



**NOTICE OF PUBLIC HEARING
SUDBURY CONSERVATION COMMISSION**

The Sudbury Conservation Commission will hold a public hearing to review the Notice of Intent filing to construct a handicap accessible addition within the 100-foot Buffer Zone, pursuant to the Wetlands Protection Act and Sudbury Wetlands Administration Bylaw, at 58 Longfellow Road, Sudbury MA. Henry P. Sorett, Esquire, Applicant. The hearing will be held on Monday, May 23, 2022 at 6:45 pm, via remote participation.

Please see the Conservation Commission web page for further information.

<https://sudbury.ma.us/conservationcommission/meeting/conservation-commission-meeting-monday-may-23-2022/>

SUDBURY CONSERVATION COMMISSION
May 4, 2022

Henry P. Sorett, Esq.

58 Longfellow Road
Sudbury, Massachusetts 01776
(617) 899-2854
HankSorett@gmail.com

Received

MAY 04 2022

Sudbury Conservation Department

Ms. Lori Capone
Sudbury Conservation Commission
275 Old Lancaster Road
Sudbury, Massachusetts
01776

Re: 58 Longfellow Road – application for permission to
construct a handicap accessible addition to the house within
100 ft. of a wetland

May 2, 2022

Dear Ms. Capone:

Enclosed please find the WPA Form 3 and associated documents seeking permission to construct a handicap accessible addition to my house adding one additional bedroom, enlarging a second and moving one bathroom into the master bedroom. This is to be constructed in the same area from which trees were removed addressed in the determination of applicability letter from the Commission dated July 14, 2021.

The addition will make the house fully handicap accessible. My legs have deteriorated to the point that adding an additional floor with stairs is not appropriate. Both of my Achilles tendons have been severed and surgically repaired and both of my hips and one knee have been replaced with titanium implants. The other knee may need to be replaced within the next year or so. I also have sciatica and need to use a cane much of the time. In the process of construction, the hallway will be widened so that it can accommodate both a walker and a wheelchair should I need those in the future. The addition will add a means of egress directly from the master bedroom. At my age – 75 yrs. – I have to assume that my mobility will deteriorate as I age. I plan to continue to live in this house so long as my health allows it. Many members of my family have lived and thrived into their 90's. The enlarged 2nd bedroom is designed so that my brother – now 73 and with one replaced hip – can have a place to live with me if the need arises. The existing bedrooms, bathrooms and hallways are not handicap accessible.

As shown on the enclosed site plan, the addition will not encroach into the 50 ft. no build zone nor will it intrude into either the 20 ft. side yard or front yard setback areas. While some temporary intrusions will probably occur during the construction process, all of those areas will be fully restored upon completion.

In connection with this application, I propose the following conditions:

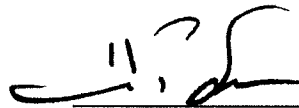
1. During construction and until the completion of mitigation plantings, there will be a silt barrier constructed using straw filled tubes sometimes referred to as "waddles" secured to the ground with stakes. I am willing to add to that using such additional barriers as the Commission deems reasonable and appropriate.
2. Because the addition will be constructed using both a crawl space and a slab, I do not anticipate that the excavation will reach the water table. In construction the garage addition this past winter, the builder did not hit the water table when he dug down 6 ft. to install footings. Hence, I do not believe that there will be a need to dewater the excavation.
3. Heavy equipment will be used only to excavated the footings and foundation and this equipment will dig primarily from the front/west side of the house and from the north end of the house. No construction equipment will be used on the east/rear of the house except to the extent necessary to backfill and compact or to carry plant material needed to plant the mitigation between the house and the narrow area of wetlands adjacent to the pond. I am told by my contractor, Napoli Construction Co., Inc., that the necessary cement mixer can deliver from the front/west/street side of the house.
4. All construction materials and delivery equipment will be brought onto the site from the front/west/street side of the house. No construction materials will be stored in the exclusion area.
5. The addition will be constructed using eaves without gutters. Since the roofline of the addition will run east to west, rain and runoff will flow to the north end of the house and not into the no construction area. Gravel will be placed along the north and south ends of the house and addition to capture water from the eaves. Since the addition to the house and the area at issue pertain to a single family house and since much less than 5,000 sq. ft. will be disturbed this project it is not subject to the Town's stormwater by-law.
6. I have engaged Richard Hollander of RNH Landscaping to handle mitigation planting using materials selected from the list of native plants that you sent to me. I anticipate that these will be low lying shrubs and grasses that will thrive in an area where there are existing large pine trees. I've asked him to talk with you

and sort out what would be appropriate and reasonable. The addition to the house will be approximately 1180 sq ft. This area is shown on both the attached site plan and floor plan. The area for mitigation planting will be at least as large as the area disturbed for the addition. This mitigation planting is intended to comply with your letter of July 14, 2021 to me. After you, Mr. Hollander and I meet and agree on the mitigation plan, specifications can be set out in detail.

I explored using a cistern to capture rain and runoff to use for a sprinkler system to water the lawn. That idea proved not to be viable. The building inspector informed me that underground lawn watering systems can only be constructed if served by a well at least 125 ft. deep and cannot be served by a cistern. The lawn watering contractors with whom I spoke told me that to be useful during the dry summer months, a cistern would have to use a tank or tanks holding at least 10,000 gallons. There is simply no place on my property that could accommodate tanks of that size. Trying to do use multiple cisterns with pumps would be prohibitively expensive and very hard to maintain.

I appreciate your cooperation and patience in helping me navigate this process,

Sincerely,

A handwritten signature in black ink, appearing to read 'H. P. Sorett', written over a horizontal line.

Henry P. Sorett

Cc: Massachusetts DEP by certified mail
Hearing Notices sent to abutters by certified mail



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

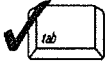
Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number _____
Document Transaction Number _____
City/Town _____

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (Note: electronic filers will click on button to locate project site):

a. Street Address 58 Longfellow Road b. City/Town Sudbury c. Zip Code 01776

Latitude and Longitude:

d. Latitude _____ e. Longitude _____

f. Assessors Map/Plat Number _____

Parcel CO7-0206
g. Parcel /Lot Number

2. Applicant:

a. First Name Henry b. Last Name South

c. Organization _____

d. Street Address 58 Longfellow Road

e. City/Town Sudbury f. State Massachusetts g. Zip Code 01776

h. Phone Number 617-299-2454 i. Fax Number _____ j. Email Address hansrotte@gmail.com

3. Property owner (required if different from applicant): Check if more than one owner

a. First Name SCUM b. Last Name _____

c. Organization _____

d. Street Address _____

e. City/Town _____ f. State _____ g. Zip Code _____

h. Phone Number _____ i. Fax Number _____ j. Email address _____

4. Representative (if any):

a. First Name n/a b. Last Name _____

c. Company _____

d. Street Address _____

e. City/Town _____ f. State _____ g. Zip Code _____

h. Phone Number _____ i. Fax Number _____ j. Email address _____

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

a. Total Fee Paid \$110.00 b. State Fee Paid 842.50 c. City/Town Fee Paid 167.50



Massachusetts Department of Environmental Protection
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A. General Information (continued)

6. General Project Description:

1,200sq. ft. bedroom & bathroom handicap addition to single story single family home

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

<u>Andover</u>	
a. County	b. Certificate # (if registered land)
<u>13367</u>	<u>540</u>
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	1. square feet <u>1120 ft²</u>	2. square feet <u>1200 ft²</u>
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____ 3. cubic yards dredged _____	2. square feet _____

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____ 3. cubic feet of flood storage lost _____	2. square feet _____ 4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____ 2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland _____	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

N/A

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4. Restoration/Enhancement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

N/A

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

b. Date of map _____

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

N/A

- c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____ percentage/acreage

(b) outside Resource Area _____ percentage/acreage

- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).
 Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

N/A

- 1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
- 2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
- 3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

- 3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
 a. Not applicable – project is in inland resource area only b. Yes No

N/A

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 - a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 - b. ACEC
- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 - a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 - a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 - a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 - b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

N/A



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. List the titles and dates for all plans and other materials submitted with this NOI.
- Plan of Land in Soerth
- a. Plan Title
- Stanski C Mc Nery
- b. Prepared By
- c. Signed and Stamped by
- see p 10
- d. Final Revision Date
- e. Scale
- f. Additional Plan or Document Title
- g. Date
5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

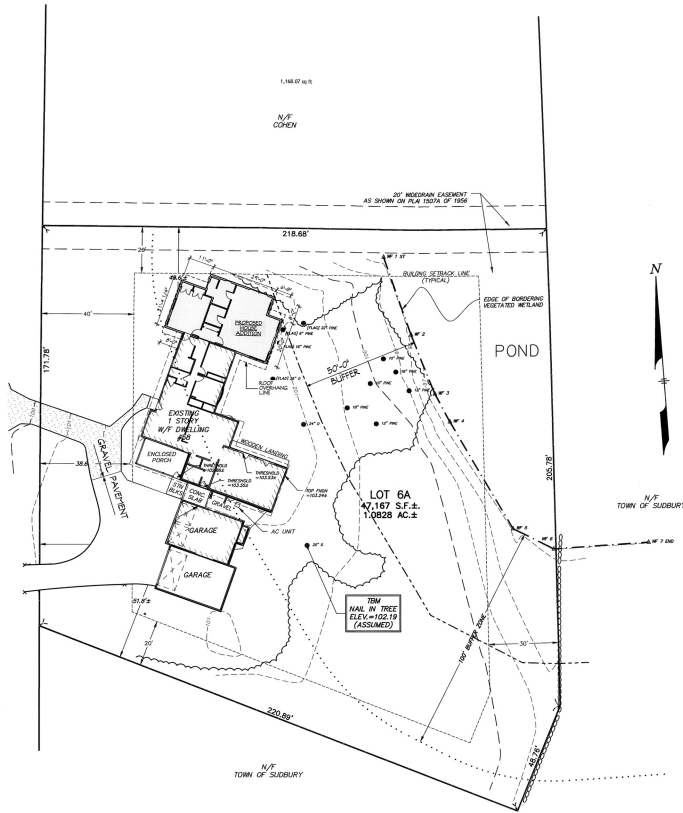
Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

ELAINE ROAD
(PUBLIC - 50' WIDE)

LONGFELLOW ROAD
(PUBLIC - 50' WIDE)



LEGEND:

- N/F NOW OR FORMERLY
- OVERHEAD WIRES
- TREE
- UTILITY POLE
- UP UTILITY POLE
- 60" GAS GATE
- GAS SERVICE (BURIED)
- WATER GATE
- WATER SERVICE (BURIED)
- DRAIN MANHOLE
- SUB-SURFACE DRAIN LINE
- EXISTING CONTOUR
- LIGHT TROLE
- △ WETLAND FLAG
- 9999 SPOT ELEVATION
- STONE WALL
- EDGE OF PAVEMENT

Received

MAY 04 2022

Public-Contract-Department

TOPOGRAPHIC
PLAN OF LAND
IN

SUDBURY, MASSACHUSETTS
(MIDDLESEX COUNTY)

FOR: SORETT
SCALE: 1"=20' MAY 5, 2021

STAMSKI AND MCNARY, INC.
1000 MAIN STREET
ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 10 20 40 60 80 FT

(6768work.dwg) 58 Longfellow Road SM-6768

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BUCKLING, GRADING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 37D, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. DIG SAFE TELEPHONE No. 1-888-344-7233.

RECORD OWNER

HENRY P. SORETT
58 LONGFELLOW ROAD
SUDBURY, MA

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 13367 PAGE 540
PLAN No. 1507A OF 1956

ZONING DISTRICT

SINGLE RESIDENCE A (A-RES)

DATUM

ELEVATIONS SHOWN ON THIS PLAN REFER TO AN ASSUMED BASE.

4/21/2022 NOTE:

ORIGINAL SURVEY DATED MAY 5, 2021 BY STAMSKI AND MCNARY.

PROPOSED ADDITION FOOTPRINT AND DRIVEWAY INFORMATION ADDED BY NASHAWTUC ARCHITECTS.
2 LEXINGTON ROAD, CONCORD, MA
(978) 371-0344

Waltham St

North Rd

Fox Hill Rd

Mary Catherine Ln

Mary Catherine Ln

North Rd

Mary Catherine Ln



St John Lutheran Church



117

117

Longfellow Rd

Maybury Rd

Great Rd



VAP Construction

Ford Rd

117

Greenwood Rd

Longfellow Rd



Greenwood Rd

Longfellow Rd

Curry Ln

Elaine Rd

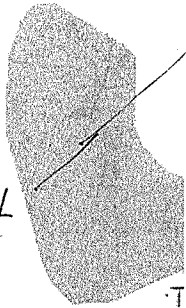
Ford Rd

Elaine Rd

58

L

T



Elsbeth Rd

Bowker Dr

Harvard Dr

Harvard Dr

Harvard Dr

Longfellow

Bowker Dr

Saunders Rd

Bowker Dr

JAN -4-78 PM 10:32 1098 **10.00

BK 13367 PG 540

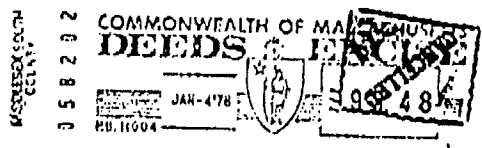
110- 13

Charles J. Vinciulla

of Sudbury Middlesex County, Massachusetts
in consideration of

Forty One Thousand (\$41000.00) Dollars

grant to Henry P. Sorett
of 58 Longfellow Road, Sudbury, Ma



with quitclaim conveyance
the land ~~XX~~ with the buildings thereon, situated in Sudbury, Middlesex
County, Massachusetts bounded and described as follows:

- WESTERLY by Longfellow Street, also called Longfellow Road,
one hundred seventy-one and 78/100 (171.78)feet;
- NORTHERLY by Lot 5A, as shown on plan hereinafter mentioned,
two hundred eighteen and 68/100 (218.68)feet;
- EASTERLY by land of Town and Country Homes, Inc., as shown on
said plan, two hundred five and 78/100 (205.78)feet;
- SOUTHEASTERLY by land of Town and Country Homes, Inc., as shown on
said plan, forty-eight and 76/100 (48.76)feet;
- SOUTHWESTERLY by land of Town and Country Homes, Inc., as shown on
said plan, two hundred twenty and 89/100 (220.89)feet;

containing 45,125 square feet of land according to said plan and being
shown as Lot 6A on plan entitled "Plan of Greenwood, Section II, in
Sudbury, Mass. belonging to Town & Country Homes, Inc.", dated June 12,
1956, by B.N. Moffitt, Surveyor, recorded with Middlesex South District
Deeds at the end of Book 8807 as Plan No. 1507 of 1956.

The above described premises are conveyed subject to and with the benefit
of the right to use the streets and ways as shown on said plan for all
purposes for which streets and ways are commonly used in the Town of
Sudbury in common with others entitled thereto.

Also conveyed subject to the grant of an easement to the New England Tel
& Tel Co., et al for pole line purposes as set forth in instrument dated
November 9, 1956, recorded with said Deeds in Book 8851, Page 453.

Being the same premises conveyed to myself and my wife, Norma A. Vin-
ciulla who died January 26, 1975. See book 10391, Page 435

Executed as a sealed instrument this 4th day of January, 1978

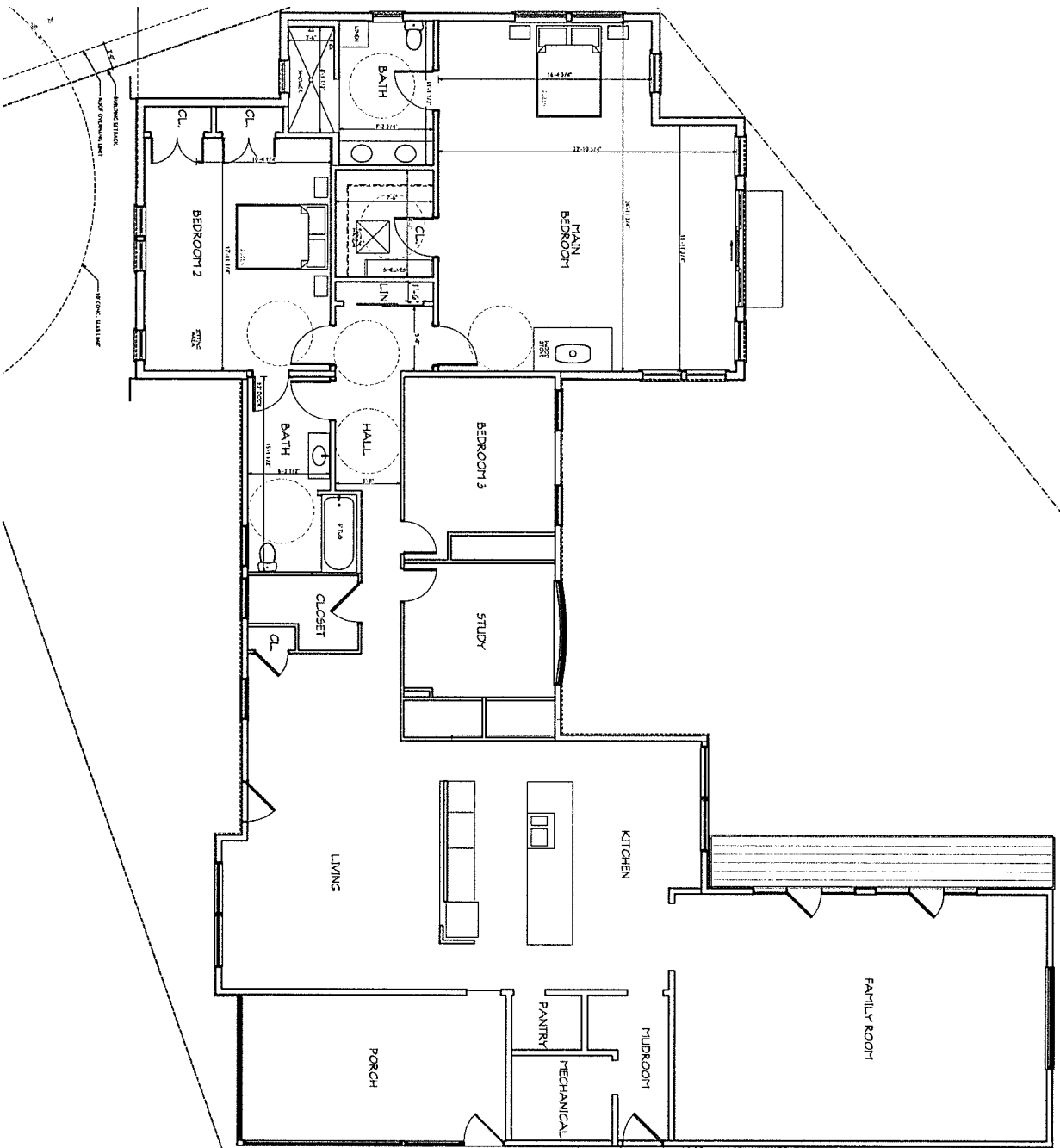
Charles J. Vinciulla

The Commonwealth of Massachusetts

MIDDLESEX JAN 4 1978

Then personally appeared the above named
CHARLES J VINCIULLA

and acknowledged the foregoing instrument to be HIS free act and deed,
Before me, *Francis P. Pozzi*
Notary Public
My commission expires 1-23 1981



SORETT RESIDENCE
 58 LONGFELLOW ROAD
 SUDBURY MASSACHUSETTS 01776



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

4/12/2022