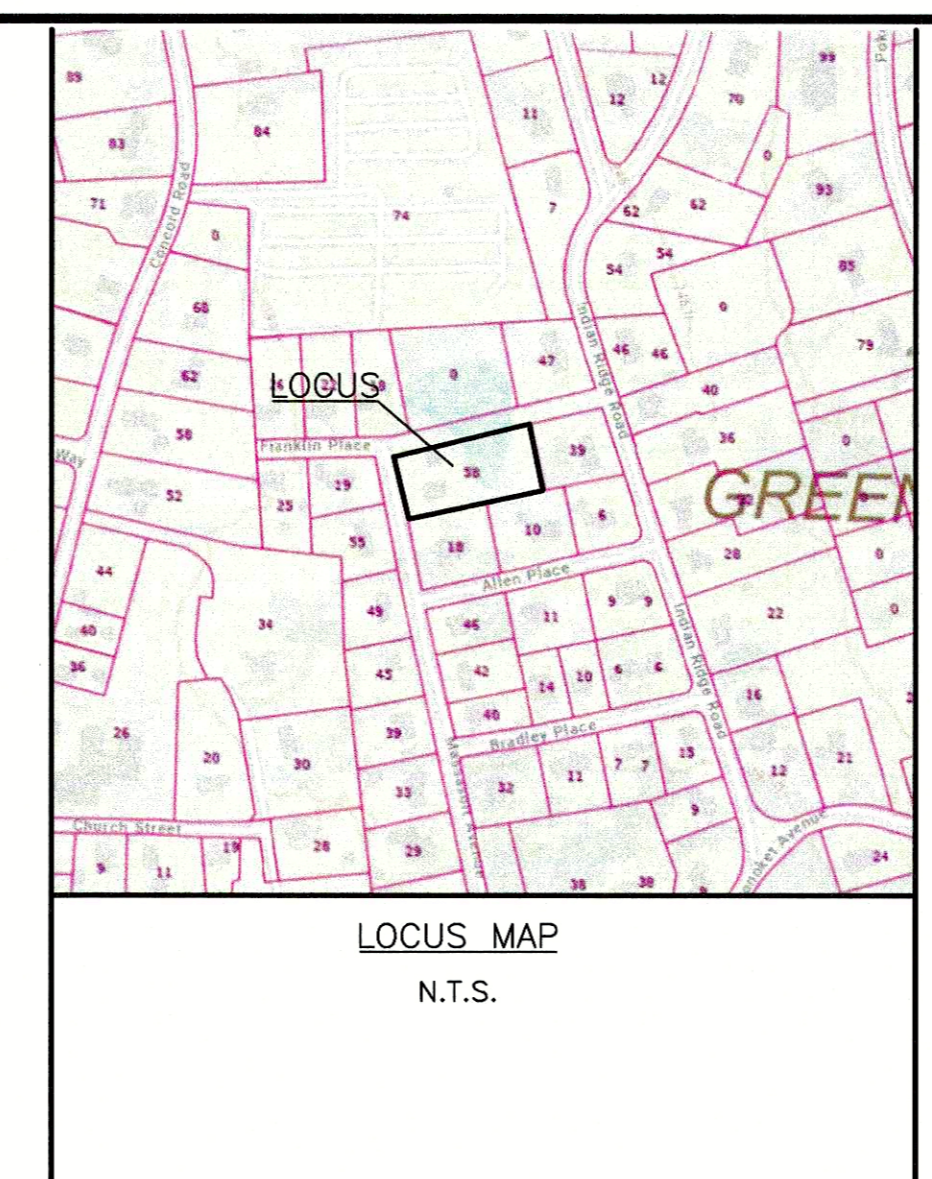
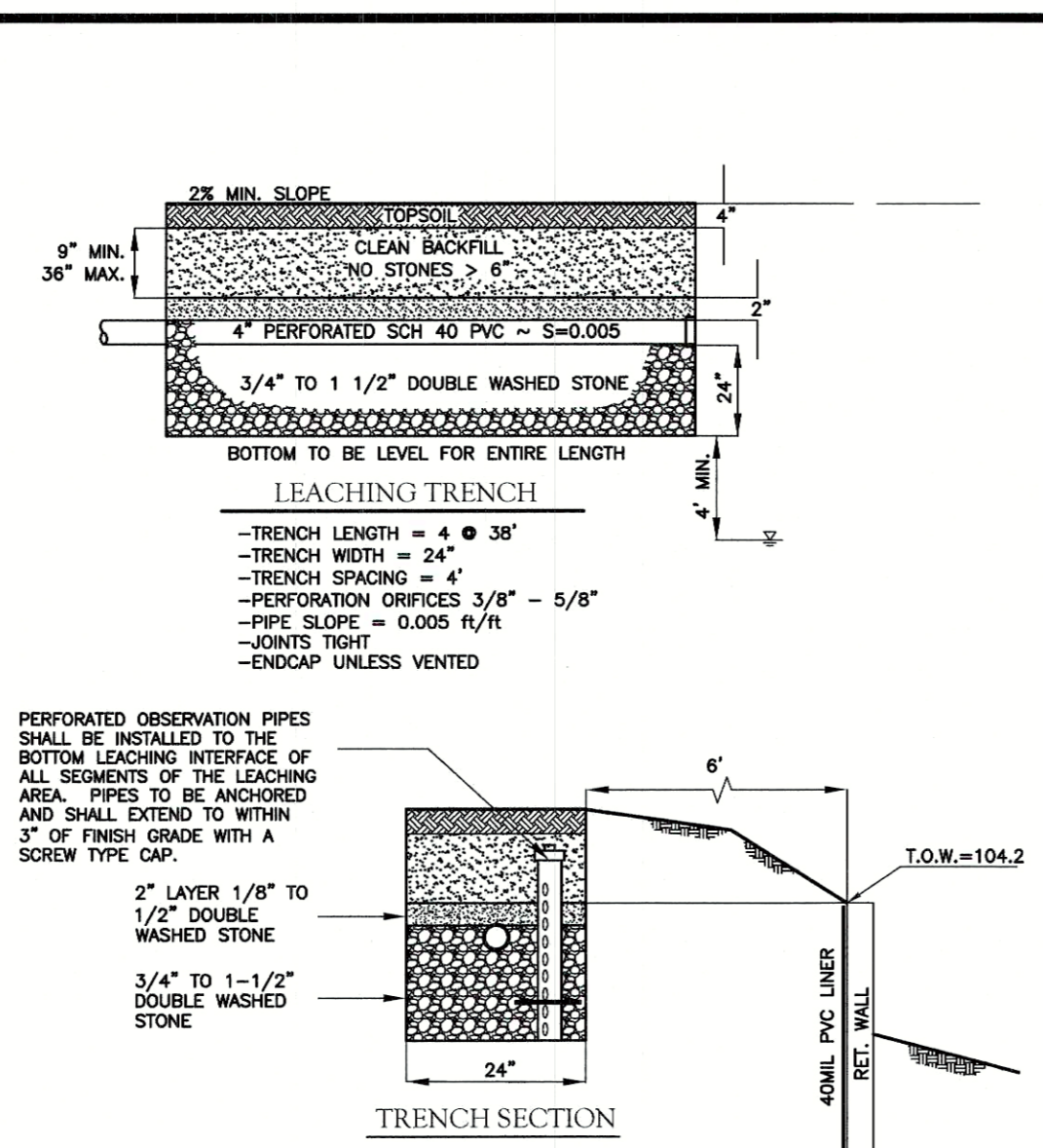
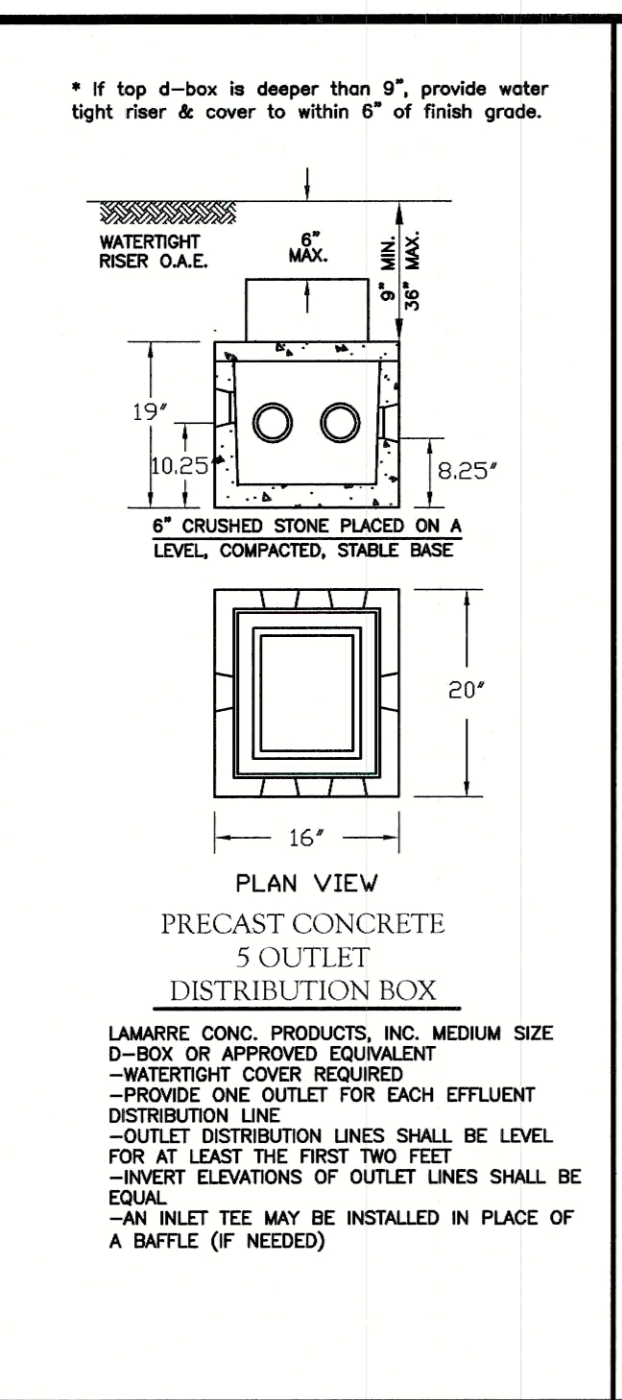
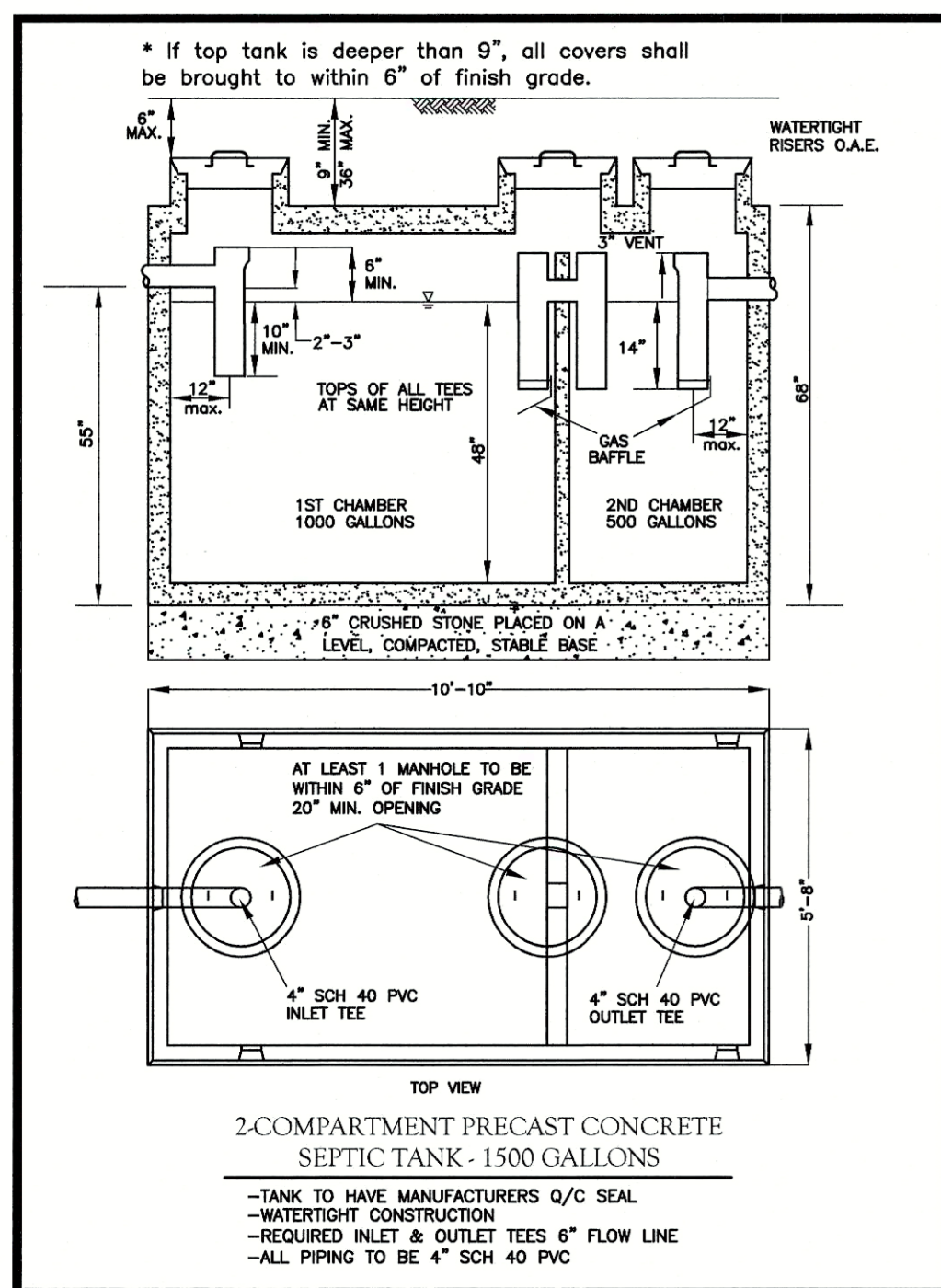
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JOB No.	17,240
DATE:	7/6/2022
SCALE:	1"=20'
SHEET:	2 of 3
PLAN #:	27,611



CONSTRUCTION NOTES:

- ALL PIPING TO BE 4" SCH 40 PVC UNLESS OTHERWISE NOTED.
- ALL PIPES JOINTS TO BE WATER TIGHT.
- BUILDING SEWER TO BE LAD ON COMPACTED FIRM BASE.
- ALL COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE PRIOR TO BACK FILLING.
- BACKFILL MUST BE SUFFICIENTLY COMPACTED TO PREVENT SETTLING.
- SOIL PLACED AS BACKFILL OVER THE SYSTEM MUST BE CLEAN AND FREE OF STONES > 2" TALINGS, CLAY OR SIMILAR MATERIALS ARE PROHIBITED.
- FINAL COVER OVER THE SYSTEM SHALL BE STABILIZED (LOAMED & SEEDD)

PERC#	DEPTH	PERC#	DEPTH
22-1	40'-58"		
22-2	40'-58"		
	SOAK		SOAK
	11:20		11:20
	11:35		11:35
	11:42		11:42
	11:50		11:50
	3 MPI		3 MPI

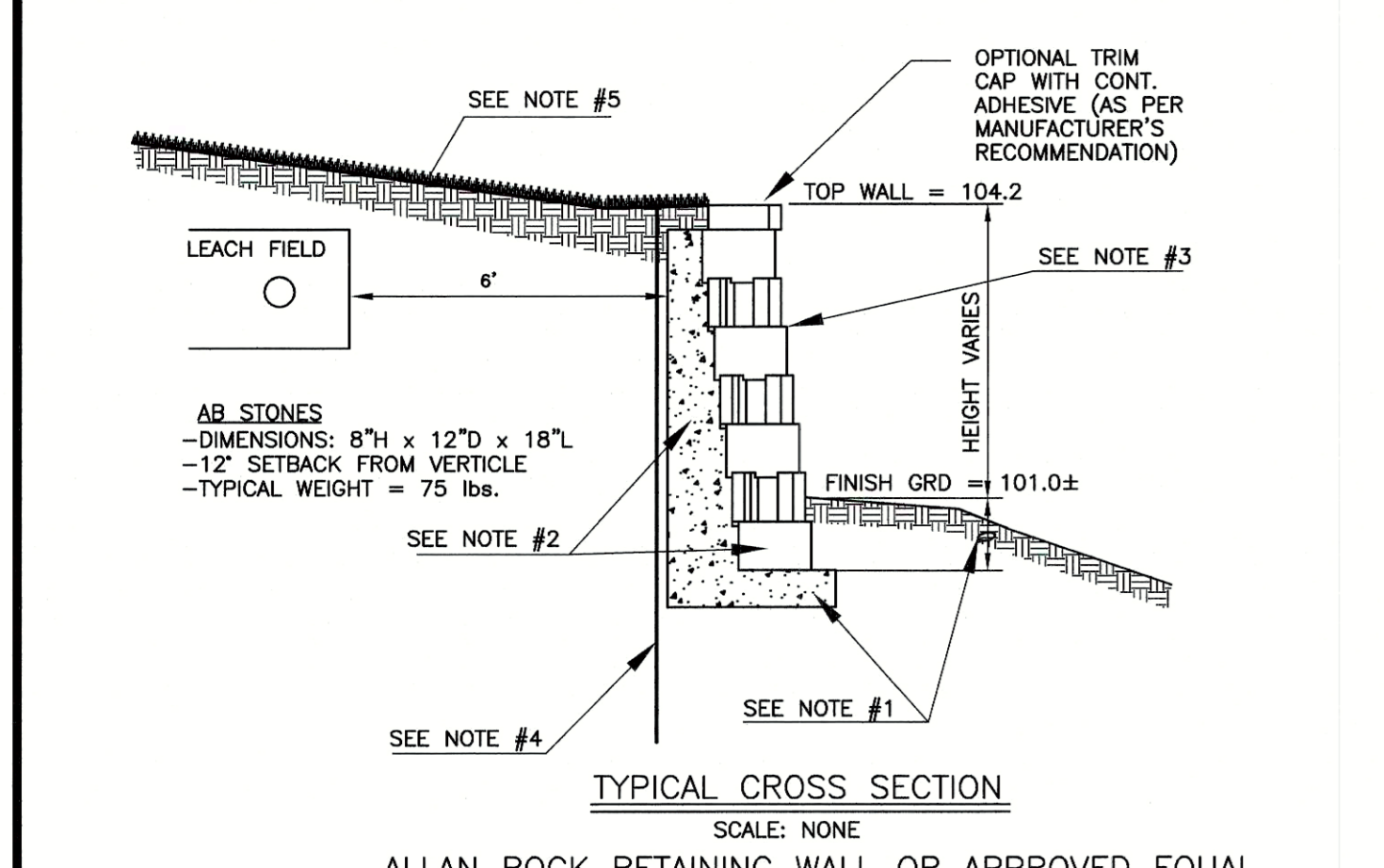
VARIANCE REQUESTED:  
Sudbury Rules & Regulations Governing the Subsurface Disposal of Sewage.  
Section X. Retaining Walls:  
Request a variance to install a retaining wall in lieu of the slope requirement as detailed in Title V.

- NOTES:
- EXISTING TANK SHALL BE PUMPED CLEAN, CRUSHED, FILLED WITH GRAVEL AND ABANDONED PER TITLE 5.
  - ANY CONTAMINATED MATERIAL ENCOUNTERED DURING EXCAVATION SHALL BE REMOVED AND PROPERLY DISPOSED.
  - EXISTING DWELLING TO BE RAZED.

DEEP OBSERVATION HOLE LOGS

DEEP HOLE - 22-1	DEEP HOLE - 22-2	DEEP HOLE - 22-3
HORIZ DEPTH	HORIZ DEPTH	HORIZ DEPTH
DATE: 3/23/22	DATE: 3/23/22	DATE: 8/30/22
ELEV.	ELEV.	ELEV.
0" FILL 101.5	0" FILL 101.8	0" FILL 102.2
32" A SANDY LOAM 10RS/2 99.1	32" A SANDY LOAM 10RS/2 98.3	32" B SANDY LOAM 10RS/6 97.7
38" Bw SANDY LOAM 10RS/6 98.3	42" Bw SANDY LOAM 10RS/6 96.2	48" B SANDY LOAM 10RS/6 96.2
64" C1 SAND Fine Sand 2.5S/4 96.2		
64" Hole was collapsing Encountered Old Roof Drain		
120" GROUNDWATER OBSERVED 91.5		
60" GROUNDWATER OBSERVED 96.5		
48" SOIL MOTTLING 97.5		
48" GROUNDWATER MONITORED		
48" ESTIMATED SEASONAL HIGH GROUNDWATER 97.5		
	56" GROUNDWATER OBSERVED 97.1	
	54" SOIL MOTTLING 97.7	
	54" GROUNDWATER MONITORED	
	54" ESTIMATED SEASONAL HIGH GROUNDWATER 97.7	

CERTIFIED SOIL EVALUATOR: ROBERT TRUAX  
WITNESSED BY B.O.H. AGENT: ROBERT LAZO  
DESIGN PERCOLATION RATE: 3.0 M.P.I.



RETAINING WALL NOTES:

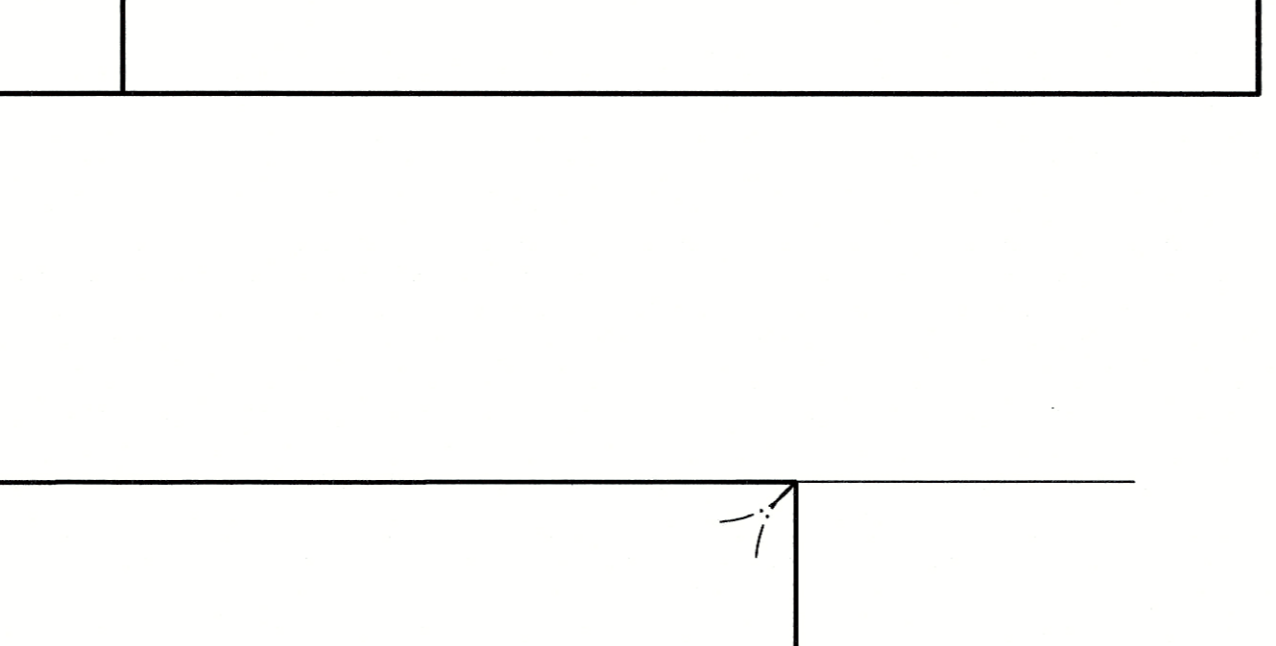
#1 - BASE TRENCH & BASE MATERIAL  
TRENCH TO BE 18" WIDE AND MUST INCLUDE THE REMOVAL OF ANY ORGANIC/FILL MATERIAL. BASE MATERIAL IS ANY CLEAN, COMPACTIBLE GRANULAR MATERIAL 1/4"-3/4" DIAMETER. PLACE AT LEAST 12" OF BASE MATERIAL IN THE TRENCH AND COMPACT WITH A MECHANICAL PLATE COMPACTOR. BASE MUST BE LEVEL. A THIN LAYER OF SAND MAY BE USED TO MAKE LEVELING EASIER. A CONCRETE LEVELING PAD MAY BE USED INSTEAD OF USING BASE MATERIAL.

#2 - BASE COARSE AND DRAINAGE MATERIAL  
LAY BASE COARSE BLOCKS CHECKING FOR STRAIGHTNESS AND LEVEL. FILL THE BLOCK HOLLOW CORES AND 6"-8" BEHIND BLOCKS WITH DRAINAGE MATERIAL (SAME AS BASE MATERIAL). USE A PLATE COMPACTOR TO COMPACT THE AGGREGATE IN THE BLOCKS AND BEHIND THE WALL. RUN COMPACTOR OVER TOP OF BLOCKS FIRST, AND THEN OVER DRAINAGE MATERIAL.

#3 - SECOND COARSE AND ADDITIONAL COARSE  
STACK NEXT ROW OF BLOCKS, AND EACH ADDITIONAL ROW, WITH SEAMS OFFSET FROM THE BLOCKS BELOW. CHECK FOR STRAIGHTNESS & LEVEL. FILL HOLLOW CORES AND 6"-8" BEHIND BLOCKS WITH DRAINAGE MATERIAL AND COMPACT.

#4 - IMPERVIOUS BARRIER  
INSTALL A 40 MIL HDPE MEMBRANE BEHIND DRAINAGE MATERIAL. TOP OF LINER ELEV=104.0; BOT LINER ELEV=100.0

#5 - SLOPE STABILIZATION  
AREA BETWEEN RETAINING WALL AND LEACH FIELD. AREA OVER LEACH FIELD AND ANY OTHER DISTURBED AREAS SHALL BE LOAMED & SEEDD. ALL HEAVY EQUIPMENT MUST BE KEPT AT LEAST 3 FEET FROM THE BACK OF THE WALL. WALL DESIGN DOES NOT ACCOUNT FOR SURCHARGES FROM HEAVY COMPACTION EQUIPMENT.



ASSESSOR'S REFERENCE:  
PARCEL ID: K09-0425

\*NO GARBAGE GRINDER ALLOWED  
NEW CONSTRUCTION

TYPE OF FACILITY SERVED:  
SINGLE FAMILY DWELLING - 4 BEDROOMS

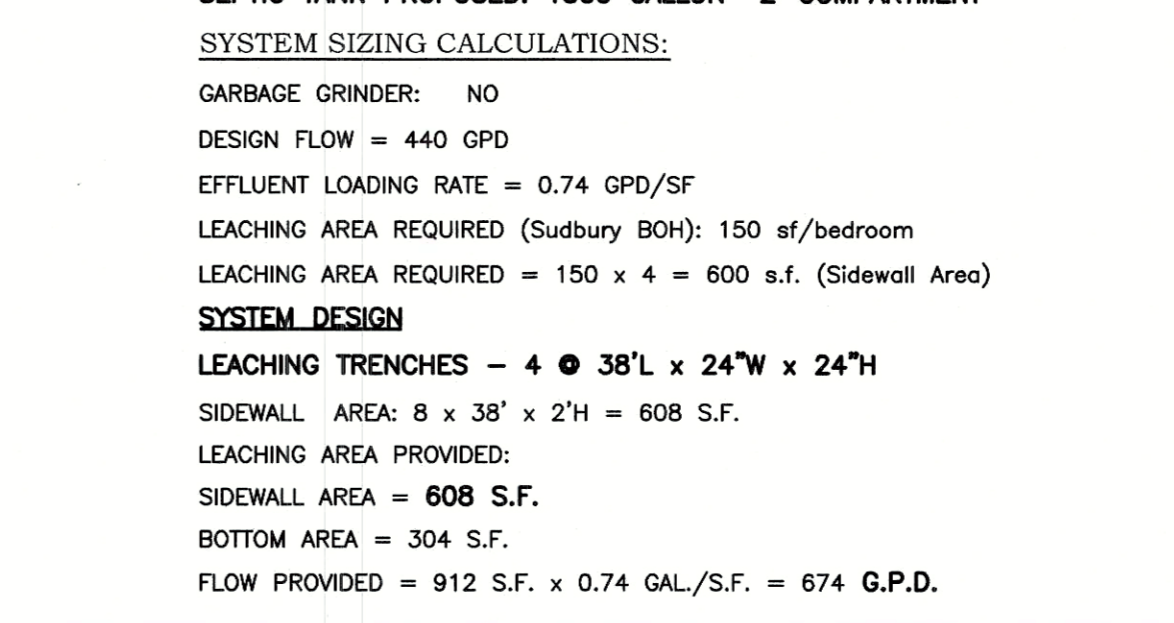
DESIGN FLOW:  
4 BEDROOMS x 110 GAL/DAY/BEDROOM = 440 G.P.D.

SEPTIC TANK SIZING:  
DESIGN FLOW x 200%  
440 GAL. x 200% = 880 GALLONS

SEPTIC TANK PROPOSED: 1500 GALLON 2-COMPARTMENT

SYSTEM SIZING CALCULATIONS:  
GARBAGE GRINDER: NO  
DESIGN FLOW = 440 GPD  
EFFLUENT LOADING RATE = 0.74 GPD/SF  
LEACHING AREA REQUIRED (Sudbury BOH): 150 sf/bedroom  
LEACHING AREA REQUIRED = 150 x 4 = 600 s.f. (Sidewalk Area)

SYSTEM DESIGN  
LEACHING TRENCHES - 4 @ 38" L x 24" W x 24" H  
SIDEWALL AREA: 8 x 38" x 2'H = 608 S.F.  
LEACHING AREA PROVIDED:  
SIDEWALL AREA = 608 S.F.  
BOTTOM AREA = 304 S.F.  
FLOW PROVIDED = 912 S.F. x 0.74 GAL./S.F. = 674 G.P.D.



Soil Evaluator Certification: I certify that I am currently approved by the D.E.P. pursuant to 310 CMR 15.017 to conduct soil evaluations and that the above analysis has been performed by me consistent with the required training, expertise and experience described in 310 CMR 15.017. I further certify that the results of my soil evaluation are accurate and in accordance with 310 CMR 15.100 through 15.107.

C.S.E. #2476

GENERAL CONSTRUCTION NOTES:

- THE DETAILS SHOWN ARE GENERAL IN NATURE AND ARE NOT INTENDED TO SHOW EVERY POSSIBLE INSTALLATION REQUIREMENT. THE CONTRACTOR SHALL BE KNOWLEDGABLE IN THE REFERENCED CODES, INSTALLATION REQUIREMENTS AND PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO INSTALL A FUNCTIONAL SYSTEM.
- COMPONENTS SHALL NOT BE BACKFILLED OR CONCEALED WITHOUT INSPECTION BY AND PERMISSION FROM BOARD OF HEALTH.
- IT IS THE RESPONSIBILITY OF THE APPLICANT TO OBTAIN THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE PROPER INSPECTIONS FOR CERTIFICATIONS AND AS-BUILT PLANS.
- INSTALLER REQUIRED TO PROVIDE PROPER CERTIFICATION.
- LEACHING AREA TO BE FLAGGED FOR PROTECTION UNTIL CERTIFICATE OF COMPLIANCE IS OBTAINED.
- NO STOCKPILING OF MATERIALS OVER SYSTEM.
- NO TRAFFIC OR PARKING OVER SYSTEM.
- BOTTOM AND SIDES OF EXCAVATION AREA SHALL BE SCARIFIED.
- PLACEMENT OF FILL SHALL BE DONE BY STOCKPILING AT THE EDGE OF THE EXCAVATION AREA AND PUSHED OR CAST IN PLACE.
- FILL SHALL NOT BE PLACED IN THE EXCAVATION AREA DURING RAIN OR SNOW STORM.
- IF ANY FILL IS TO BE PLACED BELOW THE WATER TABLE, DEWATERING IS REQUIRED PRIOR TO PLACEMENT.

TO ENSURE THE PERFORMANCE OF THE SYSTEM, MAINTENANCE SHOULD BE PERFORMED ANNUALLY BY A LICENSED SEWAGE PUMPING CONTRACTOR.

GLM ENGINEERING CONSULTANTS, INC. WILL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THIS SYSTEM UNLESS CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH THIS PLAN. INSPECTIONS TO BE DONE AFTER EXCAVATION FOR SYSTEM AND AFTER CONSTRUCTION, BUT PRIOR TO BACKFILLING. ANY ALTERATION MUST BE APPROVED IN WRITING BY GLM ENGINEERING CONSULTANTS, INC.

5' LIMIT OF EXCAVATION (30' x 91')  
ALL TOPSOIL, SUBSOIL AND ANY DELETERIOUS MATERIAL MUST BE REMOVED FROM THE AREA OF THE SYSTEM AND OTHER DESIGNATED LIMITS AND FILLED WITH APPROVED, CLEAN, GRANULAR SAND. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 2 INCHES AND BE GRADED SO NOT MORE THAN 45% OF THE SAMPLE IS RETAINED IN A #4 SIEVE, OF THAT PASSING, 20% OR LESS SHALL PASS A #100 SIEVE AND 5% OR LESS SHALL PASS THE #200 SIEVE. NOT MORE THAN 90% SHALL BE RETAINED ON THE #50 SIEVE. SAMPLE FOR SIEVE ANALYSIS TO BE TAKEN FROM SAMPLE IN PLACE.

ALL CONSTRUCTION & COMPONENTS SHALL CONFORM TO THE LATEST REQUIREMENTS OF 310 CMR 15.000 TITLE 5 OF THE STATE ENVIRONMENTAL CODE AND THE TOWN OF SUDBURY BOARD OF HEALTH REGULATIONS.

BENCH MARK (DATUM = ASSUMED) FRONT HYDRANT BOLT: EL=102.99	PROFESSIONAL CIVIL ENGINEER JOYCE E. HASTINGS No. 39393 REGISTERED PROFESSIONAL LAND SURVEYOR
PROPOSED SEWAGE DISPOSAL SYSTEM 58 MASSASOIT AVE SUDBURY, MASSACHUSETTS	APPLICANT: UNIVERSAL J&S CONST INC 15 EDWARDS LANE QUINCY, AM 02169
DATE: MAY 16, 2022 REVISED: AUGUST 10, 2022 SEPTEMBER 1, 2022	GLM Engineering Consultants, Inc. 19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com
DES: RST SCALE: 1" = 20' JOB #17,240 SHEET #3 of 3	ROBERT S. TRUAX CIVIL NO. 66567 REGISTERED PROFESSIONAL ENGINEER

DESIGN PERCOLATION RATE: 3.0 M.P.I.

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ZONE: MIN. FRONTYARD MIN. SIDEYARD MIN. REARYARD

58 MASSASOIT AVE