

ASSESSORS:

MAP E09, LOT 420

ZONING:

RESIDENTIAL A

REFERENCES:

DEED BOOK 65642, PAGE 201  
PLAN 705 OF 1964  
PLAN 388 OF 1984

RECORD OWNER:

XIN JIA & YU HUANG  
51 WOODMERE DRIVE  
SUDBURY, MA 01776

GENERAL NOTES:

- ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM.
- UNDERGROUND UTILITIES EXIST. THE LOCATION OF SAID UTILITIES WERE NOT PART OF THIS SURVEY. THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=20' HORIZONTALLY AND A 2 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RE-SCALING MAY EFFECT THE MAP ACCURACY.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE LIMIT OF WETLANDS ON-SITE AND THE TOPOGRAPHY FROM THE REAR OF THE HOUSE TO SAID LIMIT OF WETLANDS.
- LAWN DEBRIS AT EDGE OF WETLANDS SHALL BE REMOVED.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ANY MATERIAL STOCKPILES OR OTHER DISTURBED AREAS THAT REMAIN DISTURBED FOR OVER 30 DAYS SHALL BE TEMPORARILY STABILIZED WITH GRASS, MATS, OR NETTING.
- TWO 4" HDPE PIPES ARE FOUND NEAR FLAGS 105 AND 108. PER OWNER AND CONTRACTOR, THERE IS NO SUMP PUMP IN THE BASEMENT. PIPES MAY BE GRAVITY OUTLETS FROM EXTERIOR FRENCH DRAIN. CARE TO BE USED DURING MITIGATION PLANTING IN THOSE AREAS.

GENERAL BUFFER ZONE RESTORATION NOTES:

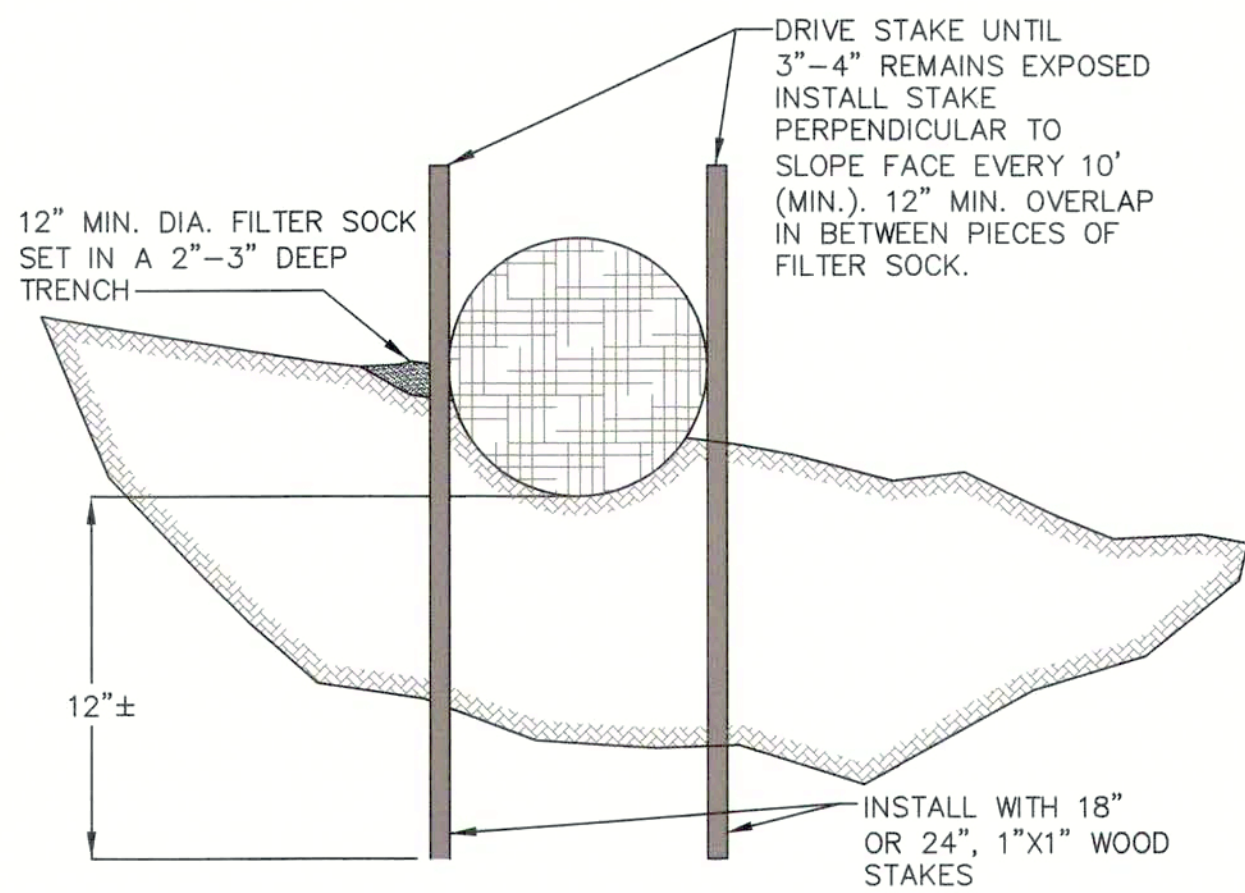
- THE SUDBURY CONSERVATION COMMISSION SHALL BE NOTIFIED NO LESS THAN ONE (1) WEEK IN ADVANCE OF THE INITIATION OF ANY TREE REMOVAL WORK.
- A QUALIFIED RESTORATION ECOLOGIST SHALL OVERSEE ALL WORK PERFORMED BY LANDSCAPE CONTRACTOR.
- IN THE EVENT THAT SPECIFIED PLANTINGS ARE UNAVAILABLE, SUITABLE SUBSTITUTE SPECIES MAY BE CONSIDERED, HOWEVER PLANT SELECTION SHALL BE LIMITED TO NATIVE SPECIES SUITABLE TO THE GROWING CONDITIONS OF THE SITE. ANY PROPOSED DEVIATION FROM THIS PLAN MUST BE SUBMITTED TO THE CONSERVATION COMMISSION FOR REVIEW AND APPROVAL PRIOR TO EXECUTION.

BUFFER ZONE RESTORATION PLAN (628 S.F.)

- CONTRACTOR SHALL INSTALL STAKED FIBER ROLL SEDIMENT CONTROLS ALONG THE EDGE OF WETLAND BELOW ALL PROPOSED WETLAND RESTORATION WORK.
- CONTRACTOR SHALL REMOVAL ALL NON-NATIVE VEGETATION FROM THE WETLAND REPLICATION AREA.
- FOLLOWING REMOVAL OF NON-NATIVE SPECIES, CONTRACTOR SHALL INSTALL NATIVE PLANTS IN ACCORDANCE WITH THE FOLLOWING PLANTING SCHEDULE:  
**SHRUB SPECIES**  
A. SEVEN (7) BLACK CHOKEBERRY (ARONIA MELANOCARPA, FAC)  
B. SEVEN (7) SWEET PEPPERBUSH (OLETHRA ALNIFOLIA, FAC)  
C. SEVEN (7) Highbush Blueberry (VACCINIUM CORYMBOSUM, FACW)  
D. SEVEN (7) EASTERN SHADBUSH (AMELANCHIER CANADENSIS, FAC)  
**HERBACEOUS PLANTS**  
E. FIFTY (50) WILD BERGAMOT (MONARDA FISTULOSA, FACU)  
F. FIFTY (50) NORTHERN CRANE'S-BILL (GERANIUM BICKNELLII, FACU)  
G. FIFTY (50) COMMON GOLDEN ALEXANDERS (ZIZIA AUREA, FAC)  
H. FIFTY (50) EASTERN HAY-SCENTED FERN (DENNSTAEDTIA PUNCTILOBULA, UPL)  
I. FIFTY (50) NEW YORK FERN (PARATHELYPTERIS NOVEBORACENSIS, FAC)  
ALL SHRUBS SHALL BE NO LESS THAN 3' IN HEIGHT AT PLANTING. SHRUBS SHALL BE INSTALLED AT 6' OFF CENTERS. ALL HERBACEOUS PLANTS SHALL BE EITHER 2" PLUGS OR POT SIZE #1 AT PLANTING.
- FOLLOWING INSTALLATION OF PLANTS, CONTRACTOR SHALL BROADCAST SEED THE RESTORATION AREA WITH A BLEND OF 5LBS NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITE AND 2LBS OF NEW ENGLAND SHOWY WILDFLOWER MIX AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, INC.
- FOLLOWING BROADCAST SEEDING, CONTRACTOR SHALL TOP DRESS THE RESTORATION AREA WITH A THIN UNIFORM LAYER OF WEED FREE STRAW MULCH. STRAW MULCH WILL PROVIDE SOME TEMPORARY GROUND STABILIZATION AND RETAIN MOISTURE TO AID IN SEED GERMINATION.
- UPON COMPLETION OF THE RESTORATION, THE CONTRACT SHALL INSTALL FOUR FENO CONSERVATION MARKERS WITH A 23" DEPTH AND 8" REVEAL THAT STATES "RESTORATION AREA - NO DISTURBANCE BEYOND THIS POINT".

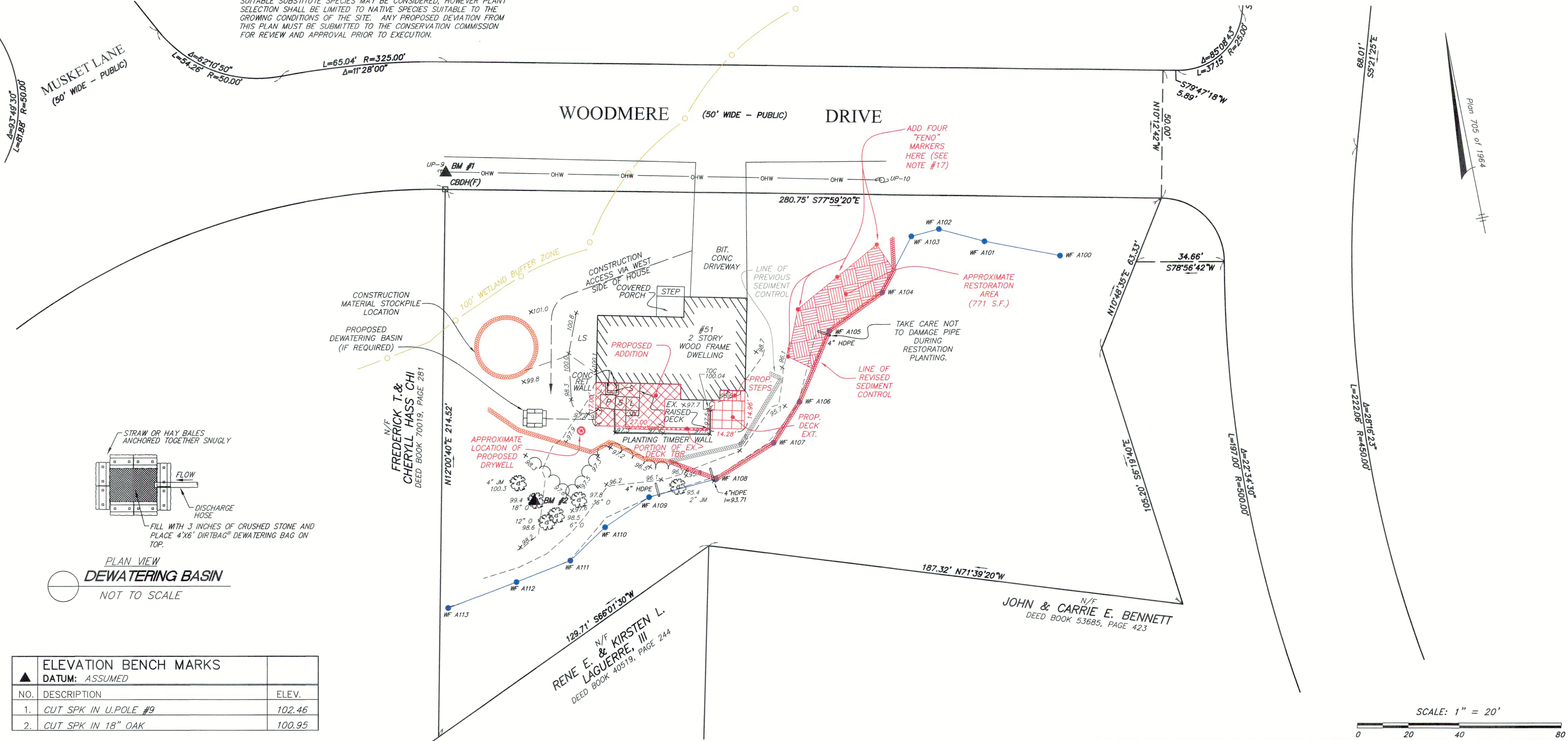
LEGEND

- 234----- SURFACE CONTOUR  
--- EDGE OF PAVEMENT  
--- EDGE OF LAWN  
--- EDGE OF WOODED AREA  
#181 OHW  
WF A2 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER  
--- LIMIT OF 100-FOOT WETLAND BUFFER ZONE  
WATTLE EROSION CONTROL LINE  
CBDH DRILL HOLE IN CONCRETE BOUND  
BIT. BITUMINOUS  
CONC CONCRETE  
RET RETAINING  
EX EXISTING  
EXT EXTENSION  
TBR TO BE REMOVED  
C CHIMNEY  
L LANDING  
LS LANDSCAPE AREA  
P PATIO  
S STEPS  
**TREE ABBREVIATIONS**  
JM JAPANESE MAPLE  
O OAK



- NOTES:
- SOCK SIZE DEPICTED IS FOR GENERAL USE. GREATER SLOPES MAY REQUIRE LARGER SOCK.
  - COMPOST MATERIAL MAY BE DISPERSED ON SITE AT THE DISCRETION OF THE APPROVING AUTHORITY.
  - PRIOR TO SETTING THE SOCK REMOVE LOOSE LITTER, BRANCHES AND OTHER MATERIAL THAT MAY PREVENT THE SOCK FROM DIRECT CONTACT WITH SOIL.

WATTLE  
NOT TO SCALE



SITE ADDRESS:

51  
WOODMERE  
DRIVE

Sudbury, Massachusetts 01776

PREPARED FOR:

RICE  
BROTHERS  
CONSTRUCTION

80 Central Street  
Saugus, Massachusetts 01906

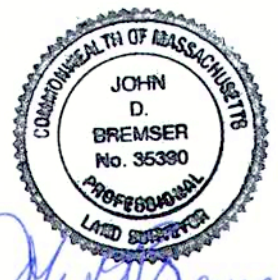
HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

Environmental  
Consultants

315 Elm Street, Marlborough, MA 01752  
Voice (508) 460-1111, Fax (508) 460-1121  
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John D. Bremser  
9-22-21

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
4	JDB	JDB	9/22/21	NOTE 17; FENO MARKERS
3	LMT	JDB	9/17/21	REVISE RESTORATION AREA
2	LMT	JDB	9/3/21	REVISE SEDIMENT CONTROL
1	JTL	JDB	8/18/21	ADD DEWATERING INFORMATION

DATE: 8/2/21 DRAWN BY: LMT  
SCALE: 1" = 20' CHECK BY: JDB

PROPOSED  
PLOT  
PLAN

PLOT DATE: Sep 22, 2021 2:42 pm

DWG: 25132-nol.dwg

LAYOUT: CO

SHEET: 1 OF 1

PROJECT NO.:

25132



PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE RICE	ROBERT E. RICE JR. MA. PE # 41346	1	9
DATE 6/16/21			
SHEET 1 OF 9			
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	GENERAL NOTES	SCALE 1/8" = 1'-0"	

GENERAL

THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND VERIFY ALL NOTES AND DIMESIONS CONTAINED W/IN THESE PLANS PRIOR TO BEFORE COMMENCING ANY CONSTRUCTION. DIMENSIONSON SHOWN ON THESE DOCUMENTS SHALL GOVERN OVER SCALING FROM PLANS DISCREPENCIES W/IN THESE PLANS SHALL BE DETERMINED BY THIS ENGINEER.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLING WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL BUILDING CODES. AS WELL AS ALL ELECTRICAL, SANITARY, MECHANICAL, AND ENERGY CODE RULES AND REGULATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES, METHODS, PHASING, AND TECHNIQUES.

ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION.

THE CONTRACTOR IS RESPONSIBLE FOR THE WORKMENSHP AND QUALITY OF ALL SPECIFIED MATERIALS INSTALLED ON THIS PROJECT.

THE CONTRACTOR SHALL NOTIFY THIS ENGINEER IF ADVERSE SITE CONDITIONS REQUIRING DEVIATIONS FROM THESE PLANS ARE ENCOUNTERED.

THE CONTRACTOR SHALL NOTIFY THIS ENGINEER IF DESIGN MODIFICATIONS ARE REQUIRED. ANY AS BUILT REVISIONS TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THIS ENGINEER AS SOON AS POSSIBLE.

EXCAVATION - FOUNDATION

THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BREAKING GROUND.

THE CONTRACTOR SHALL DETERIMINE FOOTING ELEVATIONS.

A MINIMUM OF 4'-0" SHALL BE MAINTAINED FROM THE BOTTOM OF ALL FOOTING TO FINISHED GRADE ELEVATION.

THE CONTRACTOR SHALL DETERMINE IF STEP FOOTINGS ARE REQUIRED.

ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED, NON-FROZEN GROUND.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL CONCRETE FOOTINGS, SLABS, AND PADS FROM FROST PENITRATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR METHOD OF PROTECTION IF REQUIRED.

THE CONTRACTOR SHALL PROPERLY BRACE ALL FOUNDATION WALLS PRIOR TO PLACING SUITABLE BACKFILL MATERIAL.

THE CONTRACTOR SHALL OUTLET FOOTING DRAIN BY GRAVITY WITH A MINIMUM SLOPE OF 0.5% GRADE.

IF DAYLIGHTING IS NOT POSSIBLE THE CONTRACTOR SHALL PROVIDE FOR A SUMP PIT OR BASEMENT PUMPING SYSTEM.

STRUCTURAL DESIGN CRITERIA

STRESS RATED FRAMING MEMBERS SHALL BE USED WHICH MEET OR EXCEED THE FOLLOWING SPECIFICATIONS. FAILURE TO USED SPCIFIED LUMBER MAY RESULT IN EXCESSIVE DEFLECTIONS.

ALL STRUCTURAL WOOD PRODUCTS SHALL BEAR THE MARK OF THE GRADING AGENCY HAVING JURSDICTION.

LUMBER

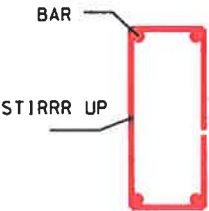
SPRUCE, PINE, FUR NO. 1 OR BETTER  
FB = 1000 PSI  
E= 1,400,000 PSI  
DEFLECTION = L/360

MANUFACTURED TRUSSES

ALL TRUSSES TO BE DESIGNED, CONSTRUCTED, ERECTED, BRACED AND FASTENED AS PER THE MANUFACTURERS SPECIFICATIONS. THE MANUFACTURER SHALL SUPPLY ALL MATERIAL CERTIFICATIONS TO LOCAL CODES. TRUSS MANUFACTURER SHALL ENSURE TRUSS CONSTRUCTION CAN ACCEPT INSULATION DEPTH DETAILED IN THESE PLANS.

EXTERIOR AND INTERIOR WALL HEADER REQUIREMENTS

SPAN	HEADER	JACK STUDS
3'-0"	(2) 2X6	1
4'-0"	(2) 2X8	2
5'-0"	(2) 2X10	2
6'-0"	(2) 2X12	2



4 BAR HEADER PATTERN

FRAMING

ALL EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C.  
ALL INTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C.  
DOUBLE FLOOR JOIST UNDER INTERIOR WALLS WHEN EVER POSSIBLE.  
ALL INTERIOR CIELING HIEGHTS SHALL BE 9'-0" UNLESS OTHERWISE NOTED.  
INTERIOR WALL FRAMING TO MATCH EXTERIOR WALL FRAMING

SHEETROCK - DRYWALL

1/2" DRYWALL ON ALL INTERIOR WALLS AND CEILINGS.  
1/2" WATER RESISTANT DRYWALL IN ALL BATHROOMS WITH SHOWERS OR TUBS.  
5/8" TYPE X FIRE RATED SHEET ROCK ON ALL GARAGE WALLS AND CEILINGS.

WINDOWS OWNER TO CHOOSE WINDOW MANUFACTURER.

AT LEAST ONE WINDOW IN ALL HABITABLE SPACE, EXCLUDING KITCHENS, SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQUARE FEET, WITH A MINIMUM DIMENSION OF 24" VERTICAL AND 20" HORIZONTAL.

THE BOTTOM WINDOW OPENING SHALL BE NO HIGHER THAN 3'-6" FROM FINISHED FLOOR.

ALL WINDOWS WITH BOTTOM OPENING 18" OR LESS FROM FINISHED FLOOR SHALL BE TEMPERED GLASS.

OWNER TO CHOOSE INDIVIDUAL WINDOWS MEETING ABOVE REQUIREMENTS

ALL WINDOWS AND DOORS SHALL MAINTAIN A MINIMUM OF 4% VENTILATIION AND 8% LIGHT.

SMOKE DETECTORS

IN EACH SLEEPING ROOM.

OUTSIDE OF EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. SMOKE DETECTORS SHALL BE INSTALLED ON EVERY FLOOR OF THE BUILDING, INCLUDING THE BASEMENT. ALL SMOKE DETECTORS SHALL BE WIRED TO THE ELECTRICAL SYSTEM AND WIRED TOGETHER FOR SIMULTANEOUS ACTIVATION OF ALL DETECTORS. BATTERY BACKUPS ARE REQUIRED.

ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

STAIRWAYS AND RAILINGS

ALL STAIRWAYS SHALL HAVE A MAXIMUM RISE OF 8-1/4" AND A CLOSED RISER WITH MINIMUM TREAD WIDTH OF 9" PLUS 1-1/8" NOSE.

STAIRWAYS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3'-0" MEASURED BETWEEN THE HANDRAILS.

STAIRWAY RAILINGS SHALL BE SET AT A HEIGHT 30"-36" MEASURED FROM TREAD NOSE.

STAIRWAYS CONSISTING OF TWO OR MORE TREADS SHALL REQUIRE A HANDRAIL

HEATING - ELECTRICAL - PLUMBING

ALL HEATING ELECTRICAL, PLUMBING, VENTILATION AND AIR CONDITIONING COMPONENTS OF THIS HOME SHALL BE DESIGNED BY OTHERS. THESE SYSTEMS SHALL MEET ALL APPLICABLE STATE, FEDERAL, LOCAL CODES RULES AND REGULATIONS.

EXECUTIVE LAW PROVIDES THAT ANY PERSON UTILIZING TRUSS TYPE CONSTRUCTION, PRE ENGINEERED WOOD OR TIMBER CONSTRUCTION FOR THE ERECTION OF A NEW RESIDENTIAL STRUCTURE, FOR ANY ADDITION TO AN EXISTING RESIDENTIAL STRUCTURE THAT AS A CONDITION OF THE FINAL RECIEPT OF A CERTIFICATE OF OCCUPANCYOR CERTIFICATE OF COMPLETION, A SIGN OR SYMBOL DESIGNATED AND APPROVED BY THE CODES COUNCIL SHALL BE AFFIXED TO ANY ELECTRICAL BOX ATTACHED TO THE EXTERIOR OF THE STRUCTURE.

MATERIALS

CONCRETE

COMPRESIVE STRENGTH SHALL BE 3000 PSI  
SLAB COMPRESIVE STRENGTH SHALL BE 3500 PSI  
AT 28 DAYS

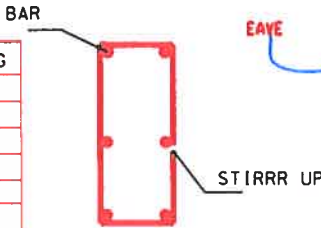
AIR ENTRAINMENT SHALL BE 5.0 % - 7.0 %

PROVIDE PROPER EXPANSION CONTRACTION AND CONTROL JOINTS.

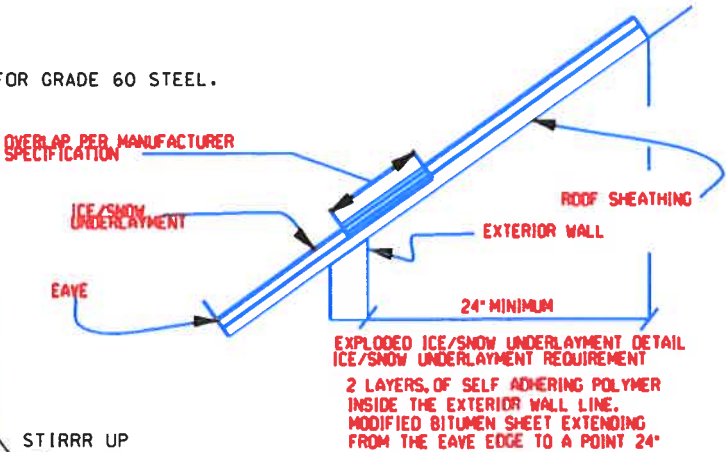
ALL REINFORCING STEEL SHALL MEET MINIMUM ASTM SPECIFICATIONS FOR A-615 FOR GRADE 60 STEEL.

EXTERIOR AND INTERIOR WALL HEADER REQUIREMENTS

SPAN	HEADER	STIRRUP SIZE	SPACING
3'-0" - 6'-0"	(4) # 4 BARS	#4	18"
6'-0" - 9'-0"	(4) # 5 BARS	#4	18"
9'-0" - 12'-0"	(4) # 6 BARS	#6	1'-0"
12'-0" - 15'-0"	(6) # 7 BARS	#6	1'-0"
15'-0" - 18'-0"	(6) # 8 BARS	#6	1'-0"
COVER 3" BOTTOM, 3" EXTERIOR 2" INTERIOR, 3" TOP			



6 BAR HEADER PATTERN



GENERAL CONDITIONS:

1. SCOPE OF WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH STATE AND LOCAL CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ENGINEER AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, AND APPROVALS.
4. WORKMANSHIP SHALL BE OF THE HIGHEST TYPE AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFIRM TO THE MANUFACTURERS SPECIFICATIONS.
5. GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ACTIVITIES.
6. THE MECHANICAL AND ELECTRIC TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THAT THE OTHER TRADES HAVE FINISHED.
7. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE FOR THEMSELVES ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT BEFORE SUBMITTING THEIR PROPOSAL.
8. OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONJUNCTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY COORDINATE EFFORTS.
9. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR CERTAIN ITEMS.
10. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DAILY REMOVAL OF ALL TRASH AND DEBRIS GENERATED BY THEIR ACTIVITY.
11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DESCREPARNCIES TO THE ENGINEER BEFORE PROCEEDING WITH THEIR WORK.
12. ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
13. GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED.
14. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES/DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
15. ALL WORK IS TO BE NEW UNLESS OTHERWISE NOTED.
16. ALL WALLS AND CEILINGS TO BE 5/8 IN FIRECODE OR 1/2 IN GYPSUM BOARD, 5/8 IN MOISTURE RESISTANT TYPE X OR 5/8 IN CEMENT BOARD. FINISH AND TEXTURE TO BE TO BE SELECTED BY OWNER. ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, OR PANELING.
17. CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
18. CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRIC LINES AND PIPES IN ADVANCE OF ANY TRENCHING. ANY DISCREPANCY IN THIS PLAN SHALL BE REPORTED TO THE ENGINEER. ALL NECESSARY APPROVALS AND PERMITS MUST BE OTBAINED FROM THE PROPER AUTHORITIES.

19. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, WALLS, CEILING, FLOORS, FURNITURE, AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED, AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACE AT NO ADDITIONAL COST TO OWNER.
20. GENERAL CONTRACTOR SHALL MAINTAIN AN UPDATED LIST OF SUBCONTRACTORS USED ON THE JOB WITH NAMES, ADDRESSES, AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER.
21. GENERAL CONTRACTOR MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
22. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPARNCIES ON THE DOCUMENTS.
23. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE, AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
24. FOR RENOVATION WORK ONLY, STRUCTURAL DRAWINGS WERE PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED, CONTACT ENGINEER IMMEDIATELY AS REVISIONS TO STRUCTURAL FRAMING MAY BE REQUIRED.

CONCRETE:

1. ALL CONCRETE WORK MUST BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF THE ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
2. CONCRETE SHALL HAVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED – 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER – 4000 PSI.
3. SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3"-5".
4. REINFORCING STEEL: TYPICAL – ASTM A615, GRADE 60. FIELD BENT – ASTM A615, GRADE 40. WELDED WIRE FABRIC – ASTM A185.

PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE RICE	ROBERT E. RICE JR.	2	9
DATE 6/16/21	MA, PE # 41346		
SHEET 2 OF 9			
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	GENERAL NOTES	SCALE 1/8" =1'-0"	



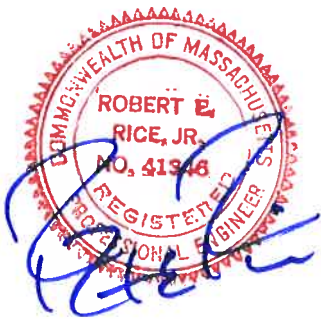


PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE RICE	ROBERT E. RICE JR.		
DATE 6/16/21	MA. PE # 41346		
SHEET 2A OF 9		2A	9
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	GENERAL NOTES	SCALE 1/8" = 1'-0"	

FOUNDATIONS:

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS ARE SUITABLE TO SUPPORT PROPOSED RENOVATIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE EXISTING FOUNDATION CONFORMS TO BUILDING CODE REQUIREMENTS AND REPORT FOOTING CONDITIONS TO ENGINEER FOR VERIFICATION.
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ENGINEER. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATION DUE TO FIELD CONDITIONS MUST BE APPROVED BY ENGINEER.
- FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
- BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 98% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
- BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON DRAWINGS.

- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONARY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.
- THE CONTRACTOR SHALL STRICTLY ADHERE TO THE MANUFACTURER'S FASTENING REQUIREMENTS AND VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
- UNLESS DETAILED OR OTHERWISE SPECIFIED ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED, OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT APPROVAL OF THE ENGINEER.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID WOOD VERTICAL BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITION WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
- MINIMUM BEAM BEARING TO BE 3 IN UNLESS NOTED OTHERWISE ON PLAN.



ROUGH CARPENTRY:

- ALL ROUGH CARPENTRY WORK MUST BE EXECUTED IN CONFORMANCE WITH LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE (MBC) AND THE INTERNATIONAL BUILDING CODE (IBC)
- REFER TO THE MBC AND IBC FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC AND IBC OR IN THESE DRAWINGS.
- REFER TO IBC FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 2304.9.1 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS.
- ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fb = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
- PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUNFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING AND WALL SHEATHING SHALL BE 1/2" THICK.

DESIGN LOADS PER MASSACHUSETTS BUILDING CODE:  
SUDBURY, MA

LIVE LOADS

GROUND SNOW LOAD	40 PSF
MINIMUM FLAT ROOF SNOW LOAD	35 PSF
DECK AREA	50 PSF
UNINHABITABLE ATTICS WITH STORAGE	20 PSF
HABITABLE ATTICS AND SLEEPING AREAS	30 PSF
ALL OTHER AREAS EXCEPT BALCONIES & DECKS	40 PSF

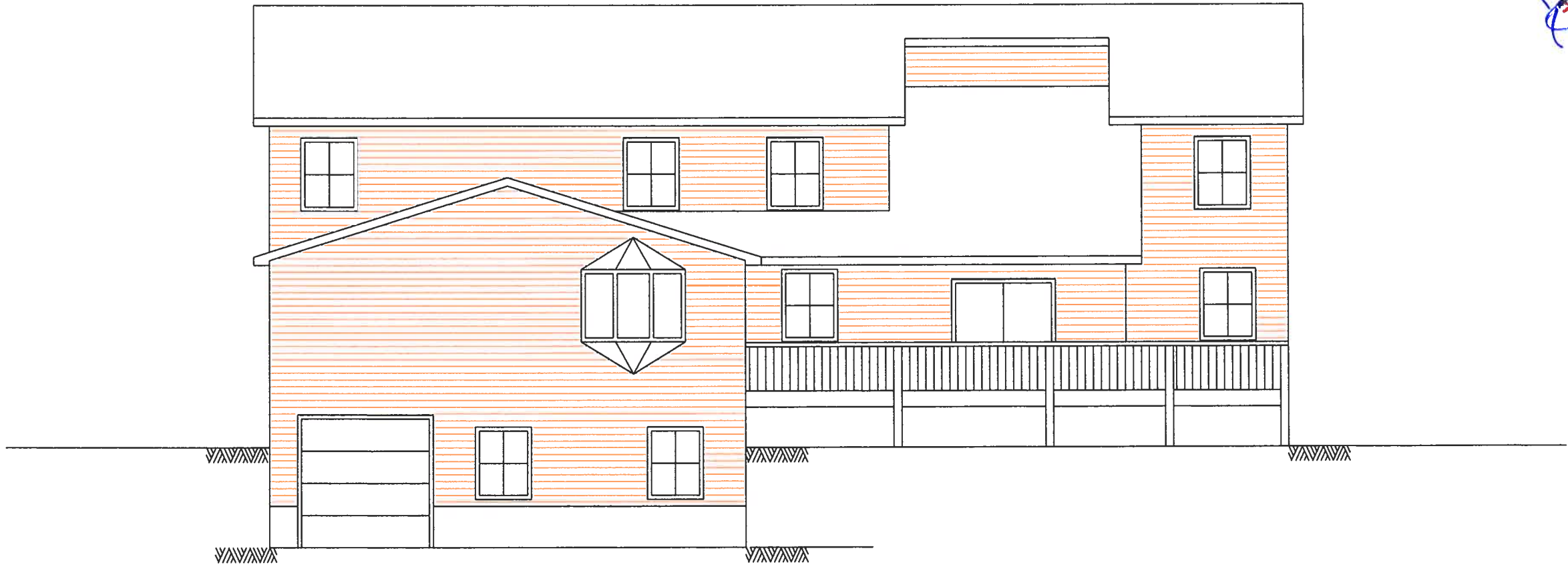
WIND LOADS

MASSACHUSETTS STATE BUILDING CODE	115 MPH
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DEAD LOADS

WEIGHTS OF MATERIAL AND CONSTRUCTION

PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE	RICE	ROBERT E. RICE JR.	
DATE	6/16/21	MA. PE # 41346	
SHEET	3 OF 9	3	9
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	REAR ELEVATION	SCALE 1/8" = 1'-0"	

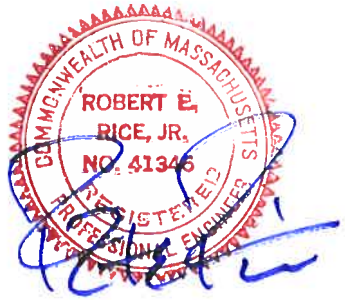


REAR ELEVATION

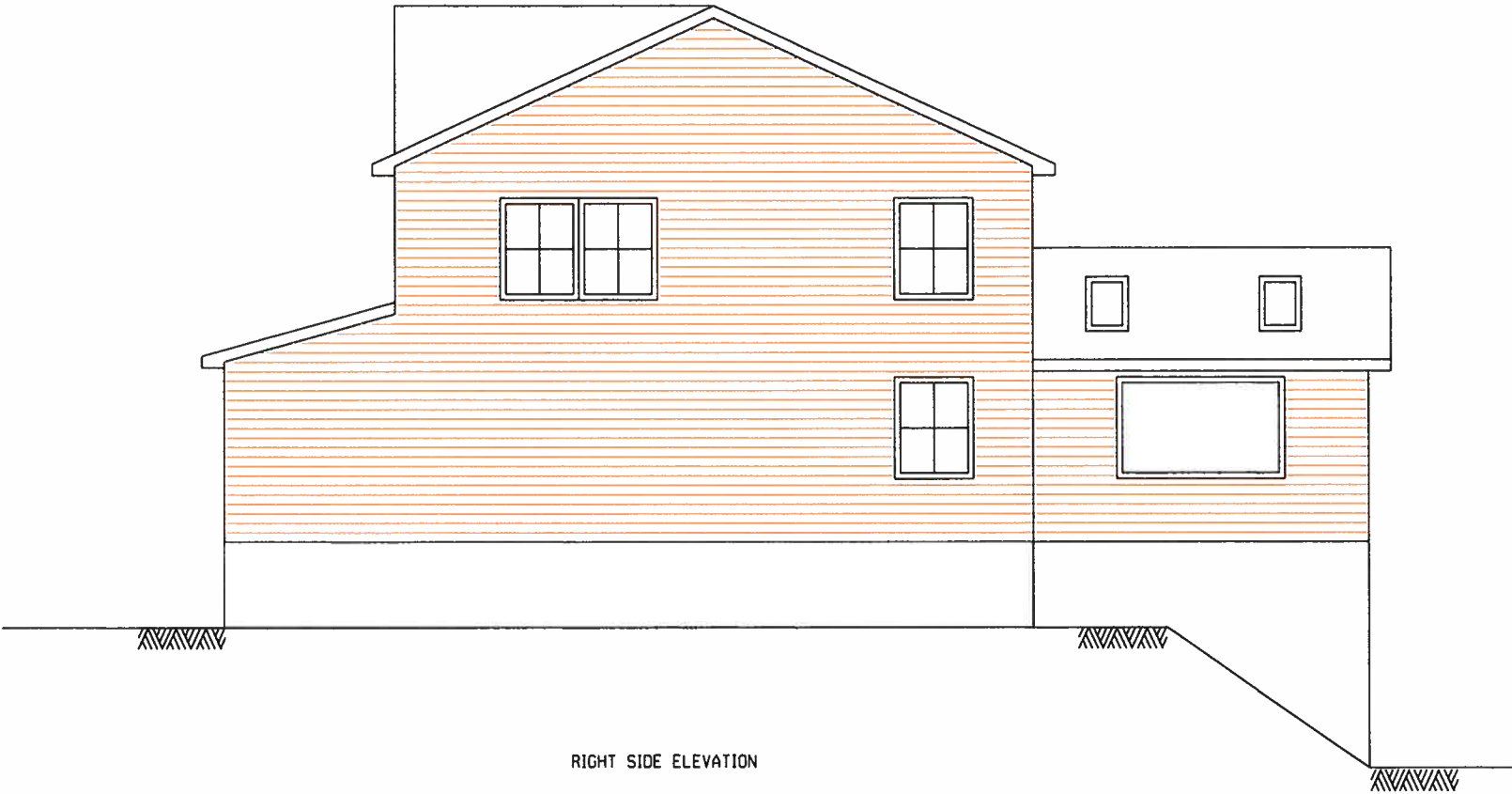
PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE	RICE	ROBERT E. RICE JR.	
DATE	6/16/21	MA, PE # 41346	
SHEET	4 OF 9	4	9
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	LEFT SIDE ELEVATION VIEW	SCALE 1/8" = 1'-0"	



LEFT SIDE ELEVATION VIEW

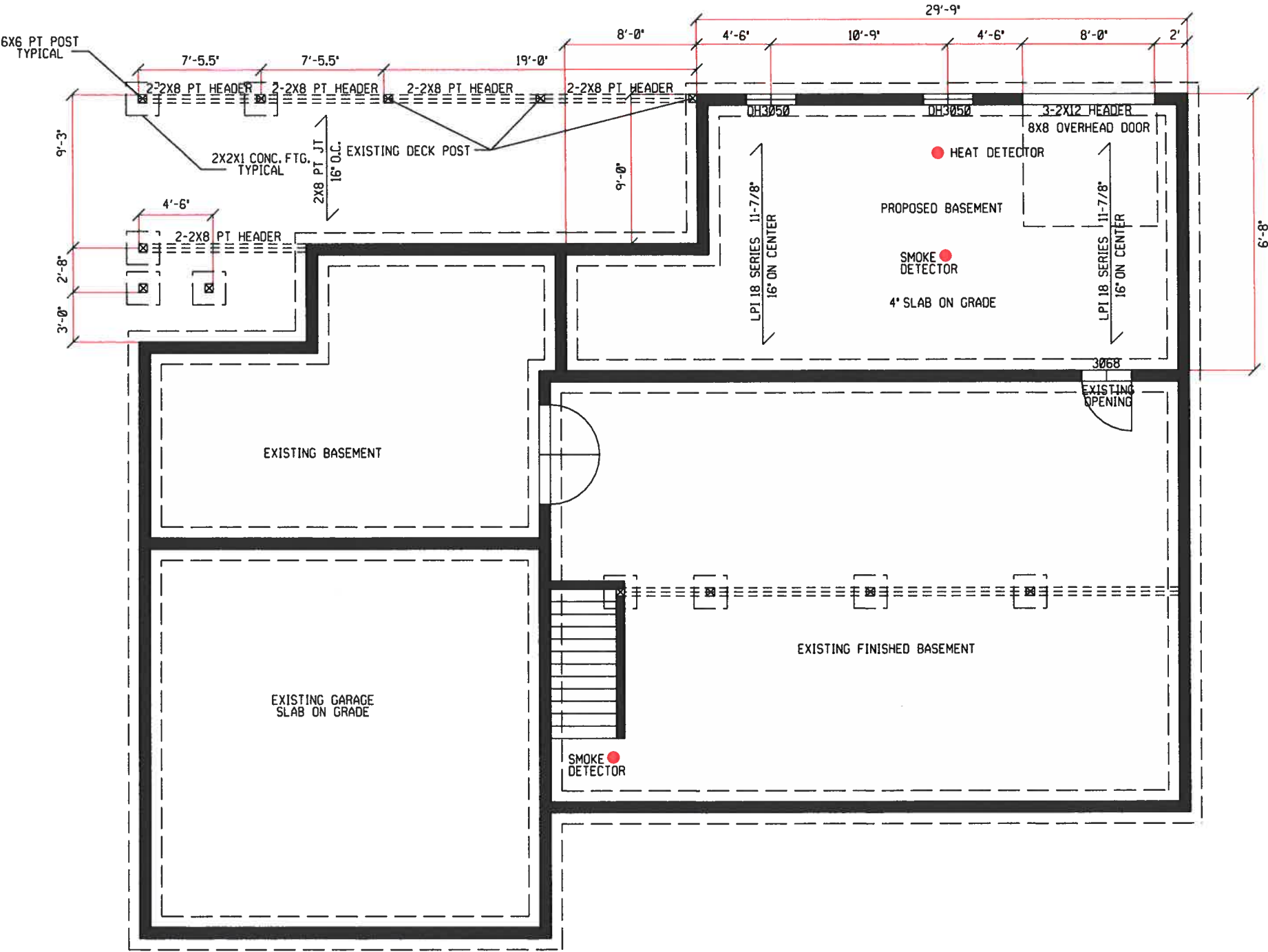


PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE RICE	ROBERT E. RICE JR.	5	9
DATE 6/16/21	MA, PE # 41346		
SHEET 5 OF 9			
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	RIGHT SIDE ELEVATION	SCALE 1/8" = 1'-0"	



- NOTES:
- 1. DOORS AND WINDOW MANUFACTURER SHALL BE DETERMINED BY OWNERS.
  - 2. DOORS AND WINDOW HEADERS TO BE AS SHOWN ON DWG. NO. 2 OF 129.
  - 3. SEE DRAWING NUMBERS 9 FOR TYPICAL SECTIONS
  - 4. WINDOW STYLE TO BE DETERMINED BY OWNERS.

PROJECT NO.	FILE	RICE	ROBERT E. RICE JR.	SHEET NO.	TOTAL SHEETS
	DATE	6/16/21	MA. PE # 41346	6	9
	SHEET 6 OF 9				
REVISION					
OWNER	JAI BEDROOM ADDITION				
ADDRESS	51 WOODMERE DRIVE				
ADDRESS	SUDBURY MA.				
DESCRIPTION	PROPOSED ADDITION				
DESCRIPTION	EXISTING FOUNDATION PLAN			SCALE 1/8" = 1'-0"	



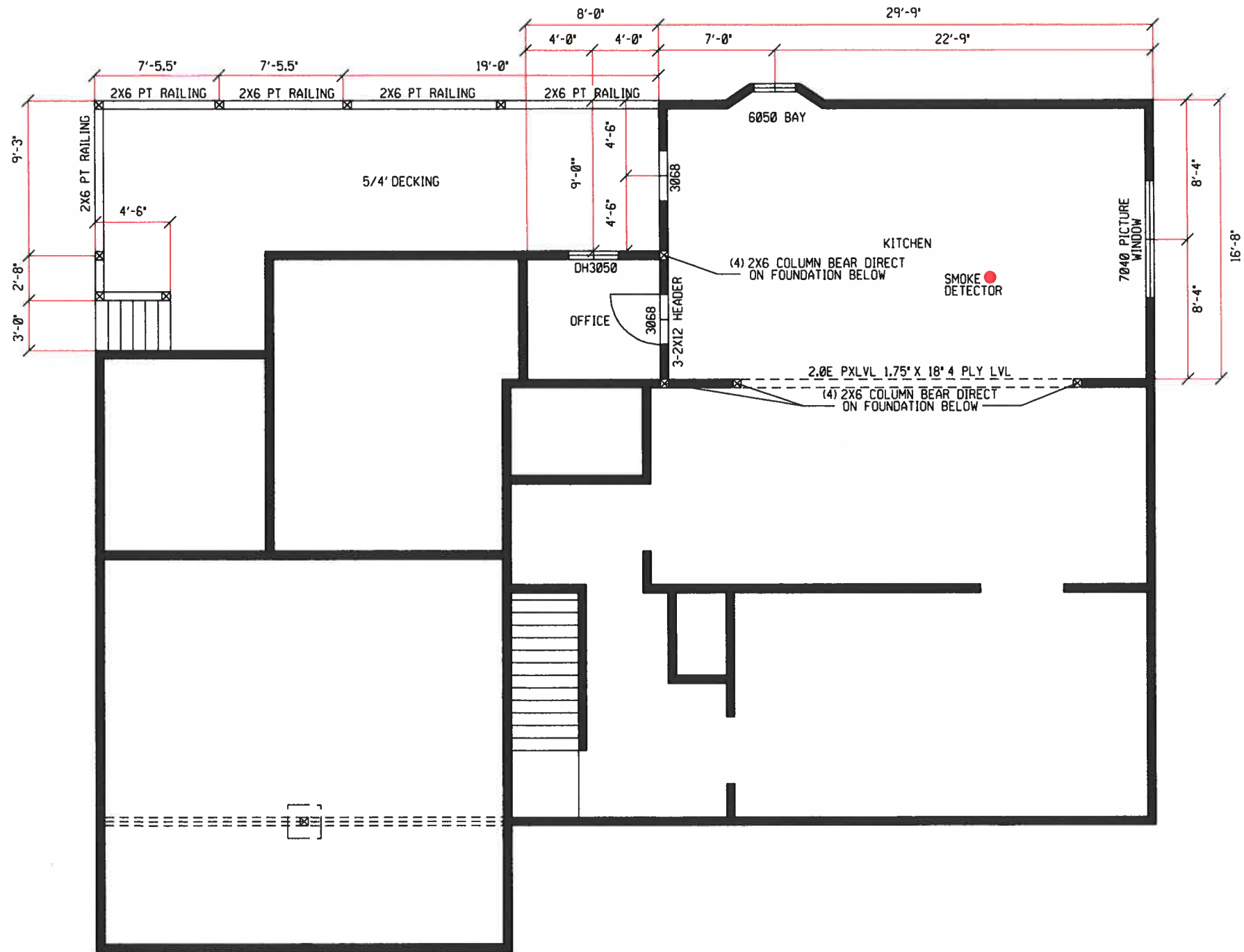
EXISTING FOUNDATION PLAN



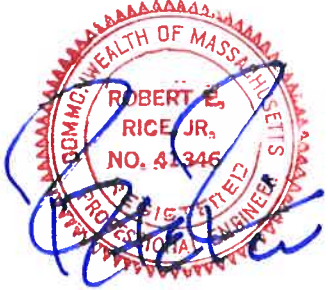


- NOTES:
- 1. DOORS AND WINDOW MANUFACTURER SHALL BE DETERMINED BY OWNERS.
  - 2. DOORS AND WINDOW HEADERS TO BE AS SHOWN ON DWG. NO. 2 OF 9.
  - 3. SEE DRAWING NUMBERS 9 FOR TYPICAL SECTIONS
  - 4. WINDOW STYLE TO BE DETERMINED BY OWNERS.

PROJECT NO.	FILE	RICE	ROBERT E. RICE JR.	SHEET NO.	TOTAL SHEETS
DATE	6/16/21		MA, PE # 41346	7	9
SHEET 7 OF 9					
REVISION					
OWNER	JAI BEDROOM ADDITION				
ADDRESS	51 WOODMERE DRIVE				
ADDRESS	SUDBURY MA.				
DESCRIPTION	PROPOSED ADDITION				
DESCRIPTION	EXISTING FIRST FLOOR			SCALE 1/8" = 1'-0"	



EXISTING FIRST FLOOR

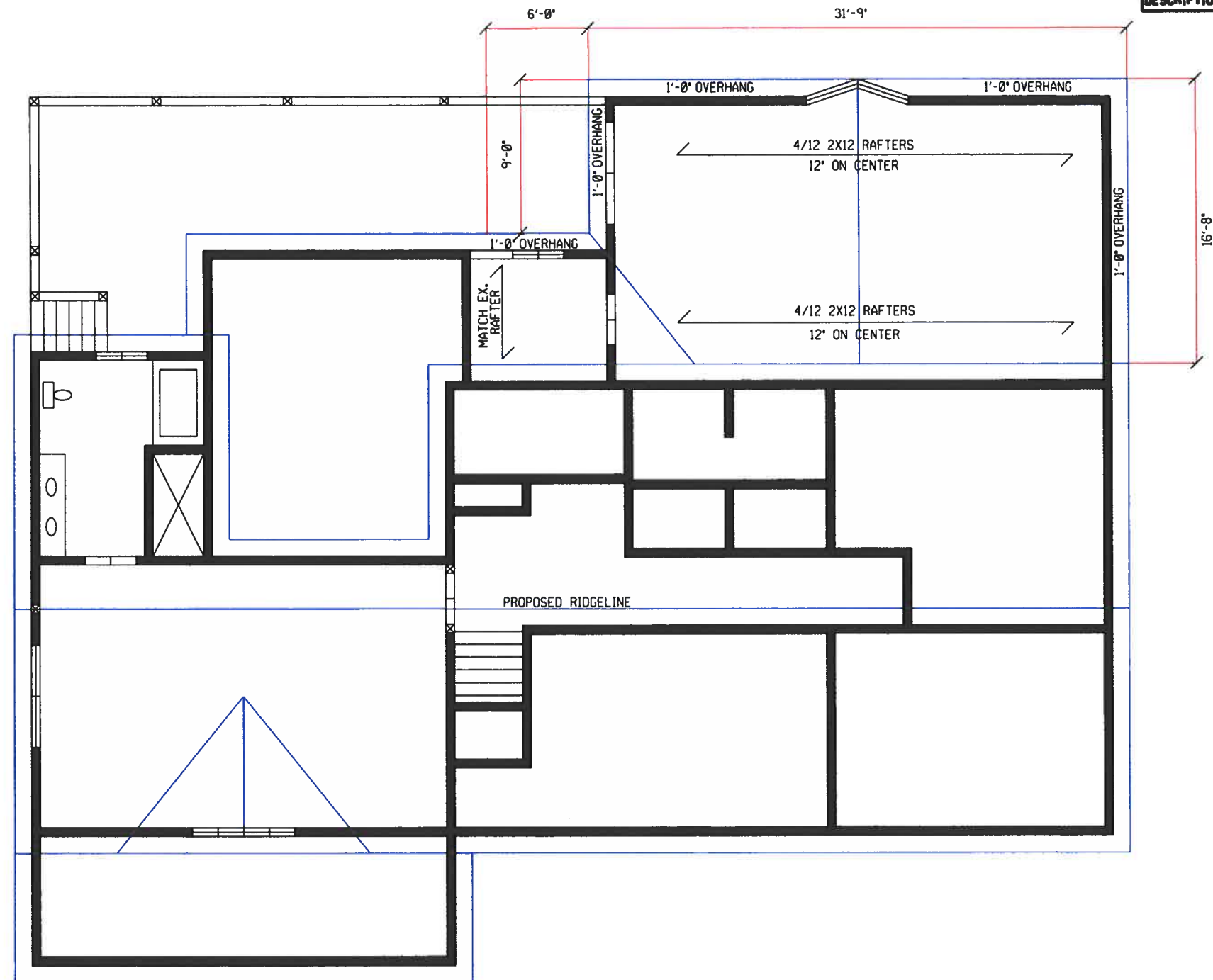




NOTES:

1. DOORS AND WINDOW MANUFACTURER SHALL BE DETERMINED BY OWNERS.
2. DOORS AND WINDOW HEADERS TO BE AS SHOWN ON  
DWG. NO. 2 OF 9.
3. SEE DRAWING NUMBERS 9 FOR TYPICAL SECTIONS
4. WINDOW STYLE TO BE DETERMINED BY OWNERS.

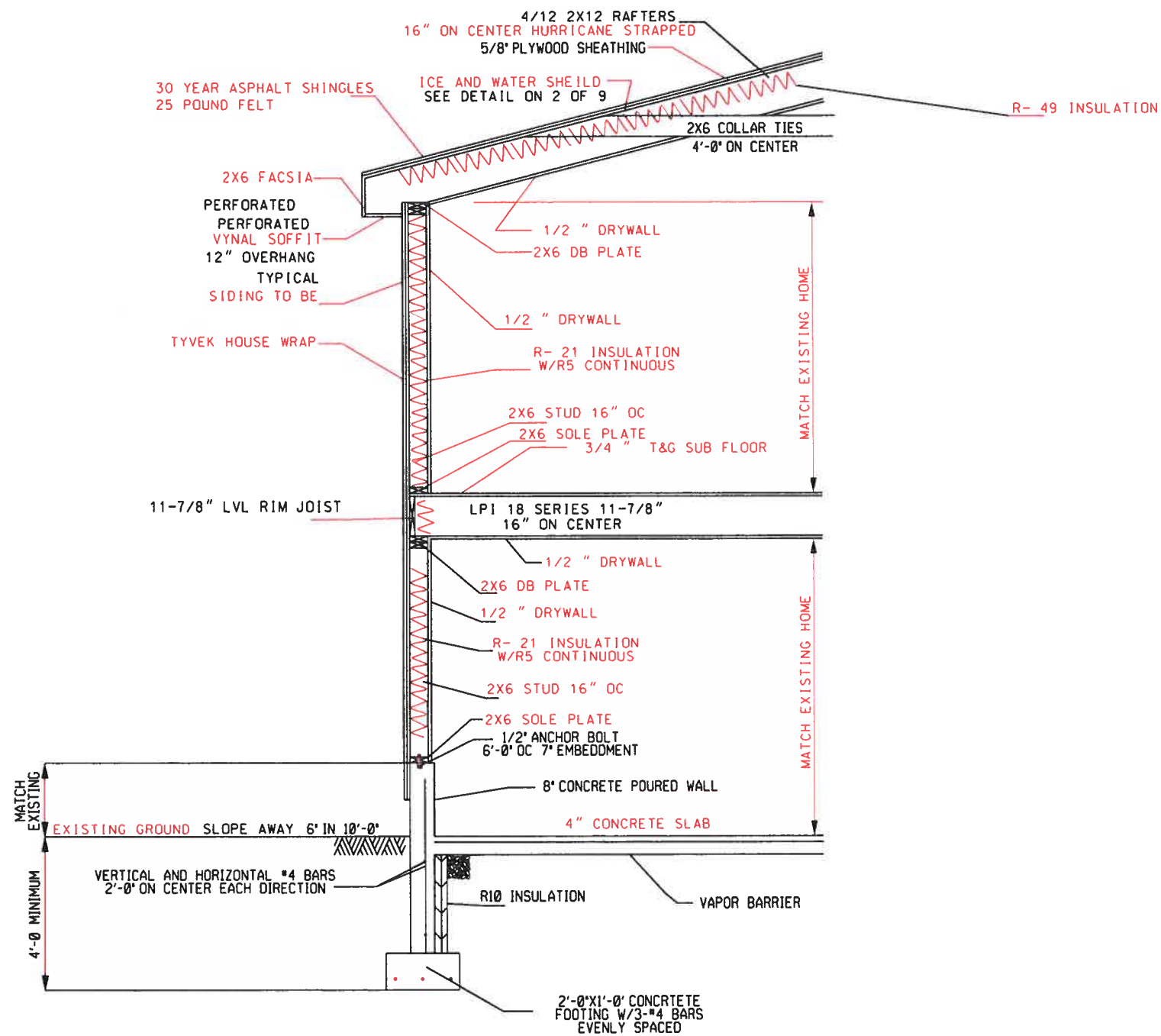
<b>PROJECT NO.</b>		ROBERT E. RICE JR. MA, PE # 41346	<b>SHEET NO.</b>	<b>TOTAL SHEETS</b>
<b>FILE</b>	RICE		8	9
<b>DATE</b>	6/16/21			
<b>SHEET</b>	8 OF 9			
<b>REVISION</b>				
<b>OWNER</b> JAI BEDROOM ADDITION				
<b>ADDRESS</b> 51 WOODMERE DRIVE				
<b>ADDRESS</b> SUDBURY MA.				
<b>DESCRIPTION</b> PROPOSED ADDITION				
<b>DESCRIPTION</b> ROOF PLAN VIEW			SCALE 1/8" = 1'-0"	



THIRD FLOOR PLAN VIEW



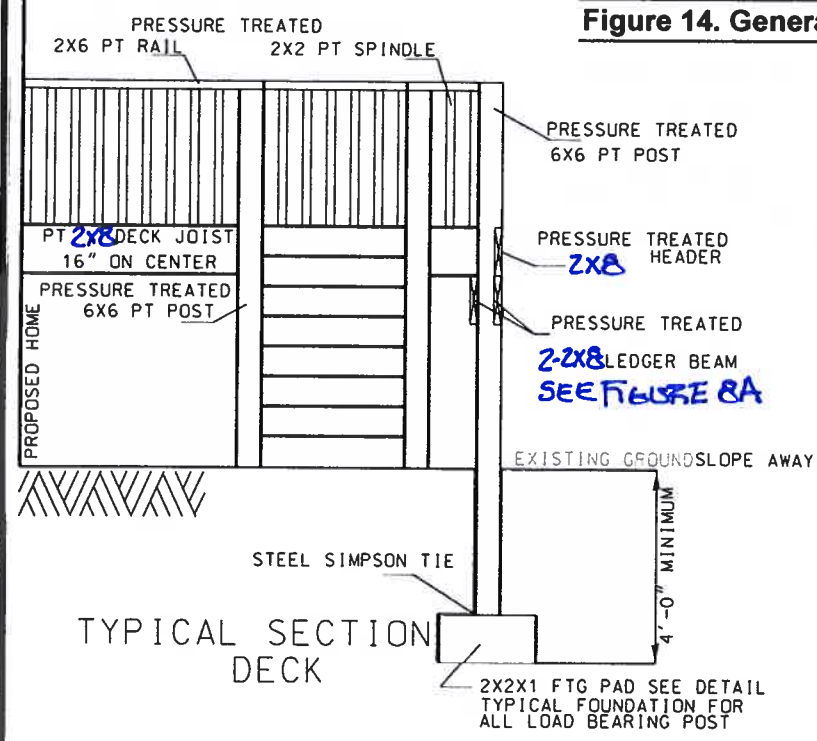
PROJECT NO.		SHEET NO.	TOTAL SHEETS
FILE	RICE	ROBERT E. RICE JR. MA. PE # 41346	9
DATE	6/16/21		9
SHEET	9 OF 9		
REVISION			
OWNER	JAI BEDROOM ADDITION		
ADDRESS	51 WOODMERE DRIVE		
ADDRESS	SUDBURY MA.		
DESCRIPTION	PROPOSED ADDITION		
DESCRIPTION	TYPICAL SECTION	NOT TO SCALE	



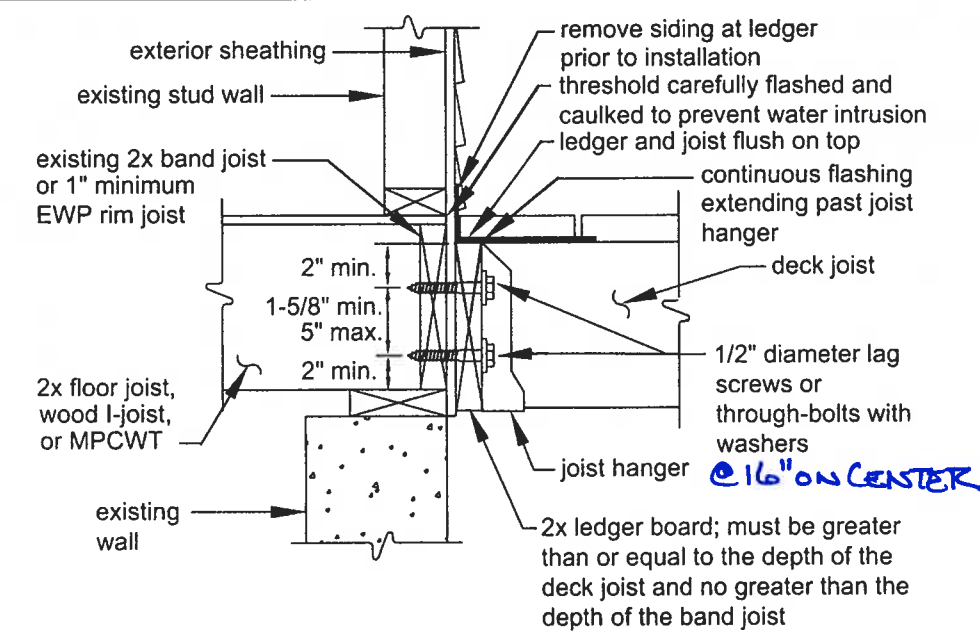
TYPICAL SECTION  
PROPOSED ADDITION



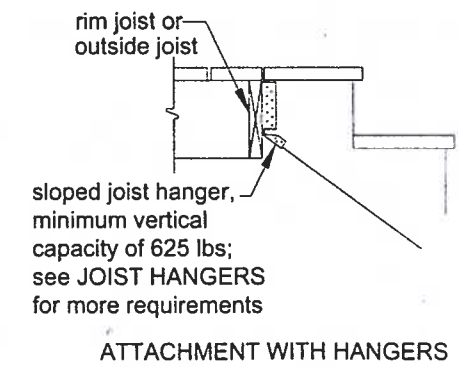




**Figure 14. General Attachment of Ledger Board to Band Joist or Rim Joist.**



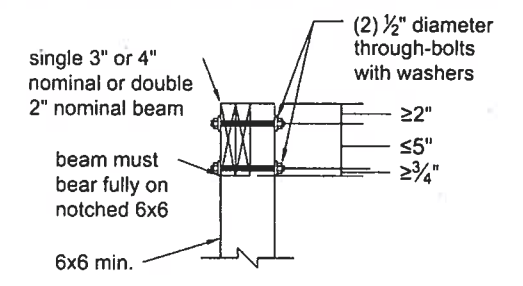
**Figure 31. Stair Stringer Attachment Detail.**



11.

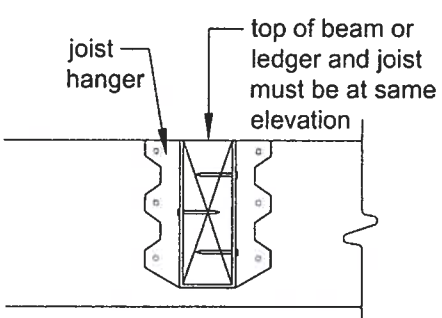
PROJECT NO.		ROBERT E. RICE JR. MA. PE # 41346	SHEET NO.	TOTAL SHEETS
FILE	RICE		9A	9
DATE	6/16/21			
SHEET	9A OF 9			
REVISION				
OWNER		JAI BEDROOM ADDITION		
ADDRESS		51 WOODMERE DRIVE		
ADDRESS		SUDBURY MA.		
DESCRIPTION		PROPOSED ADDITION		
DESCRIPTION		DECK DETAILS	SCALE 1/8" = 1'-0"	

**Figure 8A. Post-to-Beam Attachment Requirements.**

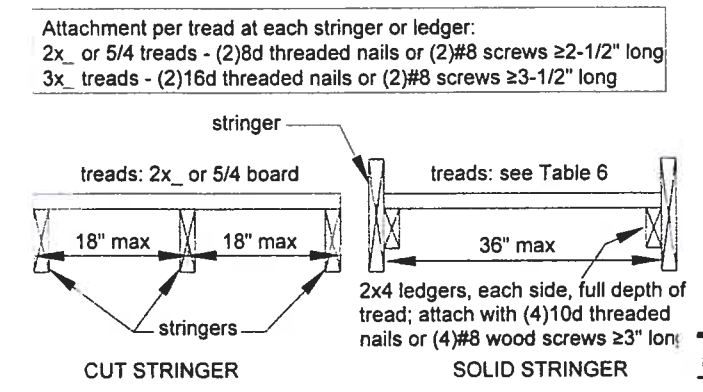


**Figure 27. Tread and Riser Detail.**

**Figure 6. Joist-to-Beam Detail.**

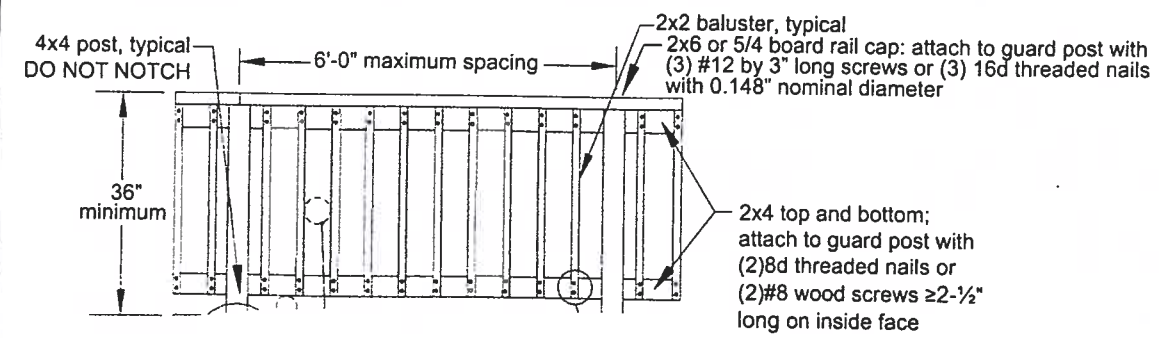


**Figure 29. Tread Connection Requirements.**

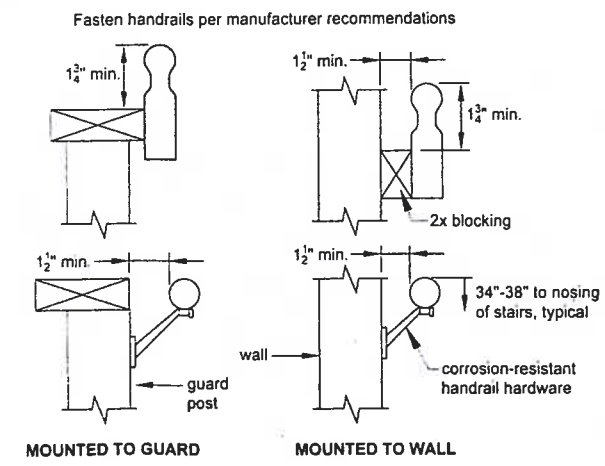


**Figure 30. Stair Guard Requirements.**

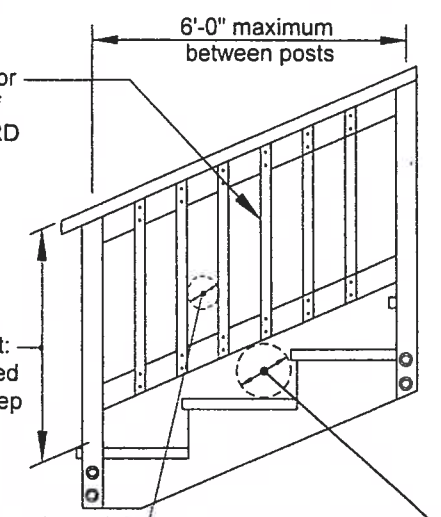
**Figure 24. Example Guard Detail.**



**Figure 32A. Handrail Mounting Examples.**



stair guard is required for stairs with a total rise of 30" or more; see GUARD REQUIREMENTS for more information



Openings for required guards on the sides of stair treads shall not allow a sphere 4-3/8" to pass through.

Triangular opening shall not permit the passage of a 6" diameter sphere.