

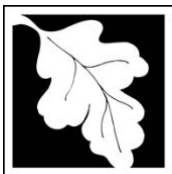
**NOTICE OF PUBLIC MEETING**  
**SUDBURY CONSERVATION COMMISSION**  
**Virtual Meeting 6:45 PM**

The Sudbury Conservation Commission will hold a public meeting to review the Request for Determination of Applicability filing under the Wetlands Protection Act and the Sudbury Wetland Administration Bylaw to reconstruct a sunroom, and construct a deck, patio and front entryway, within the 100-foot Buffer Zone at 11 Cedar Creek Road, in Sudbury, MA. Nicholas Chehames, applicant. The meeting will be held on Monday, February 28, at 6:45 pm, via Zoom.

Copies of the application may be reviewed on the Conservation Department web page at:  
<https://sudbury.ma.us/conservationcommission/meeting/conservation-commission-meeting-monday-february-28-2022/>

Please contact the Conservation Office with any questions at 978-440-5470.

SUDBURY CONSERVATION COMMISSION  
January 31, 2022



# Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

City/Town \_\_\_\_\_

## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### A. General Information

#### Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Nicholas Chehames

Name

Nicholaschehames@gmail.com

E-Mail Address

11 Cedar Creek Rd.

Mailing Address

Sudbury

City/Town

MA

State

01776

Zip Code

978-302-9199

Phone Number

Fax Number (if applicable)

2. Representative (if any):

Firm

Contact Name

E-Mail Address

Mailing Address

City/Town

State

Zip Code

Phone Number

Fax Number (if applicable)

### B. Determinations

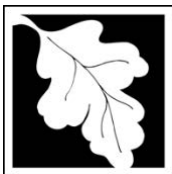
1. I request the Conservation Commison make the following determination(s). Check any that apply:  
Conservation Commission

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- ☒ c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- ☒ d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Sudbury

Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



**Massachusetts Department of Environmental Protection**  
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**WPA Form 1- Request for Determination of Applicability**

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---

**C. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

11 Cedar Creek Rd

Street Address

CO9

Assessors Map/Plat Number

Sudbury

City/Town

0359

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

- c. Plan and/or Map Reference(s):

Chehames 11 Cedar Road

Title

Brebeck/Chehames Residence

Title

11/15/21

Date

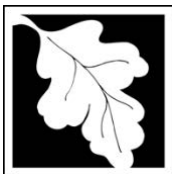
9/13/21

Date

Title

Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):



**Massachusetts Department of Environmental Protection**

Bureau of Resource Protection - Wetlands

City/Town \_\_\_\_\_

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**C. Project Description (cont.)**

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



**Massachusetts Department of Environmental Protection**

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City/Town \_\_\_\_\_

**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Nicholas Chehames

Name

11 Cedar Creek Rd

Mailing Address

Sudbury

City/Town

MA

State

01776

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

*Nicholas Chehames*

Signature of Applicant

1/28/22

Date

Signature of Representative (if any)

Date

1 A)

Flat topography built in the 60's, my property is surrounded by wetlands with everything being within 100 feet of the boundary marker.

1 B)

**Sunroom:**

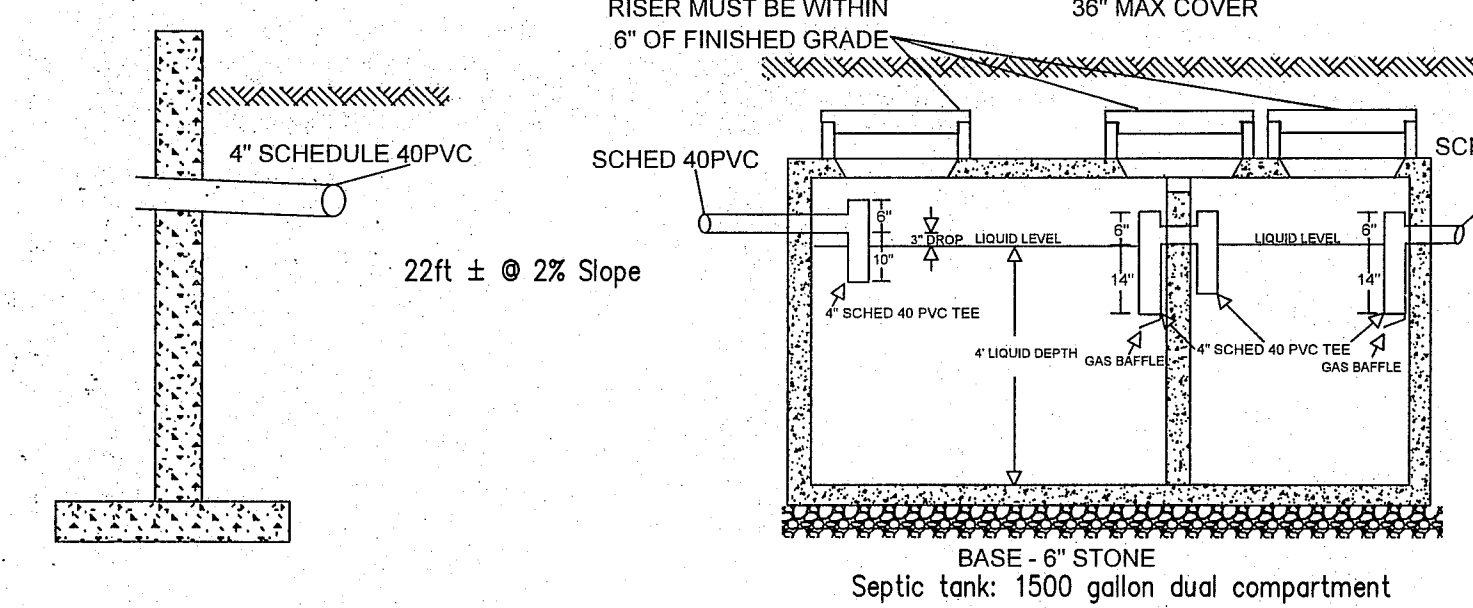
As the current structure stands, it sits on four footings that are made from wood. The structure has a staircase on the driveway closest to conservation that is beginning to deteriorate. In the proposed plan we would like to rebuild the sunroom to the exact same size and move the staircase away from the wetlands closer to the middle of the house off the proposed deck which has already been approved when we submitted for our septic tank. For safety and construction purposes we are having a foundation poured to keep the sunroom safe from termite or other wood eating insects.

**Front Entry:**

Currently there is a cement staircase from the front door, we are proposing to replace the stairs with a front entry way that will require a small foundation to be poured for the mudroom to sit on. We will have a small stairway leading from the front entry down to the driveway for guests to use when coming to visit.



# Profile (not to scale):



## Tank/Pump Chamber/Distribution Box (DBox) Notes:

- Components must be from approved manufacturer by Board of Health and Designer.
- Manholes shall be minimum 24" diameter, medium duty, cast iron frame and cover, and all manholes brought to finished grade shall be secured to prevent unauthorized access.
- Components deeper than 9" under finished grade shall be equipped with a riser to within 6" of finished grade.
- Components shall be water tight. DBox shall have a water tight cover.
- First 2 feet of line out of DBox shall be level.
- Components must be water tight and all pipe joints and boots must be hydraulically sealed with hydraulic cement or installed with water tight sleeves.
- Inlet and outlet tees to rectangular tanks shall be set in the end walls or into a side wall within 12 inches of the end wall.
- There shall be an air space of at least three inches between the tops of the tees and the inside of the tank cover. The tops of the tees shall be left open to provide ventilation or separate ventilation shall be provided.

## Prior to construction:

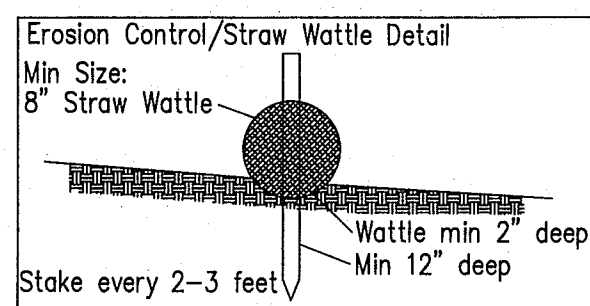
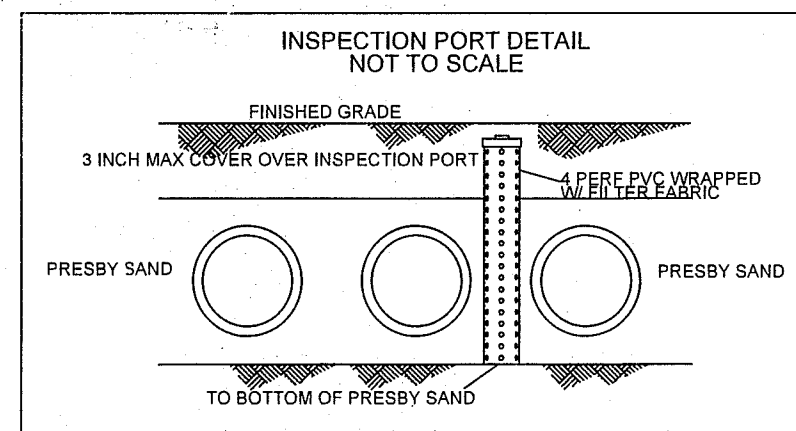
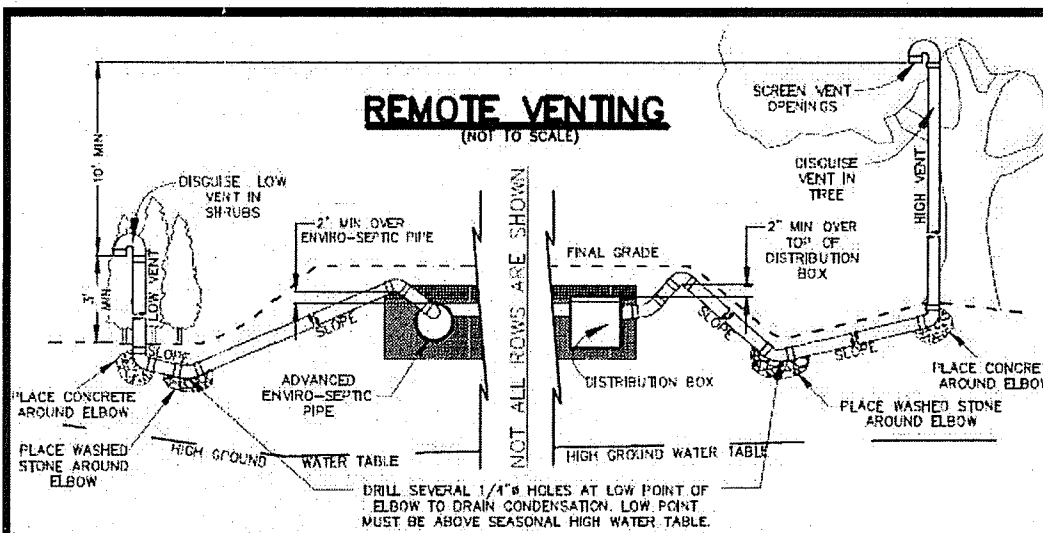
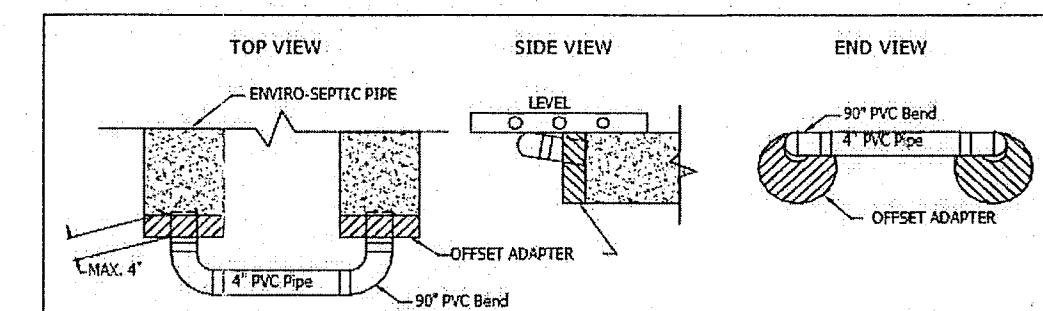
- Contractor shall notify Dig Safe (888) 344-7233 at least 72 hours prior to construction or abandonment of existing system. It shall be the responsibility of the contractor to locate any utilities not delineated by Dig Safe.
- Contractor shall notify designer 48 hours prior to construction for septic system to be staked.
- Contractor shall verify all existing site conditions and elevations prior to initiating construction. Any discrepancies shall be reported to the Designer prior to construction.
- Contractor shall contact designer 48 hours before an inspection.
- Prior to the commencement of construction, the System Installer must certify in writing to the Designer, the LAA, and the System Owner that (s)he is a locally approved System Installer and, if required by the Company, is certified by or has received appropriate training by the Company.

## Construction Notes:

- All components of this system shall be marked with magnetic tape or comparable in order to locate components once buried.
- All disturbed surfaces shall be restored with 4" of loam and seed.
- All connections shall be glued.
- The existing septic system shall be abandoned in accordance with 310 CMR 15.354.
- All contaminated soil in the vicinity of the proposed leaching area shall be excavated and removed by the contractor.
- Contractor shall notify designer and Approving Authority when conditions are found during construction which would alter the approved septic design plan.
- Where portions of the existing building sewer are to remain, building sewer shall be inspected for slope, bellies, turns and anything which may prevent it from functioning as required by Title 5.

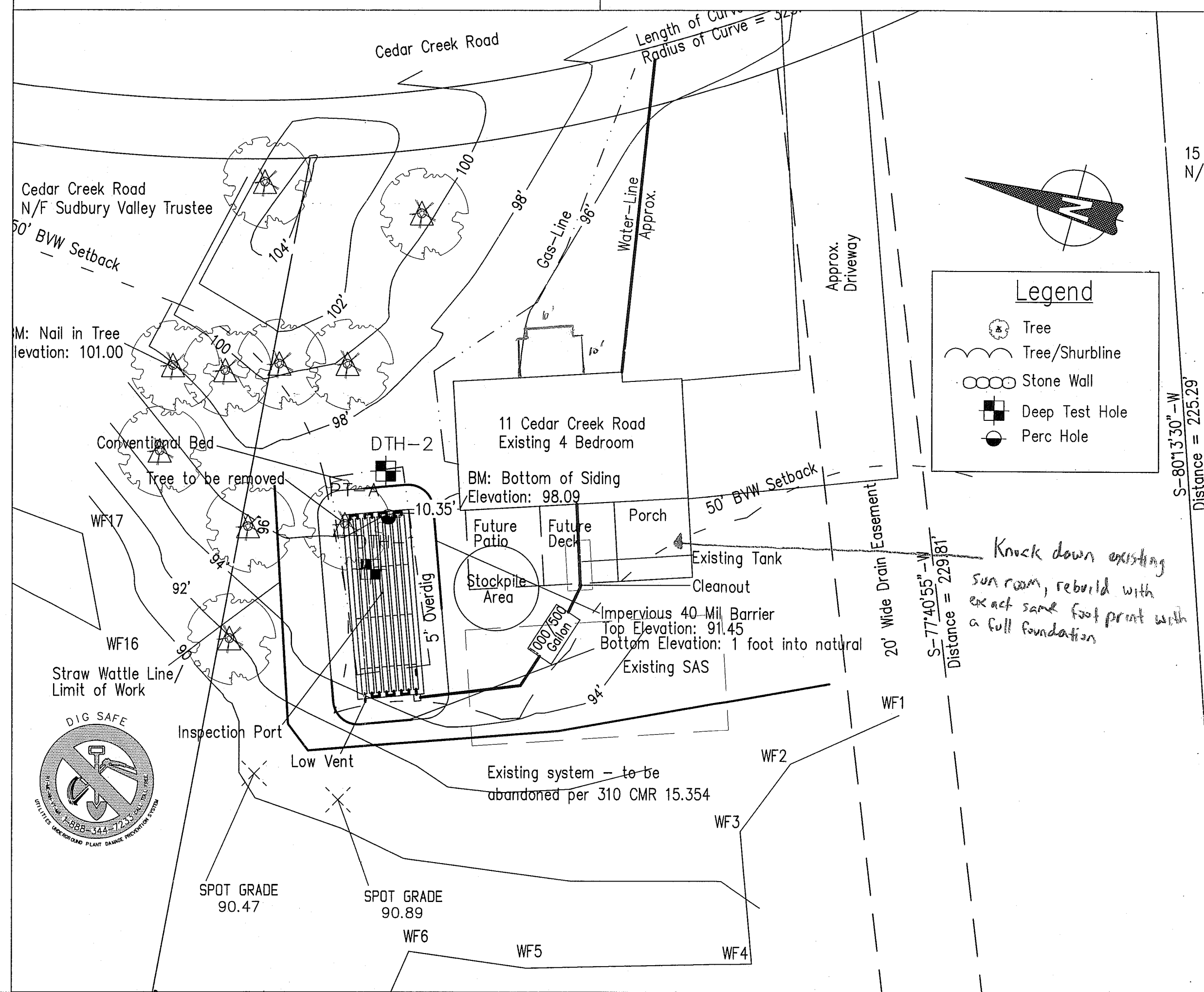
## Plan Information:

- This plan was created for the purposes of showing a proposed sewage disposal system and is NOT intended to be used for the reproduction of property lines. If property lines are in question, a survey should be performed by a Professional Land Surveyor.
- This plan is for the design and construction of the sewage disposal facility only.
- The underground utilities denoted on this plan are based off of markings from proper entities and available records. The Designer is not responsible for any subsurface structures not accurately depicted on this plan.
- Water softener/roof runoff/sump pump discharge shall not be tied into proposed septic system.
- Any alteration of wetlands or disturbance within the 100-foot buffer zone shall require a filing with the local conservation commission and the department of environmental protection. This project may require such a filing.
- This plan may not be revised without the consent of the Designer and without Local Board of Health approval.
- All known wells within 150 feet of this system have been identified.
- Remote venting allowed, see detail. Final vent location should be discussed with the owner, subject to approval by the designer and local approving authority.
- System shall be pumped per 15.351.
- The designers only warranty is that the system was designed in accordance with Title 5 and the local BOH regulations.
- Ornament or similar may be used to disguise low vent.



## Leach Field Notes:

- Where fill is required to replace unsuitable or impervious material, the excavation of the unsuitable material shall extend a minimum of 5 feet laterally in all directions beyond the outer perimeter of the soil absorption system to a depth of naturally occurring pervious material and shall be replaced with suitable Title 5 fill (310 CMR 15.255).
- A capped inspection port wrapped in filter fabric shall be installed in leaching area.
- Surface drainage shall be directed away from leaching area. Finished grade over leaching area shall have a minimum 2% slope.
- Fill shall be free of clay, tailings or stones larger than 6"
- Trees should be removed if the roots could reach the leach field, or an impervious barrier should be placed in between field and tree.



Schedule of Elevations		
Elevation	Proposed	As-Built
Invert @ Bldg:	93.96±	
Tank Inlet:	93.52	
Tank Outlet:	93.27	
D-Box Inlet:	93.00	
D-Box Outlet:	92.83	
4" PVC in Presby:	92.66	
Presby Inv:	92.08	
Bot of system sand (breakout):	91.58	
Minimum Cover Over SAS:	93.66	
Maximum Cover Over SAS:	96.08	

**SAS Sizing Design Data:**  
Proposed 4 bedroom home @ 110 GPD/bedroom = 440 GPD  
Perc Rate = 5 mpi  
LTAR Title 5: 0.74 gpd/sqft  
LTAR Presby AES= 1.233 gpd/sqft (Presby Manual - Table B)  
Linear Feet of Pipe Req'd: 280' (Presby Manual - Table A)  
Presby Size Required: 440 gpd/1.233 gpd/sqft = 357 sqft (400 sqft min)  
Conventional Size Required: 440 gpd/0.74 gpd/sqft = 595 sqft  
  
**Primary Presby Provided:** 8 lines @ 35 ft (280 lf) - 1.5 OC Spacing= 37 ft x 13.5 sqft = 499 sqft  
Conventional Shown: 40' L x 15' W Leach Bed = 600 sqft  
  
**Tank Calcs:**  
Required: 440 GPD x 2 = 880 Gallons  
Provided: 1500 Gallon Dual Compartment Tank (1000/500)

## Lot Information:

Water Source: Town Water  
Garbage Grinder: This septic system has NOT been designed for a garbage grinder. Any existing grinders shall be removed.  
Nitrogen Sensitive Areas: Zone II - YES ; IWPA - no  
Flood Plain: This property is not located in a flood plain.

## I/A Info:

\*\*The Presby Advanced Enviro-Septic is proposed under remedial use approval. This design utilizes a 2 foot reduction to the estimated high groundwater table as allowed by the approval letter. This design conforms to the approval and company design guidance.  
Transmittal number: X283867  
Date of Issuance: July 25, 2013, Revised December 29, 2016, Modified October 30, 2019.

System must be installed and maintained as per the "Standard Conditions for Alternative Soil Absorption Systems with General Use Certification and/or Remedial Use" dated "Revised: March 5, 2018".

## Sand Specifications:

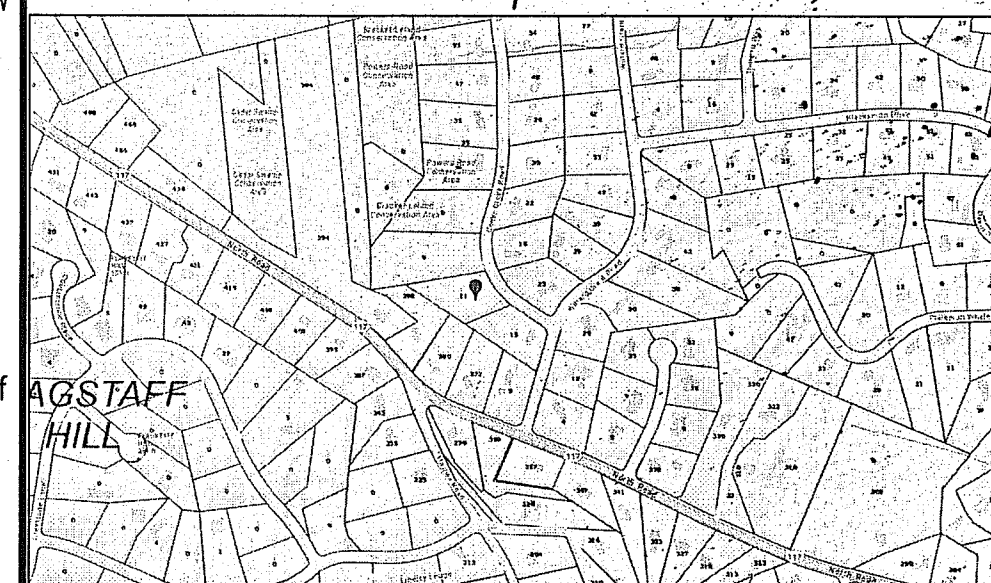
- AES system sand - 35% or less of the total sand may be gravel. 40% to 90% of the total sand is to be coarse to very coarse sand. No gravel shall exceed 3/4" in diameter. No gravel shall pass a #10 sieve. No coarse sand shall pass a #35 sieve. No more than 2% of the total sand may pass through a #200 sieve. ASTM C-33 (Concrete sand) is an alternate acceptable materials for use as system sand.
- Title 5 surrounding sand - Shall meet requirements of 310 CMR 15.255(3). Sand shall be comprised of clean granular sand, free from organic matter and deleterious substances and shall not contain Remediation Waste. Fill shall not contain any material larger than 2 inches. Up to 45% by weight of fill material may be retained on the #4 sieve. Sieve analysis must comply with the following chart:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 5%

## I/A Notes - Presby Advanced Enviro-Septic:

- 2 inch drop from dbx to presby inlet req'd.
- Approved Presby Sand must extend 6 inches below and above AES pipe and 12 inches laterally in every direction beyond advanced enviro-septic pipe.
- Row connections shall be raised to be flush with the top of the AES pipe.
- PVC raised connection shall be placed 2-4" inside the AES pipe.
- When gravity fed, Presby recommends not using effluent tee filters with their product.
- Remote venting is allowed with the AES system. Homeowner should be consulted as to the location of the low and/or high vent.
- Low vent shall be placed at least 36" off of the ground and high vent (if applicable) should be a minimum of 10 feet higher than the low vent.
- Connections shall be made at the 12 o'clock position.
- Vents shall not have charcoal filters with presby.
- Presby systems with multiple lines out of the distribution box, presby prefers the "V" style polylok flow equalizers.

## Location Map No Scale:



## Soil Data

DTH-1		DTH-2	
0"	95.65	0"	96.36
16" Fill/A	94.32	22" Fill/A	94.53
42" B-SL-10YR5/8	92.15	32" B-SL-10YR5/8	93.69
80" EHGW	88.98	76" C-LS-10YR5/6	90.03
96" C-LS-10YR5/6	97.65	EHGW/Refusal @ 76"	(90.03)
No Weeping		No Weeping	
No Standing		No Standing	

## Percolation Tests

	PT-A
Depth	68'
Rate	5 mpi

Date of soil evaluation: 9/7/2021  
Soil Evaluator: Evan Carloni (#13784)  
Approving Authority Witness:  
Bill Murphy and Rob Lazo

## Local Upgrade Approval (LUA) Requested:

Reg	Request
310 CMR 15.405 (1) (a)	Reduce setback from SAS to foundation from 20 feet to 10 feet. Impervious barrier provided.

## Variances Requested

Reg	Request

## Updates

Date	Update
9/15/2021	Proposed Plan
11/15/2021	Conservator Comments

## Innovative Septic Design, LLC.

51 Carter Street  
Berlin, MA 01503  
978-621-8278  
RS #1400

## Deed Information :

County : Middlesex

Bk. 78547

Pg. 553

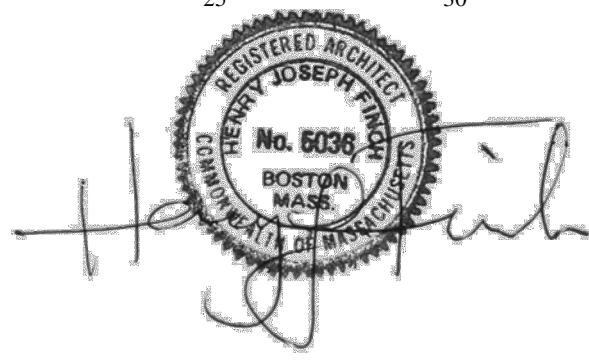
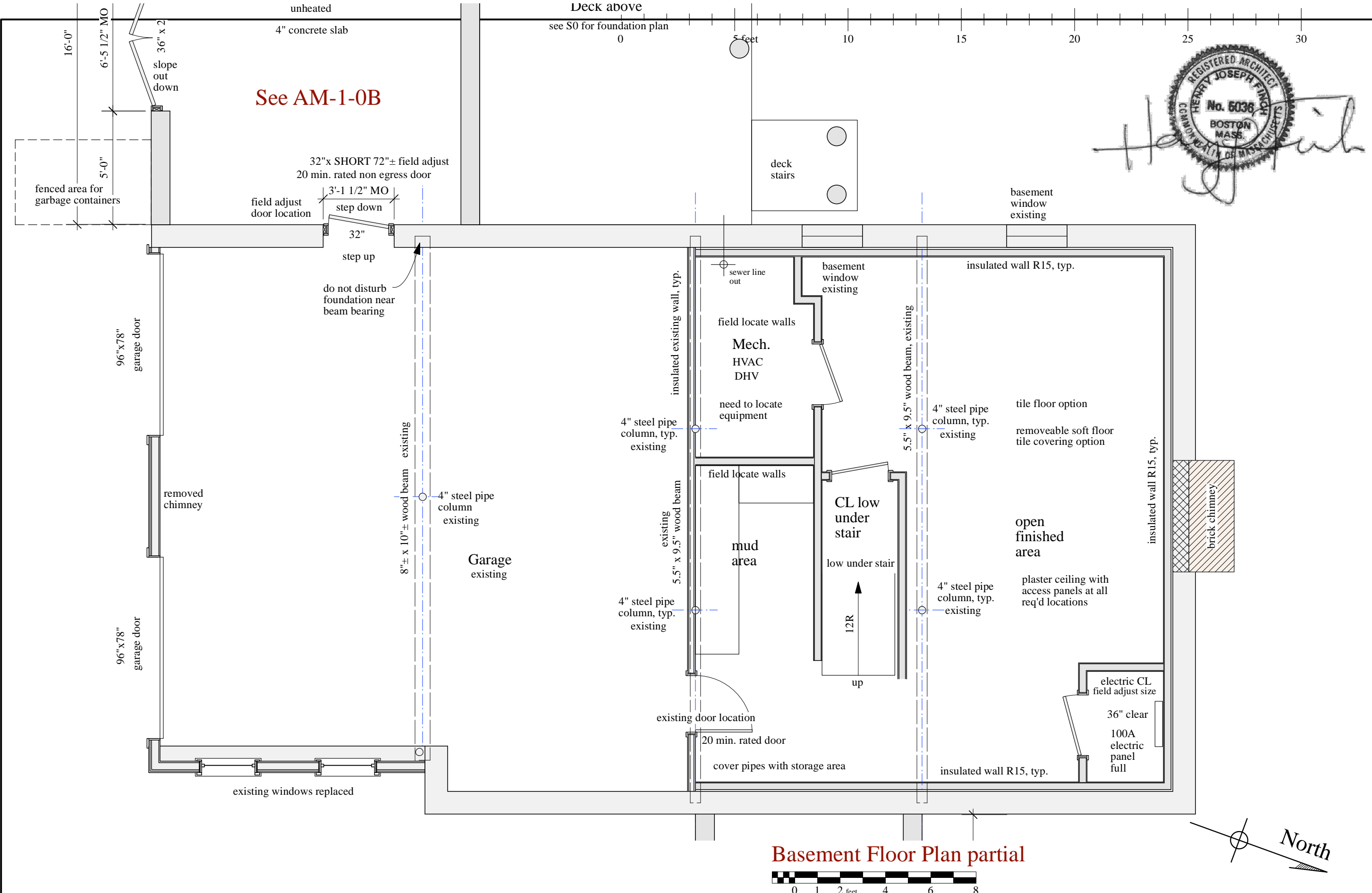
Lot Area: 1.29 Acres

Scale: 1"=20' Date: Sept. 13, 2021

Street.: Cedar Creek Road  
Town: Sudbury

Lot & Map #: Map: C09 Lot: 0359  
Plan #: 2021091301

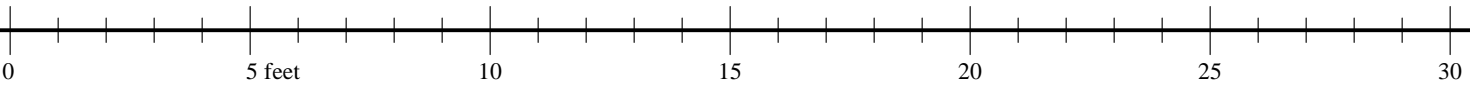
I HEREBY CERTIFY THAT THIS PLAN MEETS ALL REQUIREMENTS OF 310 CMR 15.000, TITLE 5 OF THE STATE ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS OF THE TOWN OF Sudbury BOARD OF HEALTH.



<b>Henry Finch, Architect</b> 153 Windsor Road, Waban MA 02468 henryfincharchitect@gmail.com		
<b>Brebeck/Chehames Residence</b> 11 Cedar Creek Road Sudbury, MA #20010, phase 2	<b>partial Basement Floor Plan</b>	<b>A 1-0A phase 2</b>

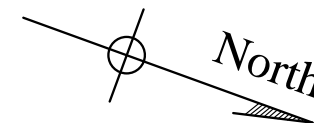
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PUBLISH: 13 September 2021

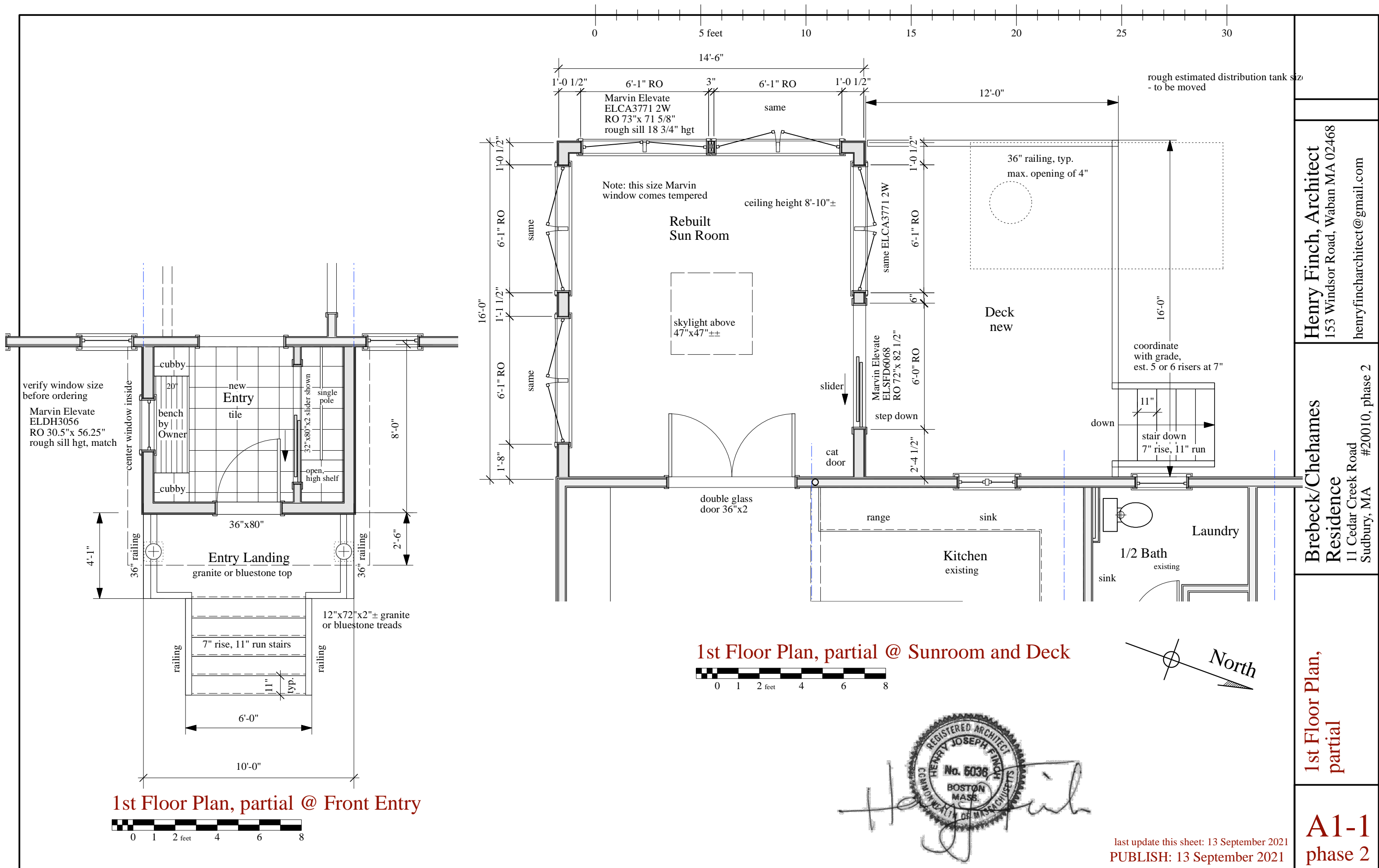




**Brebeck/Chehames  
Residence**  
11 Cedar Creek Road  
Sudbury, MA #20010, phase 2

A  
1-0B  
phase 2





**Henry Finch, Architect**  
153 Windsor Road, Waban MA 02468  
henryfincharchitect@gmail.com

**Brebeck/Chehames  
Residence**  
11 Cedar Creek Road  
Sudbury, MA #20010, phase 2

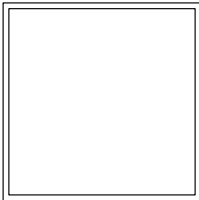
**1st Floor Plan,  
partial**

**A1-1  
phase 2**



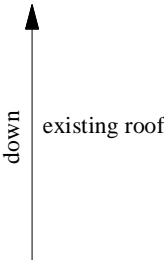
gutters around, heavy 0.032" min. aluminum

new flat EPDM roof .060"  
sloped insulation package  
Aluminum drip edge 0.032" min.



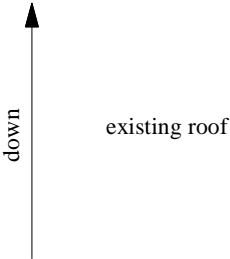
Velux CFP 120120  
fixed flat roof skylight  
(polycarbonate dome  
or curved glass)  
RO 47.25" x 47.25"  
(smaller sizes avail.)  
  
option:  
Velux FCM 4646  
fixed flat roof skylight  
(Fixed Curb Mounted, glass)  
curb by others, 9.5" min.  
RO 46.5" x 46.5"  
(smaller sizes avail.)

EPDM roofing to run up sidewall at least 8"  
Hold siding at least 2" above EPDM

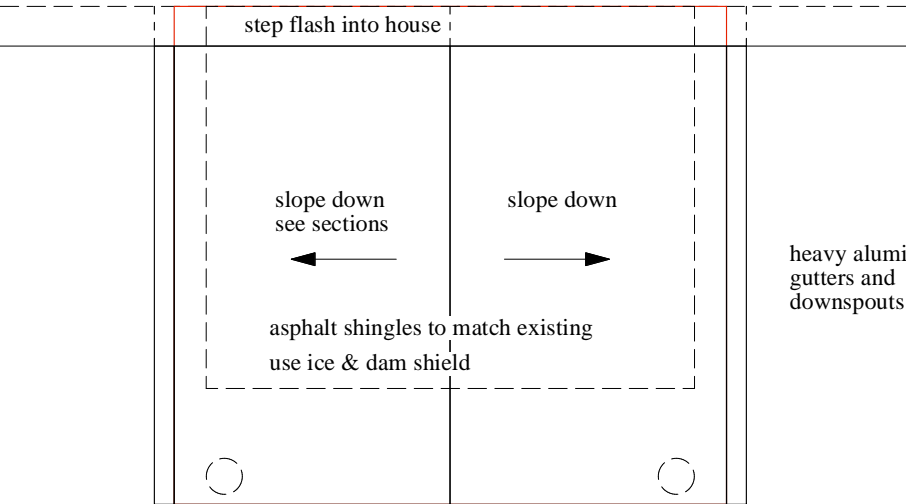


ridge

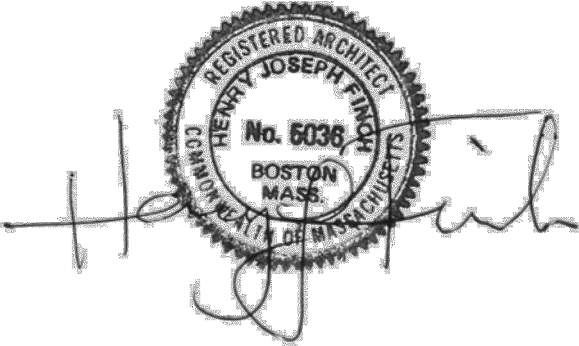
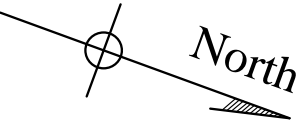
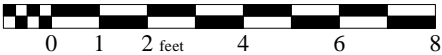
Roof Plan, Rebuilt Sunroom



ridge



Roof Plan, Front Entry



last update this sheet: 13 September 2021  
PUBLISH: 13 September 2021

Henry Finch, Architect  
153 Windsor Road, Waban MA 02468  
henryfincharchitect@gmail.com

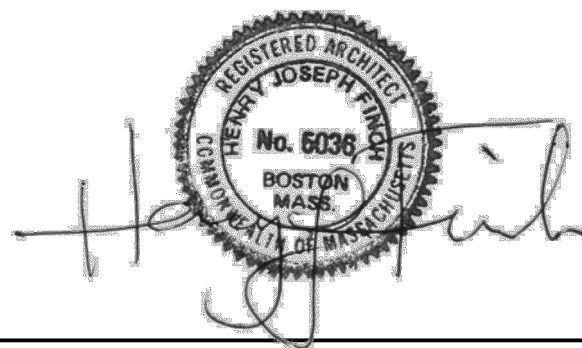
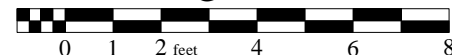
Brebeck/Chehames  
Residence  
11 Cedar Creek Road  
Sudbury, MA #20010, phase 2

Roof Plans

A1-3  
phase 2



# 1 Building Elevation, front east



last update this sheet: 13 September 2021  
PUBLISH: 13 September 2021

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153 Windsor Road, Waban MA 02468  
henryfincharchitect@gmail.com

**Brebeck/Chehames  
Residence**  
11 Cedar Creek Road  
Sudbury, MA #20010, phase 2

## Elevations

A2-1  
phase 2





existing chimney

existing roof

existing roof

existing house

existing house

existing house

gutters and downspouts

skylight

casements

rebuilt sunroom

awning window

no opening greater than 4"

3'-0"  
typ.

new Deck

existing basement window

existing basement window

3 Building Elevation, rear west



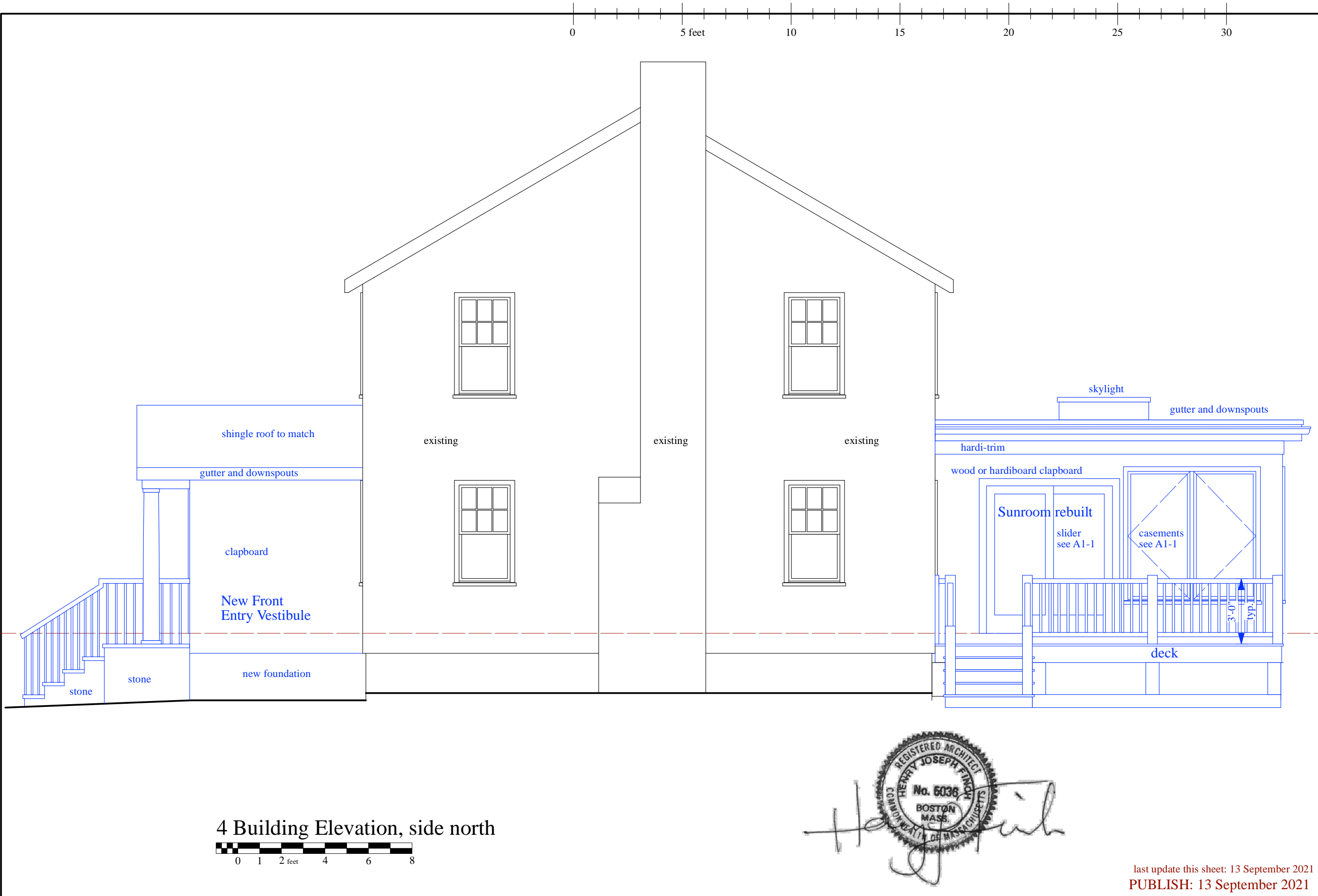
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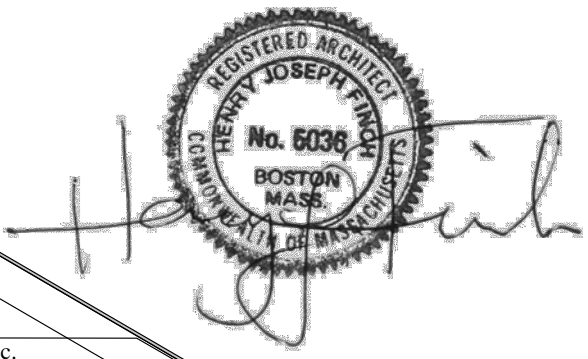
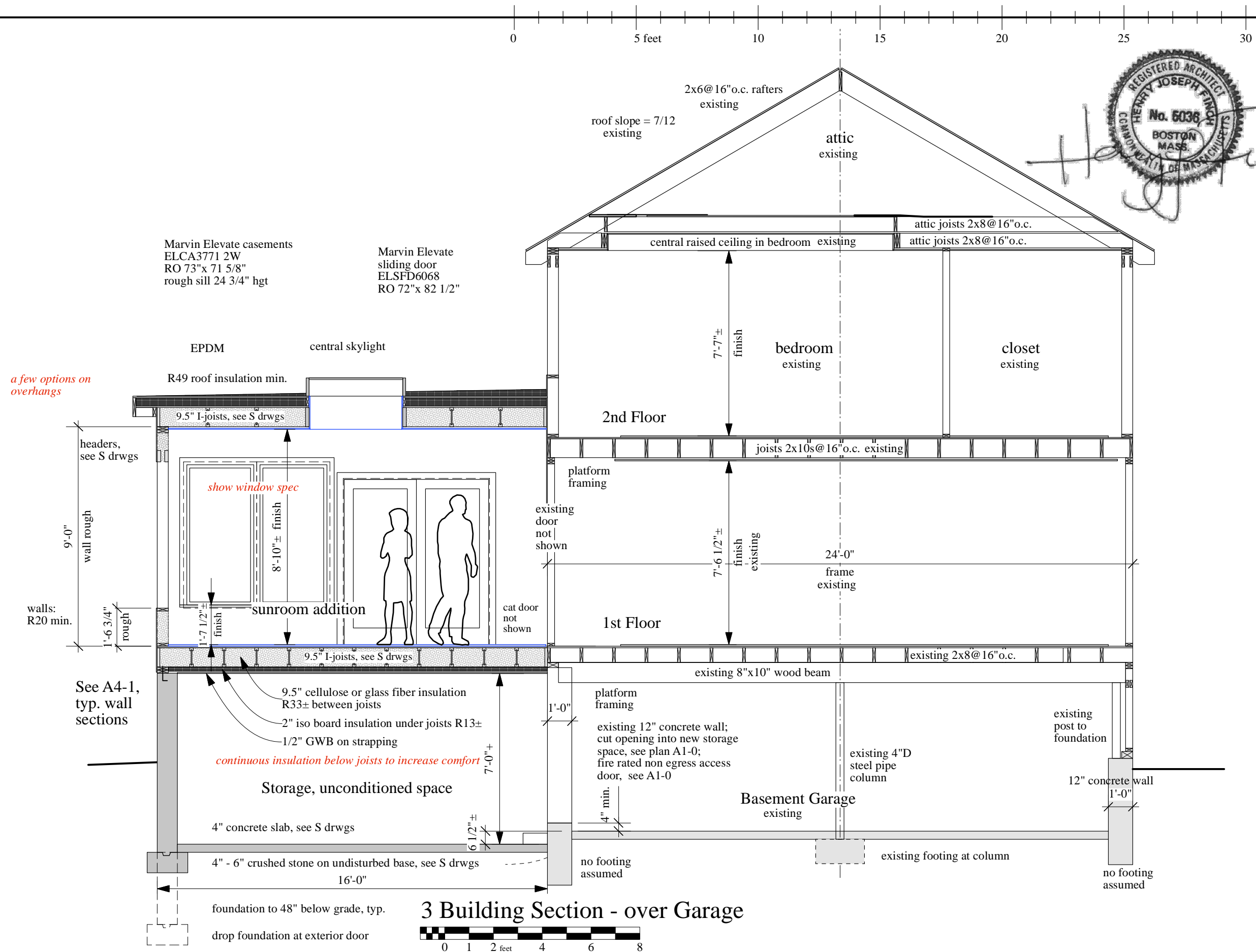
Brebeck/Chehames  
Residence  
11 Cedar Creek Road  
Sudbury, MA #20010, phase 2

Elevation

A2-3  
phase 2

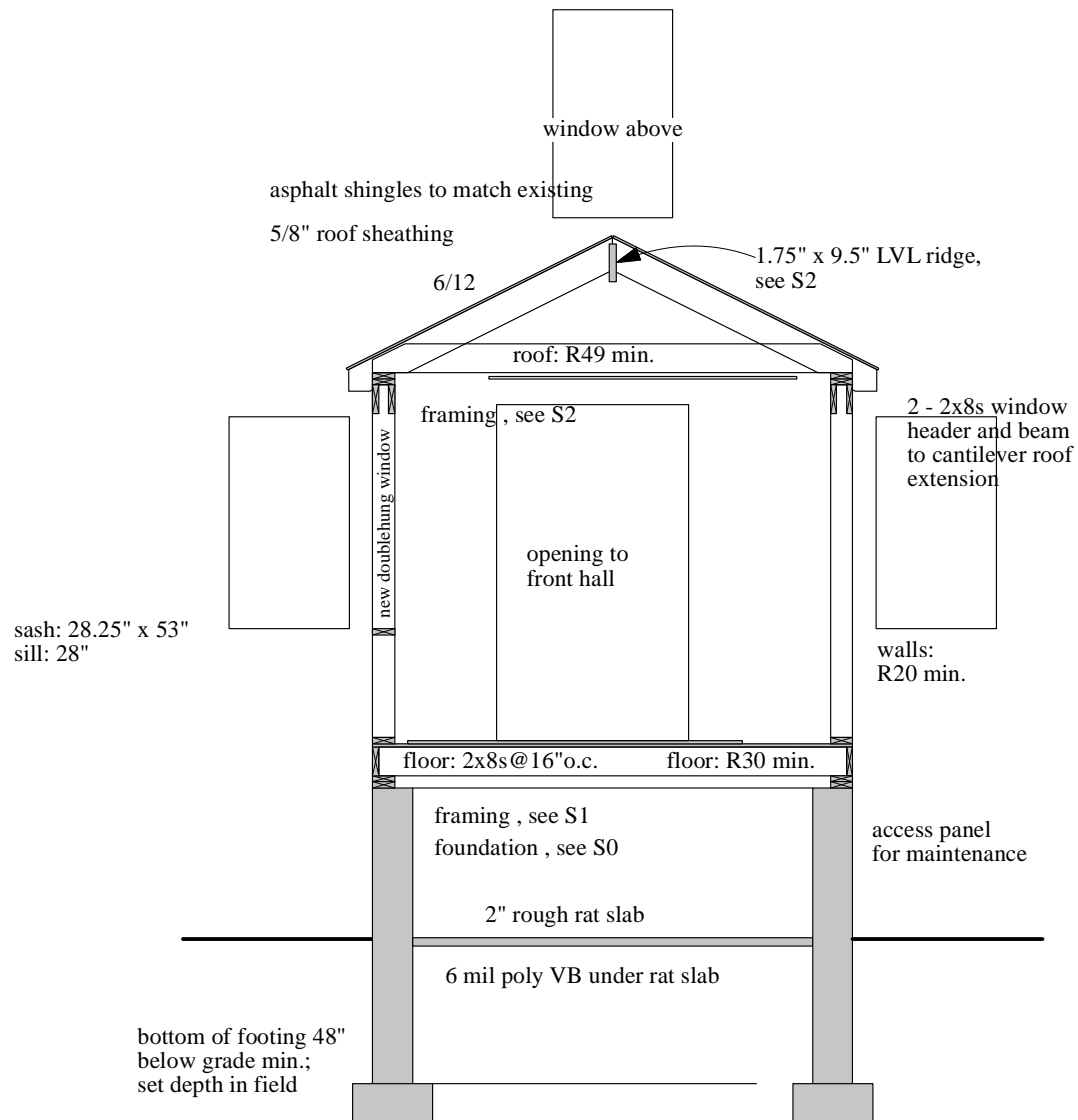
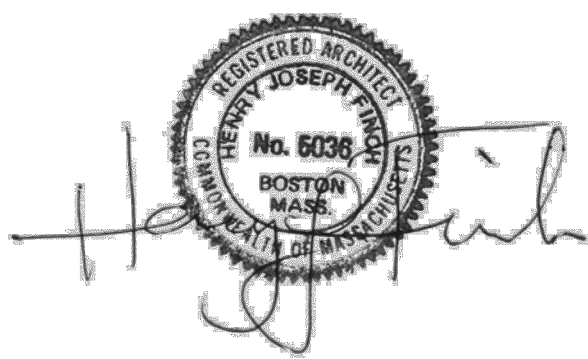
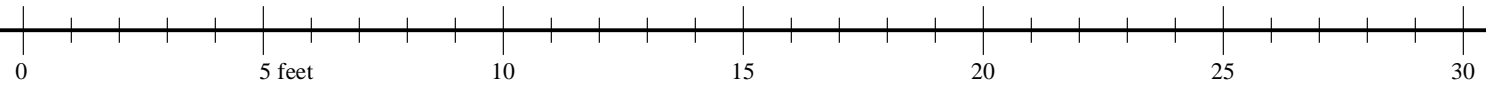


Elevation	A2-4 phase 2	<div></div>	<div>Brebeck/Chehames Residence 11 Cedar Creek Road Sudbury, MA #20010, phase 2</div>	<div>Henry Finch, Architect 153 Windsor Road, Waban MA 02468 henryfincharchitect@gmail.com</div>	

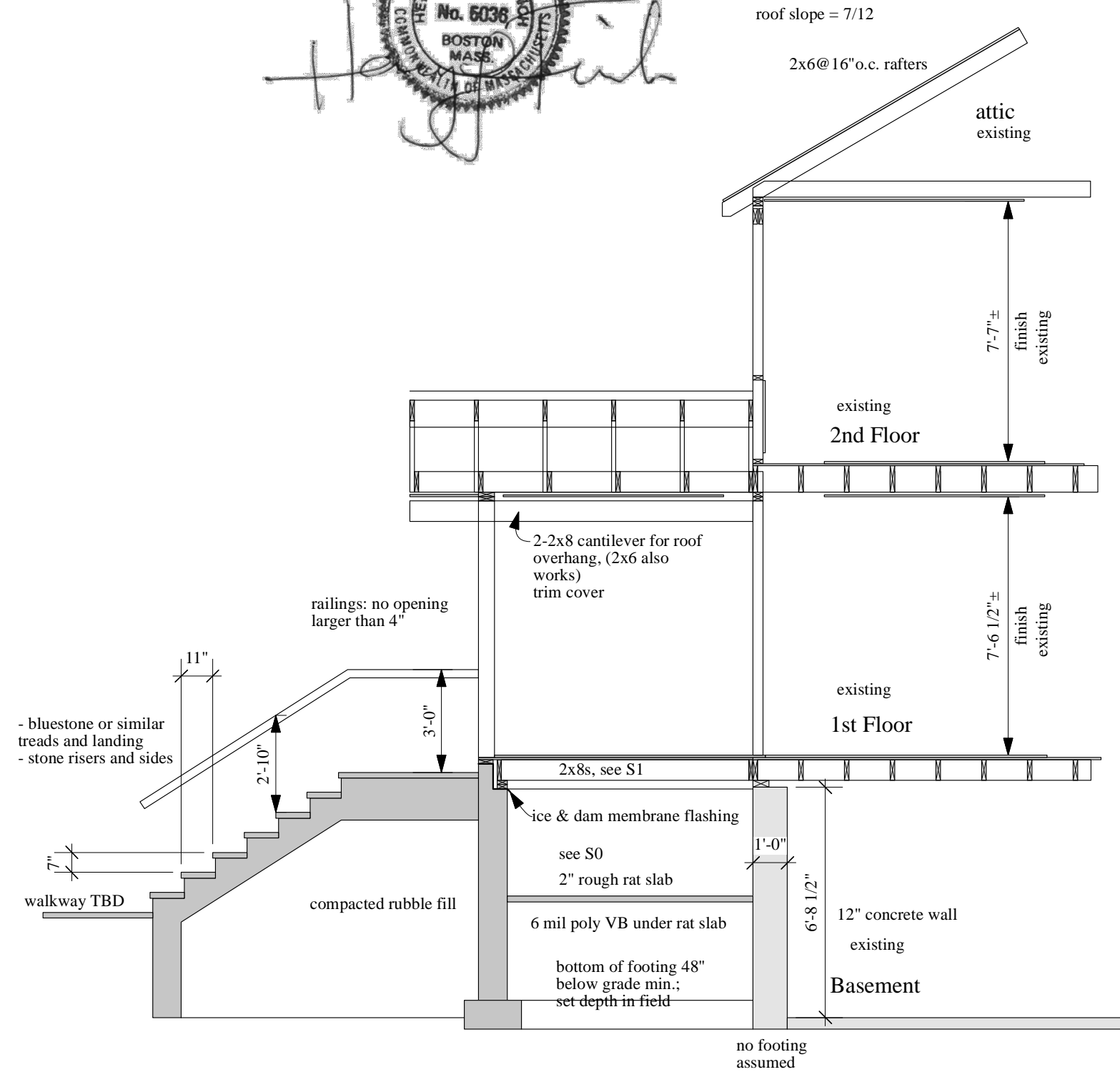
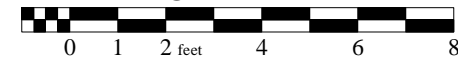


<b>Henry Finch, Architect</b> 153 Windsor Road, Waban MA 02468 henryfincharchitect@gmail.com	
<b>Brebeck/Chehames Residence</b> 11 Cedar Creek Road Sudbury, MA #20010, phase 2	<b>Building Section (existing)</b>
<b>A3-1</b> phase 2	

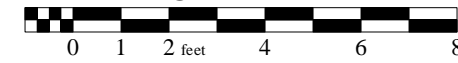
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Building Section, Front Entry 1

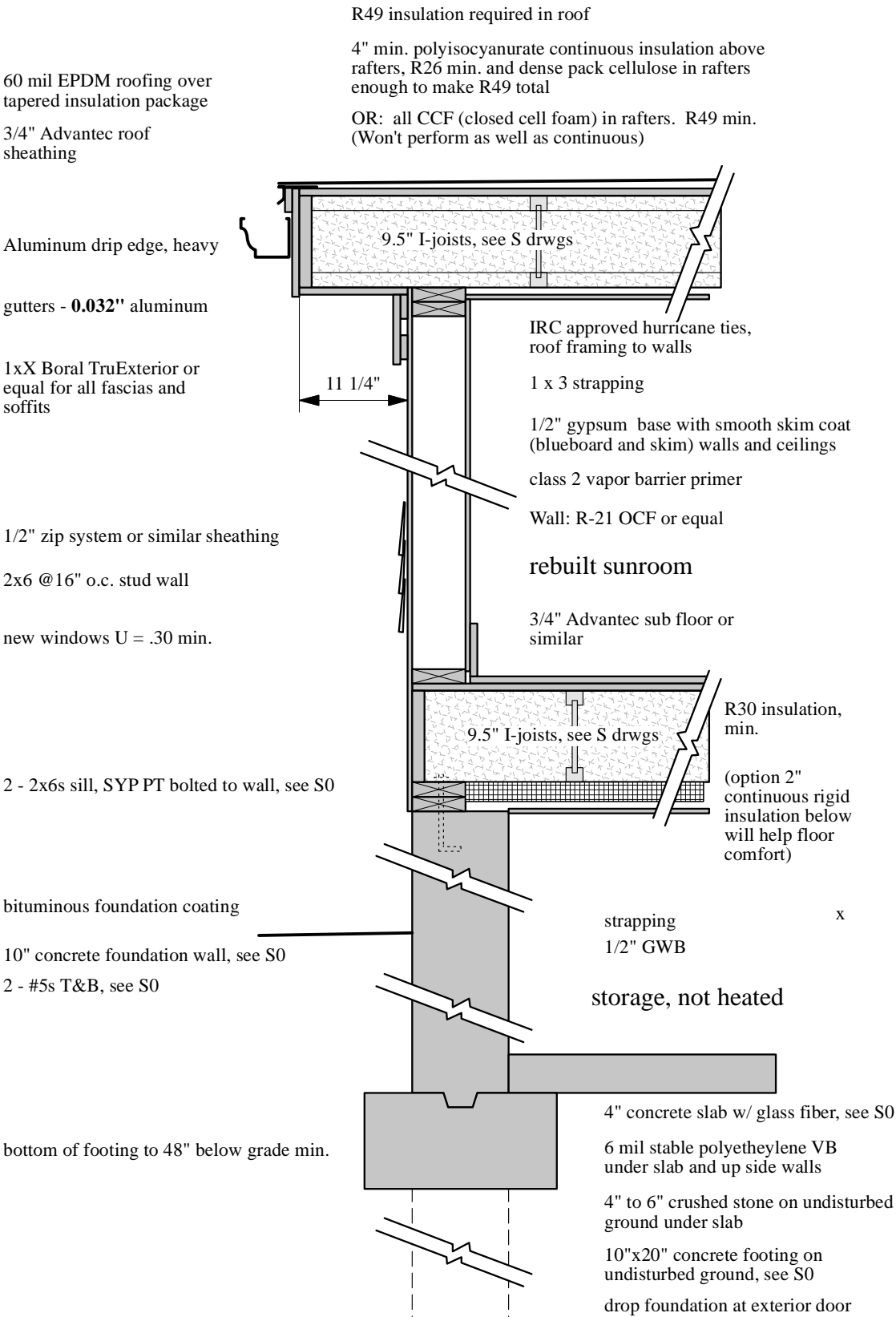


Building Section, Front Entry 2

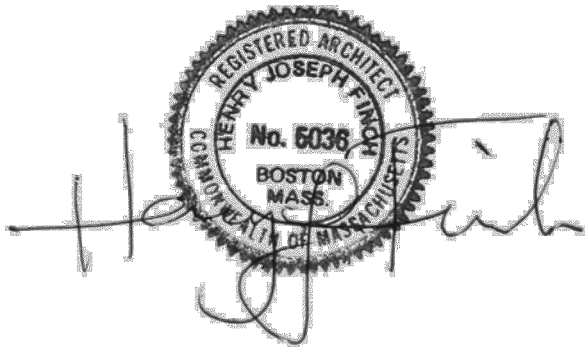
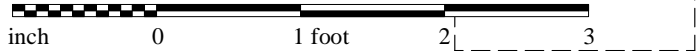


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<b>Brebeck/Chehames Residence</b> 11 Cedar Creek Road Sudbury, MA #20010, phase 2	<b>Building Section</b>
<b>A3-2</b> phase 2	



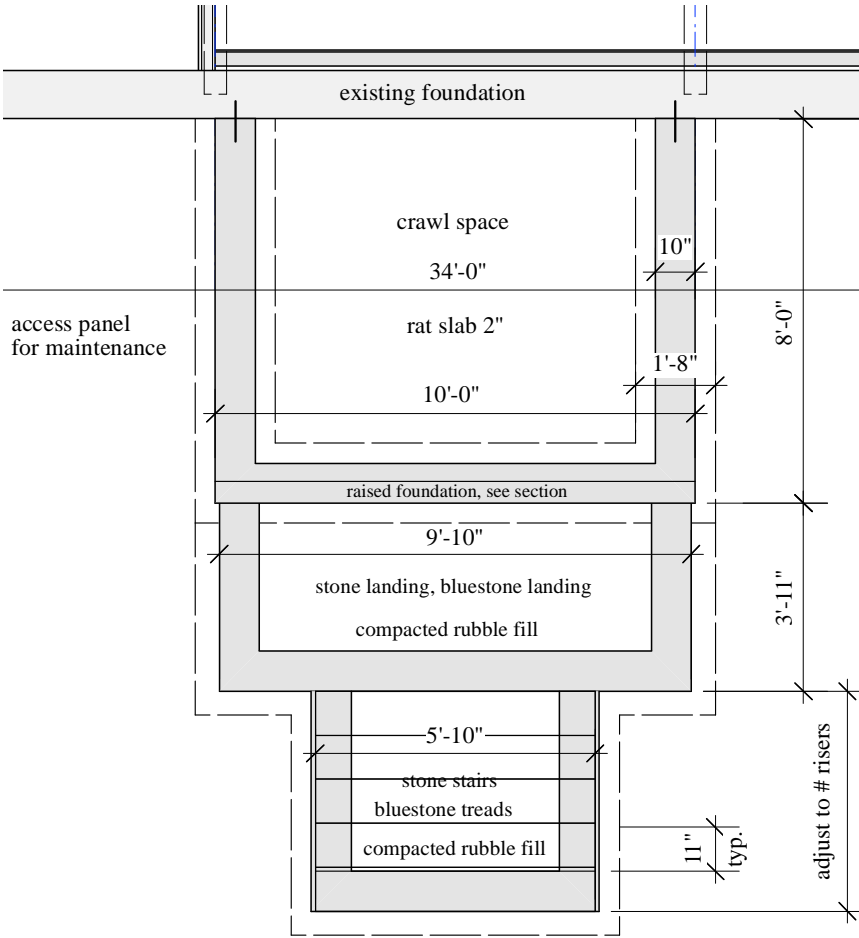
Typ. Composite Wall Section



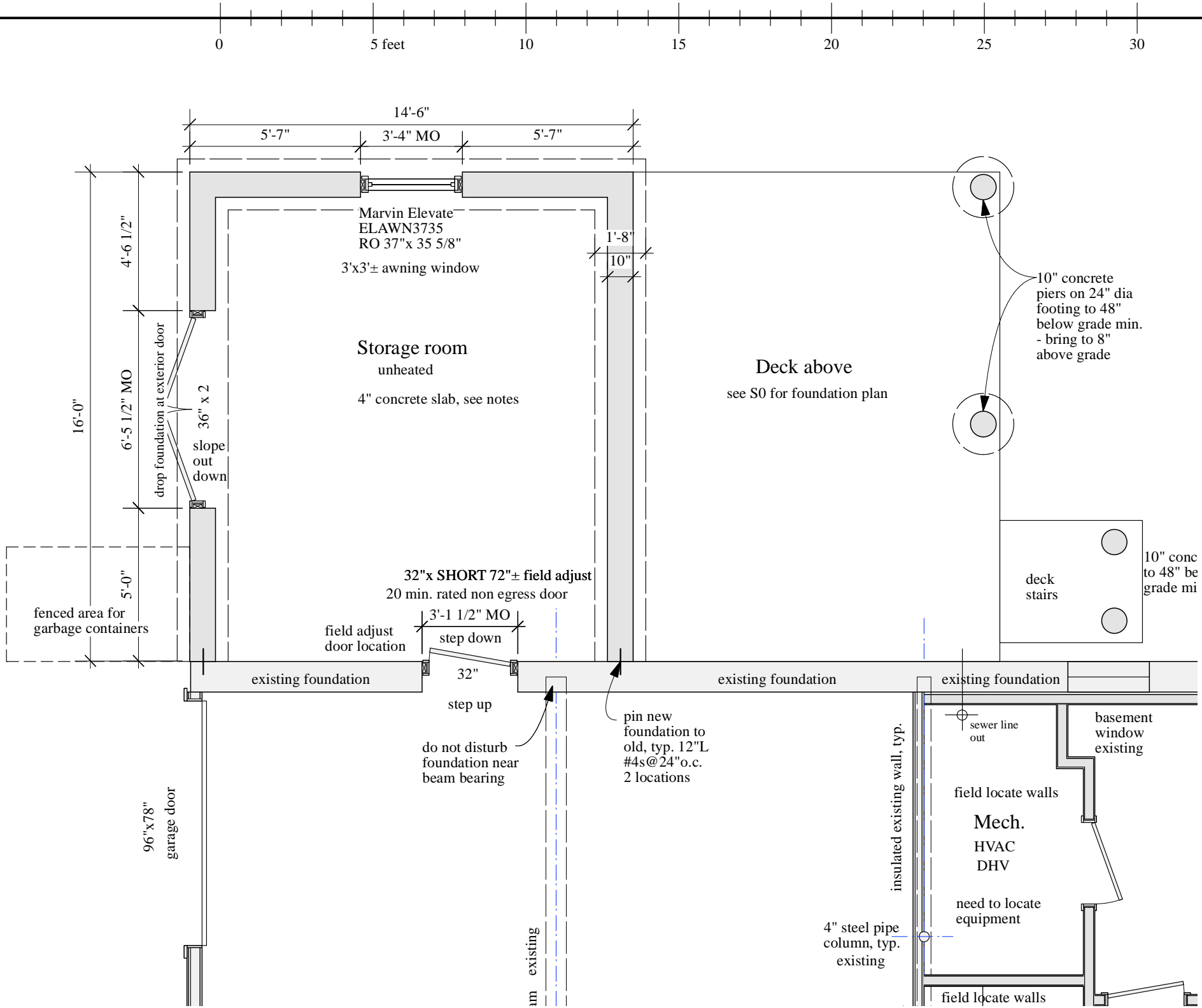


Foundation notes

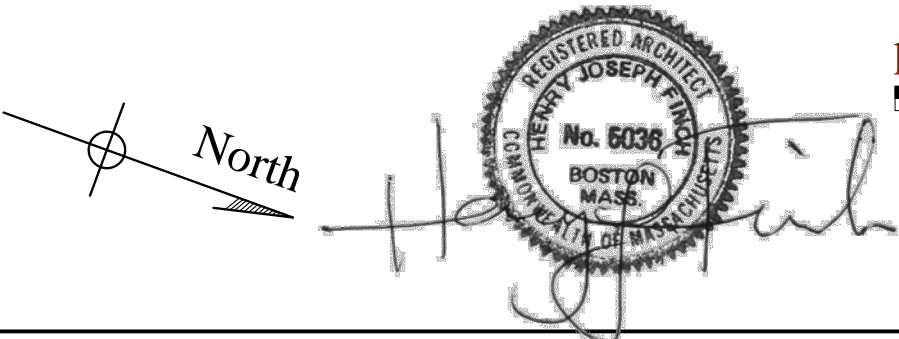
- All foundations to go down to a minimum of 48" below grade.
- Footings are typically 10" x 20" and are to be keyed to concrete walls
- Foundations walls 10" wide
- Concrete for walls and footings to be 3000 psi, min.
- Concrete walls to have 2 - #5s T&B
- Foundation walls to have anchor bolts every 6'-0" oc max. with a minimum of 2 per sill and located starting 12" from any corner.
- Remove all organic material from foundation or slab areas
- Bearing Soil conditions to be approved by Engineer and/or building inspector
- Excavation assumes normal conditions without ledge, very large boulders, or other unusual conditions
- Slab to be 4" minimum thick with contraction joints as shown on drawings or as approved. Do not add water to concrete.
- Slab in storage rm to be 3500 psi and have fiberglass additive
- 4" to 6" of crushed stone under slab
- Use 6 mil polyethylene vapor barrier under concrete slab. Lap all seams and run up walls at least 9" before pouring slab.
- 2" rat slab on 6 mil polyethylene VB under front entry
- Use bituminous foundation coating below grade on new foundation.
- (Place perforated drain pipe in interior perimeter of new basement area for future use.)
- Top of foundation to be a minimum of 8" above grade
- Coordinate excavation with existing utility lines and septic system



Front Entry Foundation Plan



partial Basement Floor Plan, Foundation



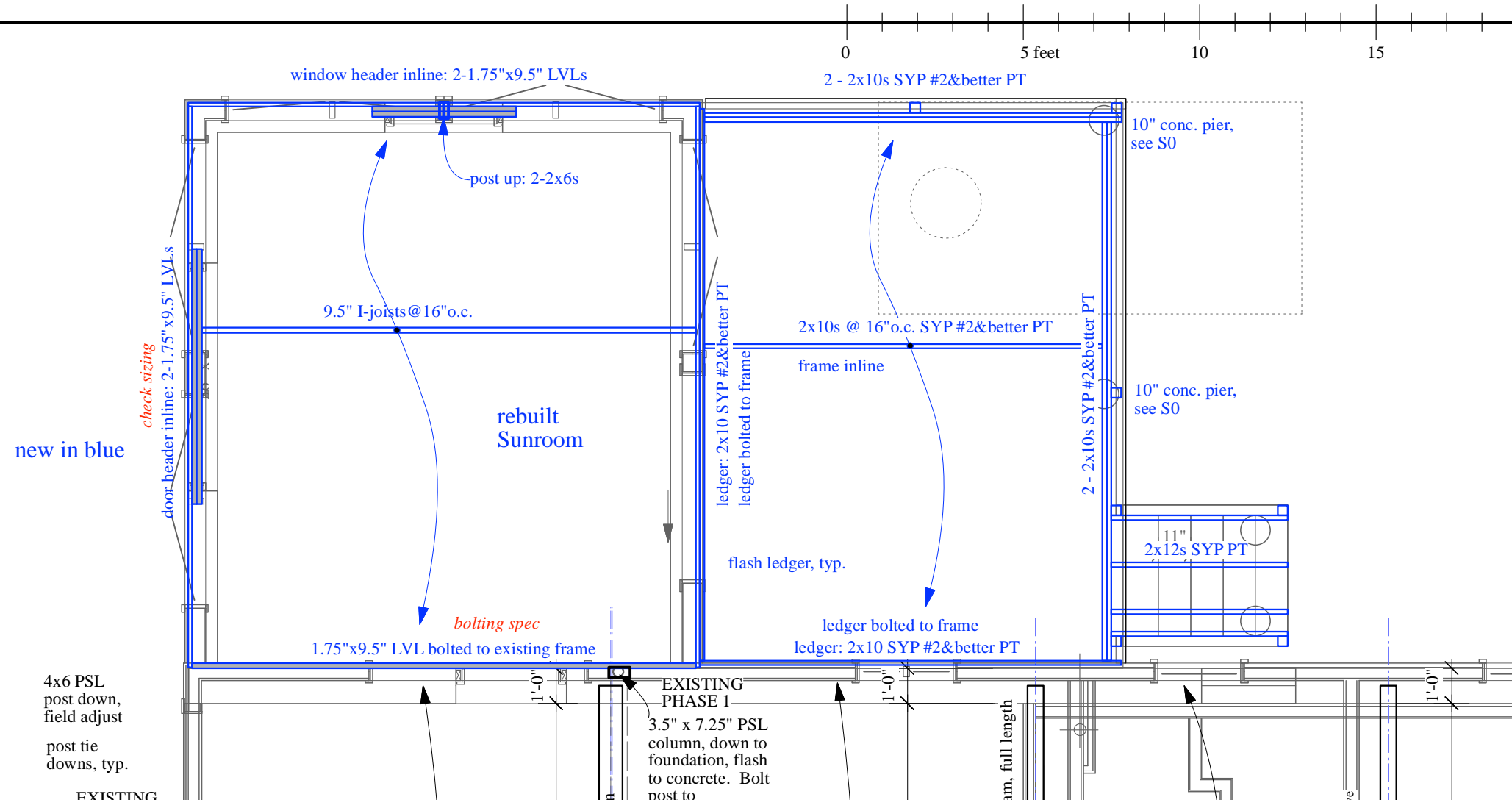
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henryfincharchitect@gmail.com

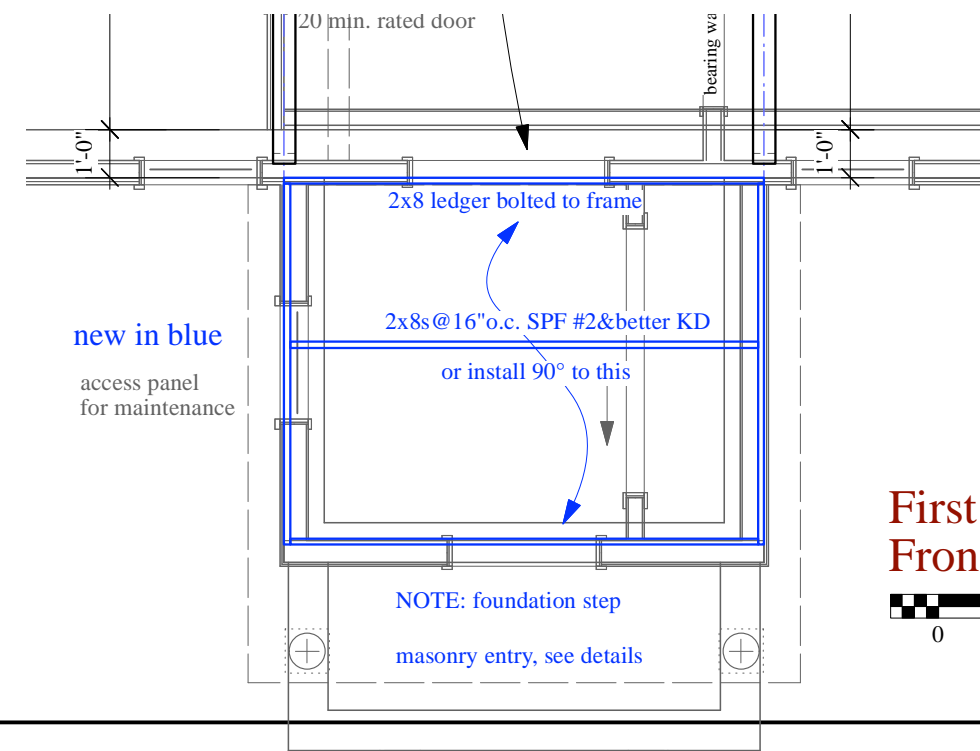
Brebeck/Chehames  
Residence  
11 Cedar Creek Road  
Sudbury, MA #20010, phase 2

partial  
Basement Floor Plan  
Mechanical, Foundation

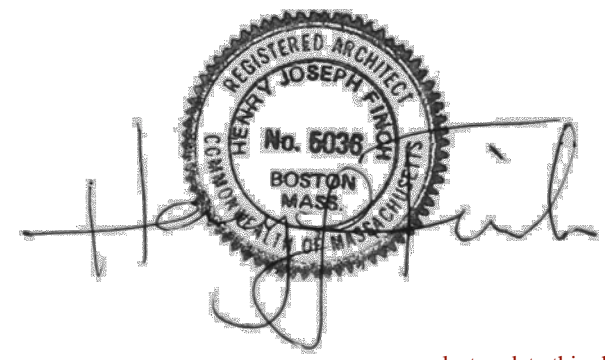
S-0  
phase 2



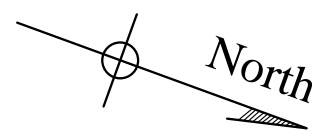
First Floor Framing Plan  
Rear Sunroom and Deck



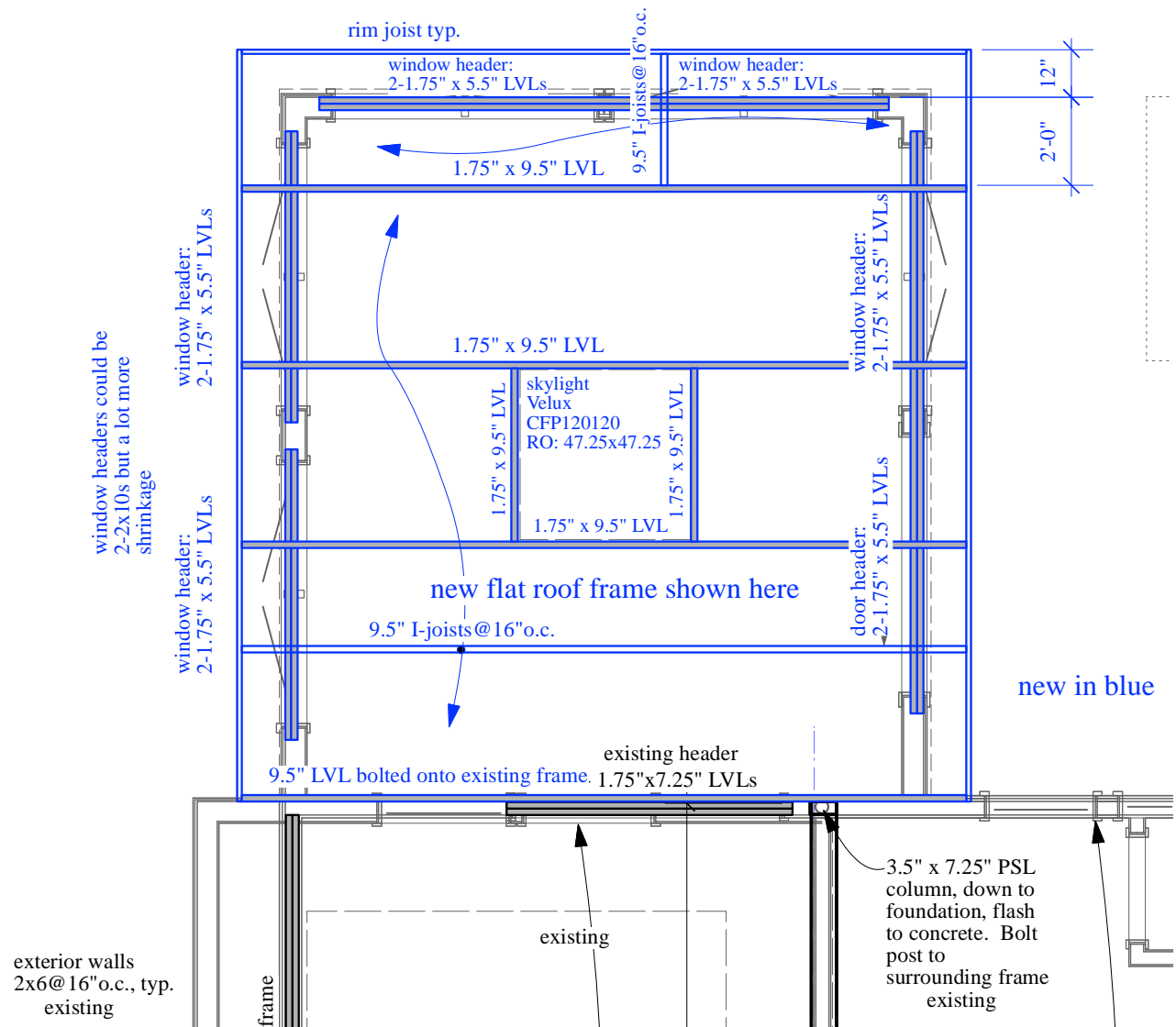
First Floor Framing Plan  
Front Entry



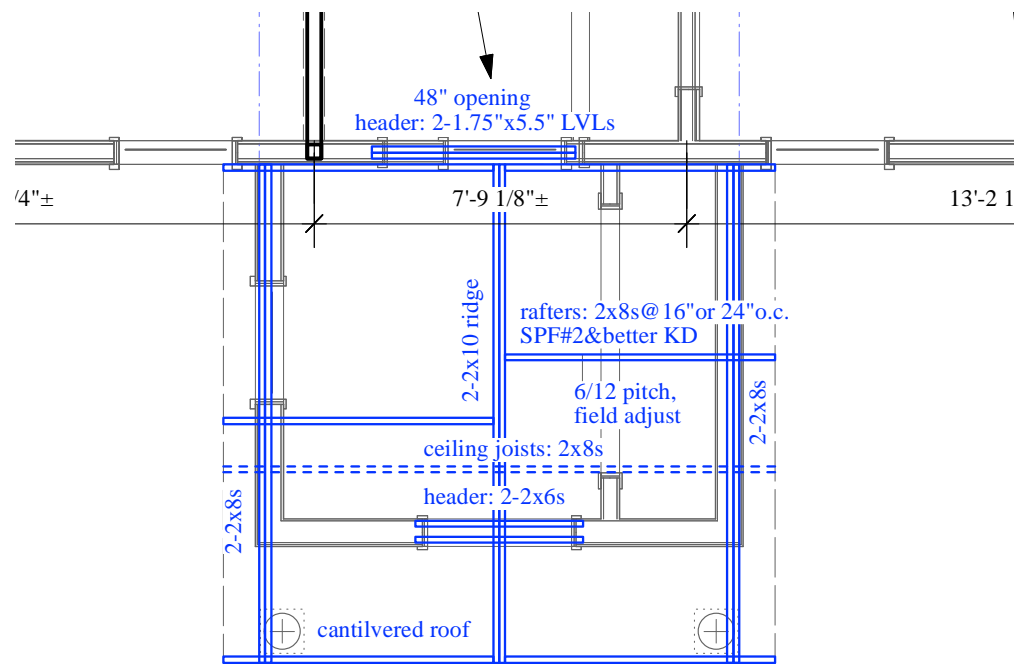
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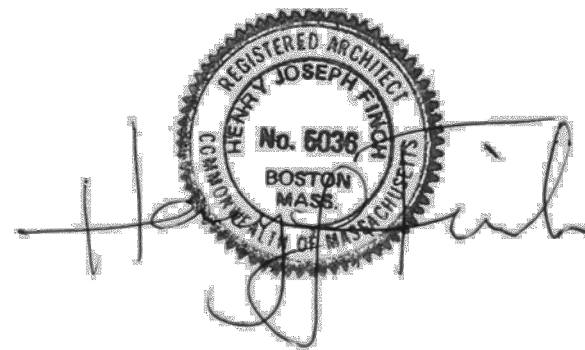
	<b>Henry Finch, Architect</b> 153 Windsor Road, Waban MA 02468 henryfincharchitect@gmail.com	<b>Brebeck/Chehames Residence</b> 11 Cedar Creek Road Sudbury, MA #20010, phase 2	<b>First Floor Framing Plan</b>	<b>S-1</b> phase 2
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partial Roof Framing Plan @ Sunroom



partial Roof Framing Plan @ Front Entry



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Henry Finch, Architect  
153 Windsor Road, Waban MA 02468  
henryfincharchitect@gmail.com

Brebeck/Chehames  
Residence  
11 Cedar Creek Road  
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Roof partial  
Framing Plan

S-4  
phase 2