



September 16, 2022

Sudbury Conservation Commission  
Department of Public Works Building  
275 Old Lancaster Road  
Sudbury, MA 01776

**Re: DEP File #301-1376  
Plan Revision  
Jonatas Storck  
58 Massasoit Avenue, Sudbury, MA**

Dear Commission Members,

In response to comments raised during the September 12, 2022 Conservation Commission meeting we have revised the Design Plan for 58 Massasoit Avenue, Sudbury, MA. The revisions include the following:

- A reduction of four (4) feet to the house depth. The house footprint was reduced from 34'x64' to 30'x64'.
- The proposed driveway has been reduced in size. The driveway entrance was reduced from 12 feet wide to 10 feet wide.
- A deck and stairs were added to the rear of the house. The deck will have six (6) inches of stone underneath to accommodate stormwater infiltration. Although the deck is not impervious, it was included in the impervious calculations table.
- A bulkhead to the basement has been added to the proposed house.
- Two air conditioning units have been added to the plan.
- The roof drain recharge system has been moved further from the house as suggested by the Town Engineer.
- Additional proposed plantings have been added along the northerly and easterly sides of the existing yard area as mitigation for activity in the wetland buffer zone. The planting schedule has been revised to reflect 40 shrubs and 12 trees.
- The erosion control barrier has been moved closer to the wetlands to surround the debris piles, trash, and invasive species along the northerly and easterly sides of the property.
- In response to concerns regarding existing impervious calculations we have revised the site plan:
  1. The area of the existing deck and handicap ramp are now excluded from the impervious area calculations.
  2. The previous site plan did not reflect the house overhang on the side and rear of the house. The plan has been revised.

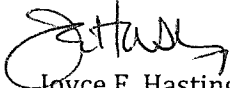
3. The previous site plan did not reflect the bulkhead and concrete walk on the north side of the house. The plan has been revised.
  4. The previous site plan did not reflect the concrete pad in front of the garage door. The plan has been revised.
- The septic system is in the rear yard. The cover to the tank/leach pit has been added to the plan.

The original house and garage were constructed in 1952, prior to the current wetland bylaw. This plan revision decreases the footprint of the proposed house and driveway. The project will now result in a 133 square foot reduction in impervious area. In addition, the project will also increase the separation between the house and the wetlands and move the septic system outside the 50-foot wetland buffer zone.

Attached please find six (6) copies of the revised plan entitled "Proposed House Location Plan, 58 Massasoit Avenue, Sudbury, MA" dated through September 1, 2022.

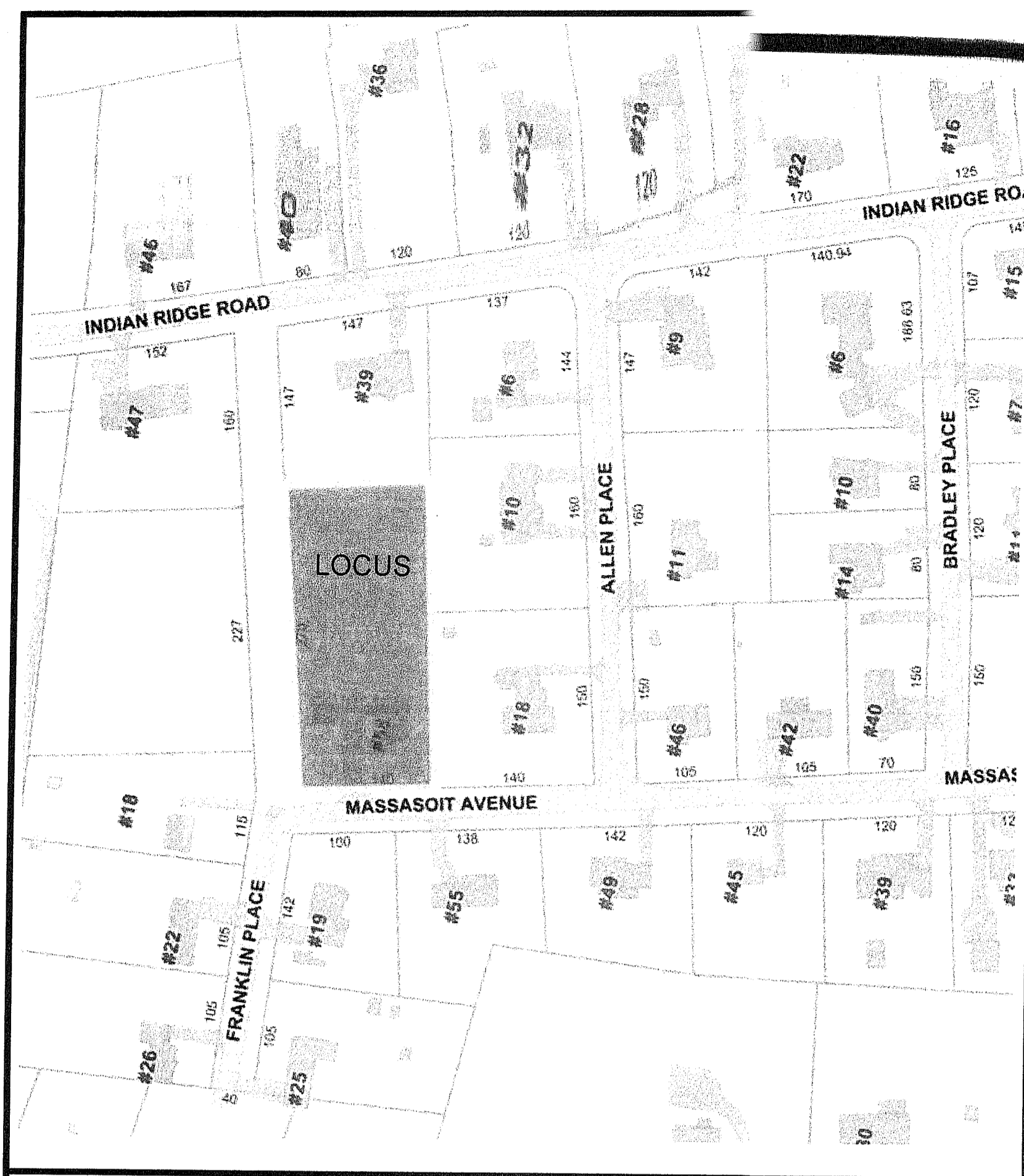
Thank you for your attention. Please call me at 508-429-1100 if you have any questions.

Sincerely,  
GLM Engineering Consultants, Inc.



Joyce E. Hastings, P.L.S.  
Wetland Consultant

cc. Jonatas Storck  
DEP NERO



**LOCUS MAP**

ASSESSOR'S REFERENCE:  
K09-0425

DEED REFERENCE:  
MIDDLESEX COUNTY REGISTRY OF DEEDS  
Bk. 79979, Pg. 14

PLAN REFERENCE:  
PLAN No. 933 OF 1949

OWNER OF RECORD:  
JBJS CHARLES, LLC c/o JONATAS STORCK  
15 EDWARDS LANE  
QUINCY, MA 02169

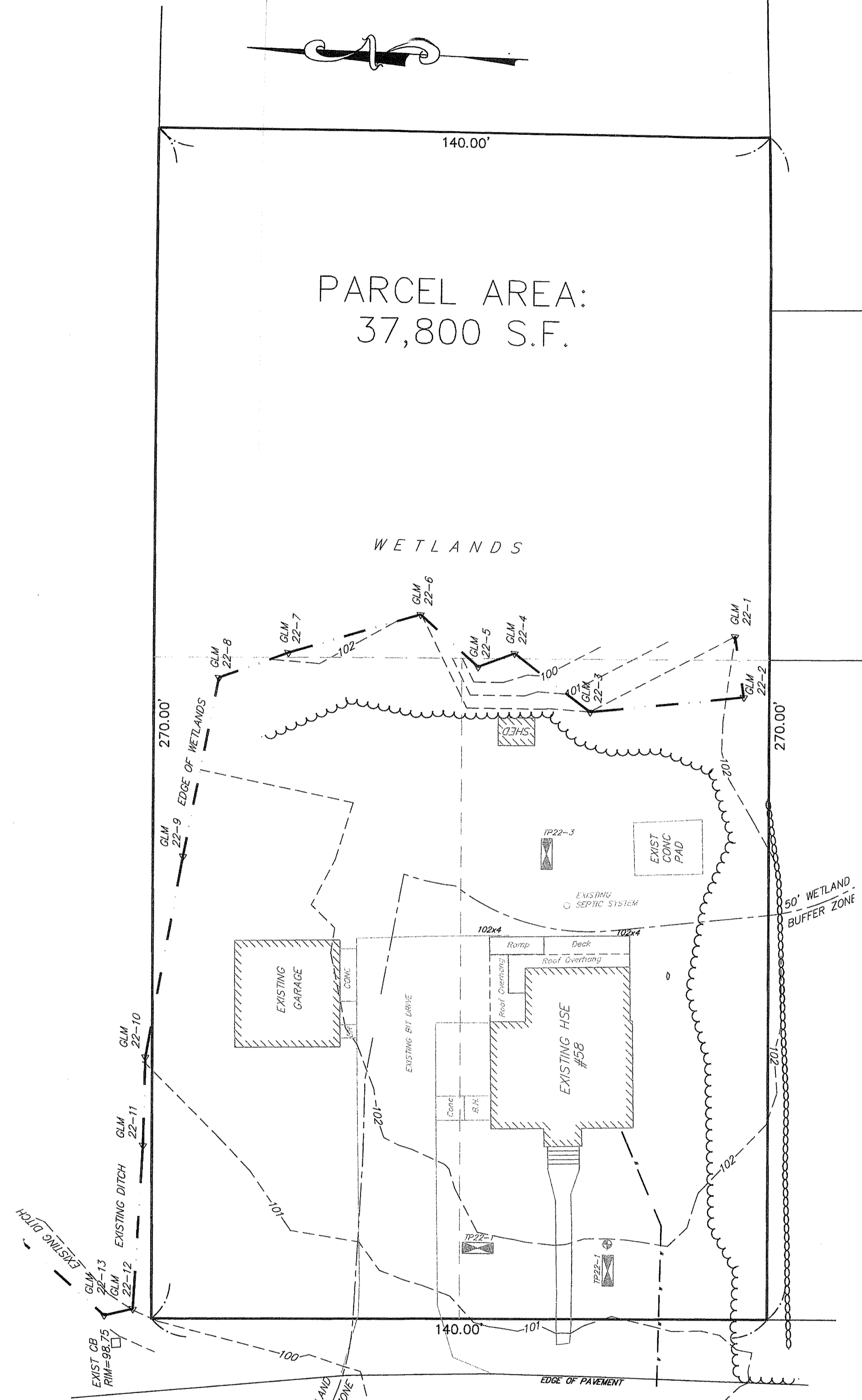
ZONING CLASSIFICATION:  
RES A-1  
MIN. LOT SIZE = 40,000 S.F.  
MIN. FRONTAGE = 180 FEET

MIN. SETBACK REQUIREMENTS:  
FRONT SET BACKS = 40 FEET  
SIDE SETBACKS = 20 FEET  
REAR SETBACKS = 30 FEET

**WETLAND BUFFER ACTIVITY**

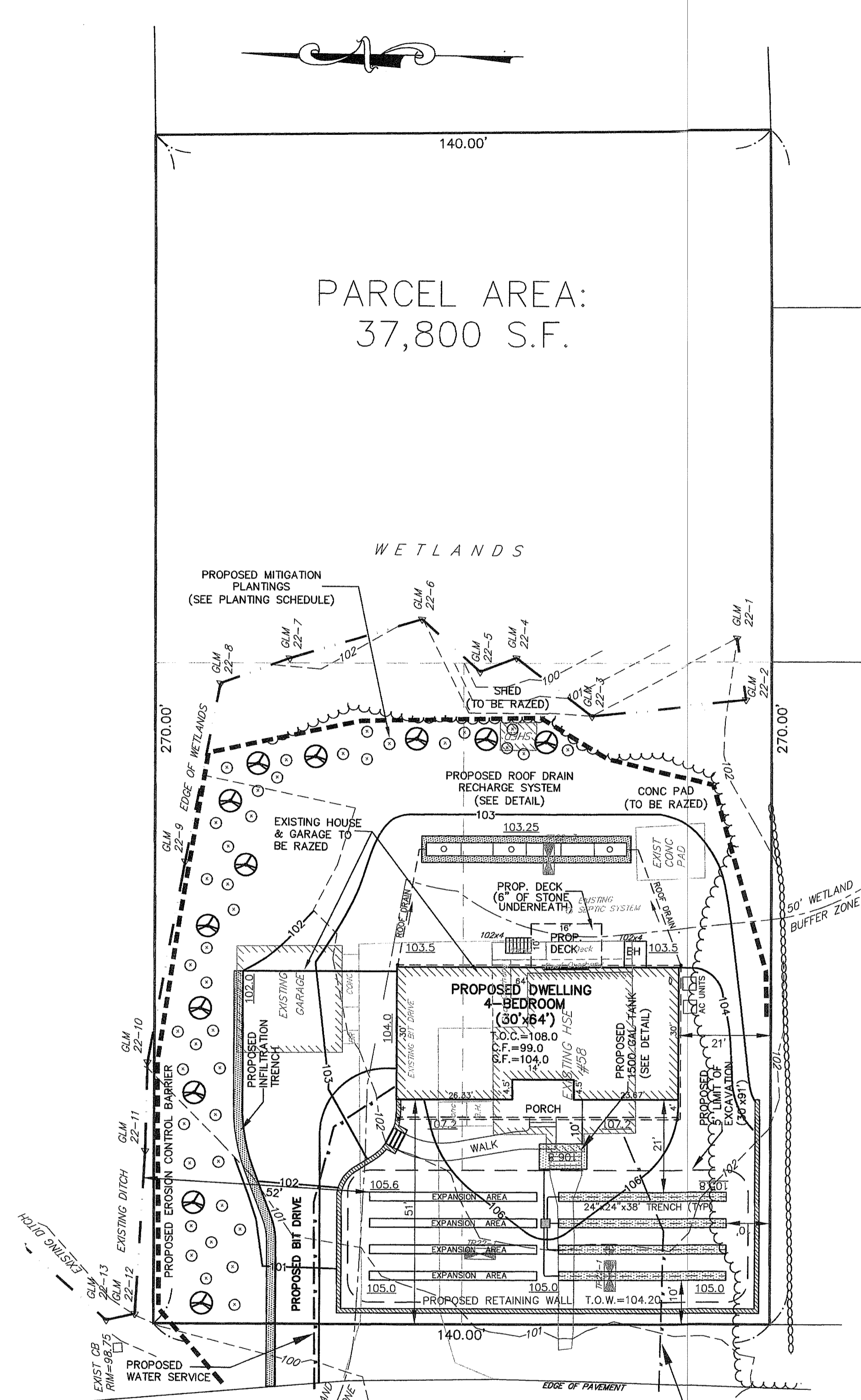
ACTIVITY	100' BUFFER
<b>EXISTING CONDITIONS</b>	
HOUSE & ROOF OH	1,305 S.F.
DRIVEWAY	2189 S.F.
CONC WALK/BULKHEAD	312 S.F.
GARAGE	581 S.F.
SHED	52 S.F.
CONC. PAD	189 S.F.
TOTAL:	4,628 S.F.
EXISTING DECK & RAMP - 130 S.F. (NOT INCLUDED IN IMPERVIOUS AREA)	
<b>PROPOSED CONDITIONS</b>	
HOUSE & PORCH	2,176 S.F.
DRIVEWAY	1,733 S.F.
WALK	161 S.F.
RETAINING WALL	197 S.F.
BULKHEAD	30 S.F.
DECK & STAIRS	180 S.F.
AC UNITS	18 S.F.
TOTAL:	4,495 S.F.

\*\*THE PROJECT RESULTS IN A 133 S.F. DECREASE IN BUFFER ZONE ACTIVITY\*\*



**MASSASOIT AVENUE**

**EXISTING CONDITIONS**



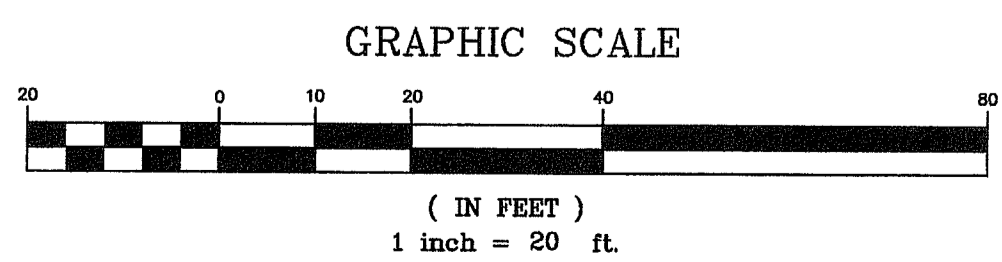
**MASSASOIT AVENUE**

**PROPOSED CONDITIONS**

Received  
SEP 21 2022

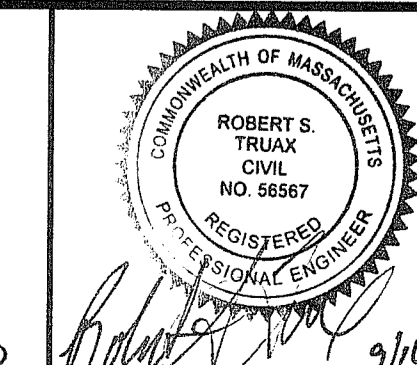
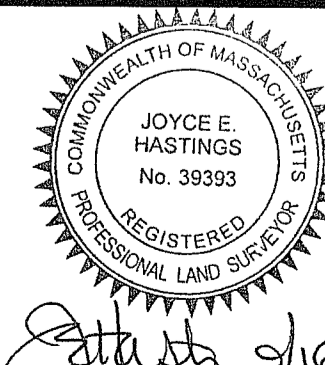
Sudbury Conservation Department

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.  
DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.  
DIGSAFE 1-888-344-7233



REVISIONS		
No.	DATE	DESCRIPTION
1	8/10/2022	DRAINAGE, GRADING, SEPTIC DETAILS
2	9/1/2022	STORMWATER, PLANTING
3	9/16/2022	REDUCE HOUSE, CALCS

FLD.: RC, ML  
DRW.: JEH  
CHKD.: RST



**GLM** Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100 F: 508-429-7160  
www.GLMengineering.com

**PROPOSED HOUSE LOCATION PLAN**  
**"58 MASSASOIT AVENUE"**  
**SUDBURY, MASSACHUSETTS**

APPLICANT:  
JBJS CHARLES, LLC  
15 EDWARDS LANE  
QUINCY, MA 02169

JOB No. 17,240  
DATE: 7/6/2022  
SCALE: 1"=20'  
SHEET: 1 of 3  
PLAN #: 27,611

AS MITIGATION FOR ACTIVITY IN THE WETLAND BUFFER ZONE 2,200 S.F. OF EXISTING YARD WILL BE RESTORED WITH NATIVE VEGETATION.

PLANTING SCHEDULE

- - (40) SHRUBS (1 GALLON)
  - (10) - SWEET PEPPERBUSH (*Clethra alnifolia*)
  - (10) - Highbush Blueberry (*Vaccinium corymbosum*)
  - (10) - GRAY DOGWOOD (*Cornus racemosa*)
  - (5) - RED CHOKEBERRY (*Aronia arbutifolia*)
  - (5) - SERVICEBERRY (*Amelanchier arborea*)
- ⊗ - (12) TREES (2 GALLON) - 1.5 INCH CALIPER
  - (4) - RED MAPLE (*Acer rubrum*)
  - (4) - BALSAM FIR (*Abies balsamea*)
  - (4) - BLACK GUM (*Nyssa sylvatica*)

NOTES:

1. TREES AND SHRUBS WILL BE PLANTED AS SHOWN ON THE PLAN, WITH MINOR DEVIATIONS TO LOCATION BASED ON SITE CONDITIONS.
2. ALL PLANTINGS WILL BE WATERED AS NECESSARY AFTER PLANTING UNTIL SUCCESSFULLY ESTABLISHED.
3. ANY MODIFICATIONS TO PLAN SPECIES SHALL ONLY BE ALLOWED IF APPROVED BY SUDBURY CONSERVATION COMMISSION STAFF PRIOR.
4. THE RESTORATION AREA IS NOT INTENDED TO BE A LANDSCAPED AREA. IT IS TO BE REMAIN NATURAL. NO MULCH IS TO BE ADDED.
5. AS GRASS WITHIN THE RESTORATION AREA REACHES A HEIGHT OF 12 TO 14 INCHES, THE AREA WILL BE MOWED TO A HEIGHT OF 4 INCHES TO ENCOURAGE THE GROWTH OF THE PLANTED TREES AND SHRUBS.
6. AFTER THE SHRUBS AND TREES ARE PLANTED, THE RESTORATION SHALL BE OVERSEEDDED WITH A WETLAND SEED MIX.
7. DURING THE MONITORING PERIOD, THE WEEDS AT THE BASE OF THE PLANTED TREES AND SHRUBS SHALL BE PULLED TO ENCOURAGE THE GROWTH OF THE TREES AND SHRUBS.

AS ADDITIONAL MITIGATION FOR WETLAND BUFFER ZONE ACTIVITY, THE PROJECT WILL INCLUDE INVASIVE SPECIES MANAGEMENT.

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NOTES:

The applicant is proposing to reduce the prevalence of invasive species within the wetland buffer zone along the northerly side and easterly sides of the property.

The undesirable species in this area include:  
 Tatarian honeysuckle (*Lonicera tatarica*)  
 Glossy Buckthorn (*Frangula alnus*)  
 Oriental Bittersweet (*Celastrus orbiculatus*)  
 Japanese Knotweed (*Polygonum cuspidatum*)

Methods

Woody shrubs and vines will be either pried (smaller specimens) using leverage tools (i.e. puller bar, weed wrench, etc.), or they will be cut and the stems/trunks will be and painted immediately with concentrated, wetland safe herbicide. Herbicides shall only be applied by a licensed applicator and the product will be approved by the Conservation Commission prior to use. The area will be monitored for re-sprouts or missed plants during the build out of the project; undesirable vegetation can be treated with a dilute herbicide solution (usually 2%) applied to the leaves during the mid-late growing season.

All woody or herbaceous materials will be removed from the site and disposed of so as not to foster propagation of these species elsewhere; either buried or properly composted, as appropriate. During the build out of the project, the areas of invasive treatment will be inspected and spot treated by either mechanical or legally applied chemical means so that at the closure of the Order of Conditions, the property will have benefitted from one or more years of invasive species management that will diminish the prevalence of these species.

Invasive Vegetation Management for Habitat Improvement

1. Remove small undesirable shrubs via wrenching tool as practicable.
2. Cut woody stems with licensed application of herbicide.
3. Legally dispose of all salvage vegetation.
4. Monitor for re-sprouts and spot treat/maintain treatment through issuance of Certificate of Compliance.

DRAINAGE SYSTEM CALCULATIONS

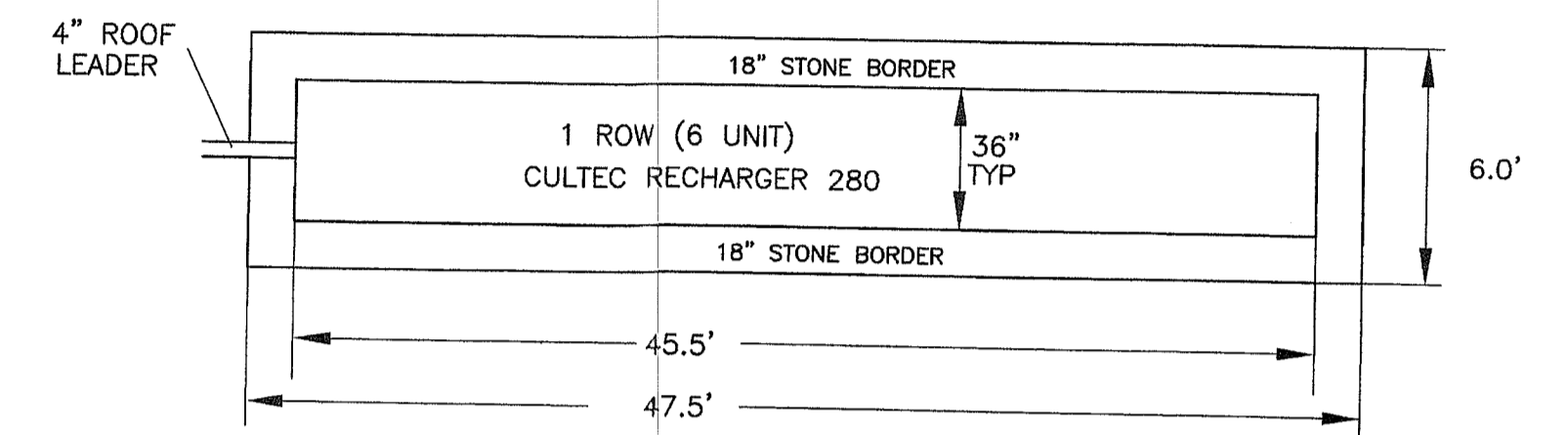
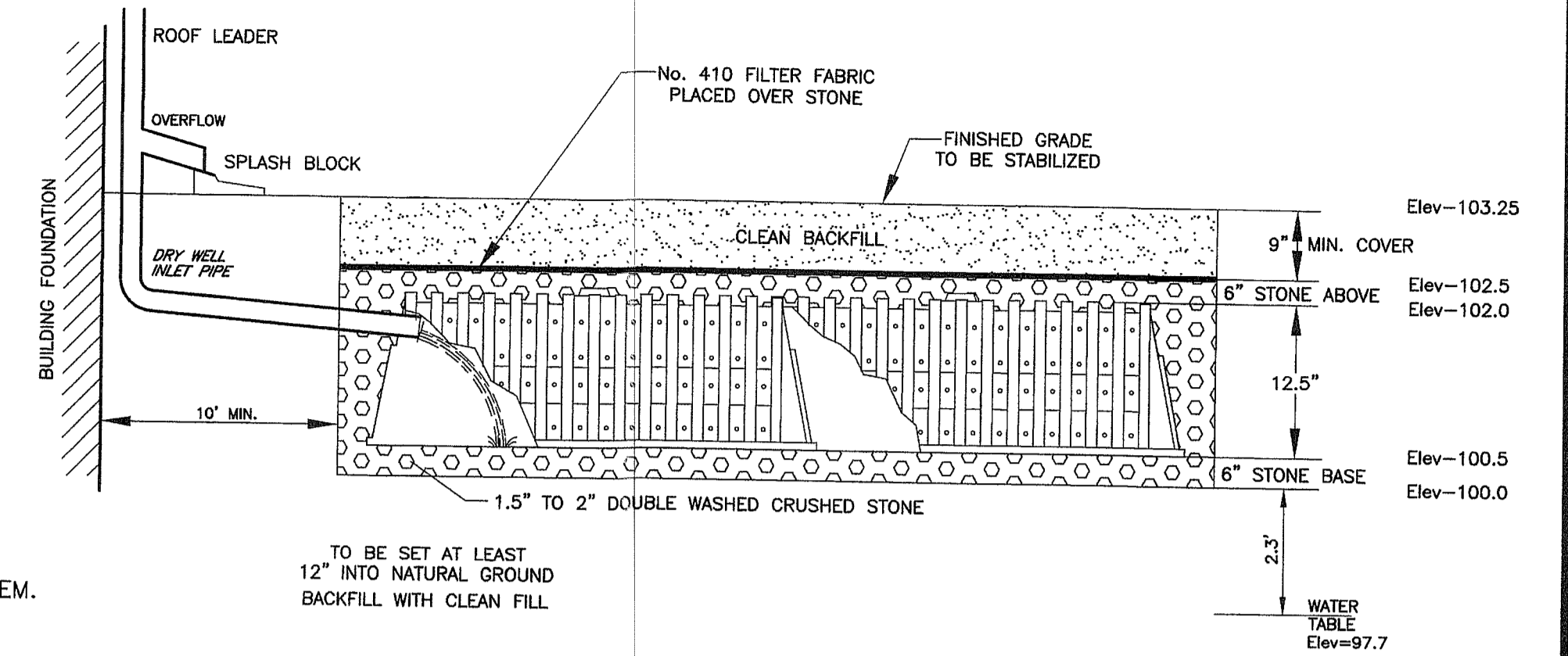
ALL ROOF RUNOFF TO BE DIRECTED TO RECHARGE SYSTEM.

PROPOSED ROOF AREA = 2,432 S.F.

VOLUME REQUIRED FOR 1" OF RUNOFF OVER ROOF AREA:  
 2,432 S.F. x 1" = 202.67 C.F.

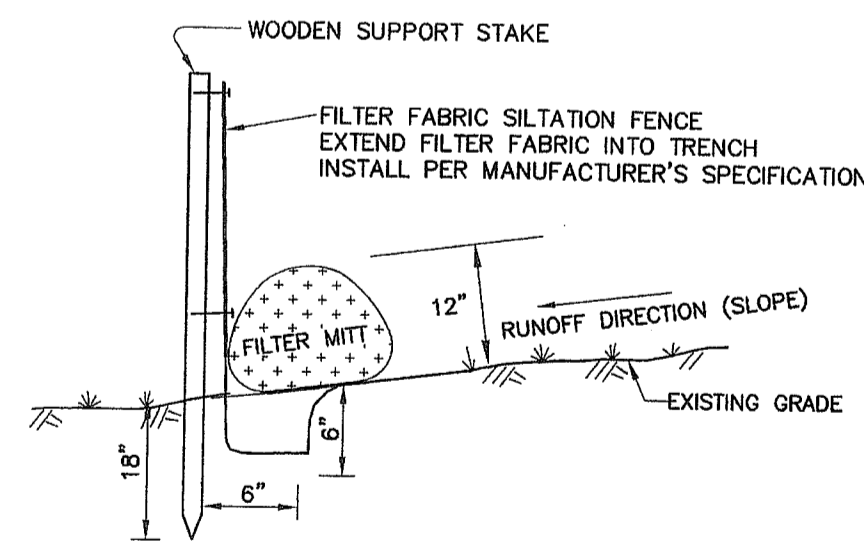
DRAINAGE SYSTEM:  
 CULTEC CHAMBERS - CONTRACTOR 100HD WITH STONE  
 TOTAL STORAGE WITH 18" STONE = 37.76 C.F./UNIT

VOLUME PROVIDED:  
 6 SYSTEMS x 37.76 C.F. = 226.6 C.F.



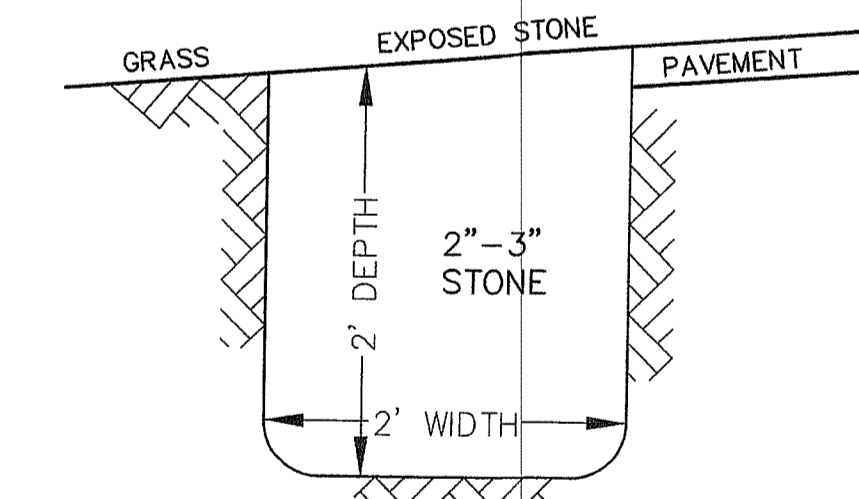
CULTEC DRY WELL SYSTEM FOR ROOF RUNOFF INFILTRATION  
 CULTEC CONTRACTOR 100HD

N.T.S.



EROSION CONTROL BARRIER  
 FILTER MITT W/ SILT FENCE

N.T.S.



STONE DRAIN TO BE INSTALLED ON DOWNHILL EDGE OF DRIVEWAY.  
 TRENCH TO BE LINED WITH FILTER FABRIC.

INFILTRATION TRENCH DETAIL

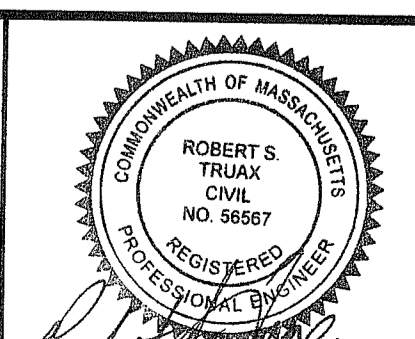
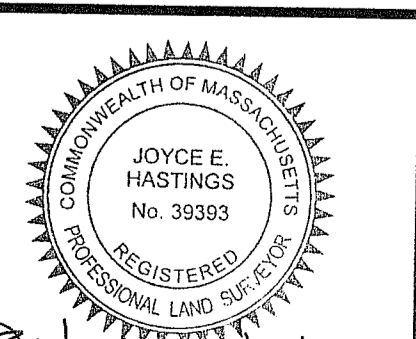
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