

File

**NOTICE OF PUBLIC MEETING  
SUDBURY CONSERVATION COMMISSION**

The Sudbury Conservation Commission will hold a public meeting to review the state and local bylaw Wetlands Request for Determination of Applicability for tree removal at 4 Dawson Dr., Sudbury MA; Susan Berry, applicant

The meeting will be held Monday, Sept. 10, 2018 at 6:45pm in the DPW Facility 275 Old Lancaster Rd., Sudbury MA. Copies of the filing may be reviewed at the office during business hours.

SUDBURY CONSERVATION COMMISSION  
Aug. 16, 2018



**WPA Form 1- Request for Determination of Applicability**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. General Information**

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Susan Berry  
Name namaberry@gmail.com  
E-Mail Address

4 Dawson Drive  
Mailing Address

Sudbury  
City/Town MA  
State 01776  
Zip Code

978-618-1686  
Phone Number Fax Number (if applicable)

2. Representative (if any):

Firm \_\_\_\_\_

Contact Name E-Mail Address

Mailing Address \_\_\_\_\_

City/Town State Zip Code

Phone Number Fax Number (if applicable)

**B. Determinations**

1. I request the Conservation Commission make the following determination(s). Check any that apply:  
Conservation Commission

a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.

b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.

c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.

d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Sudbury  
Name of Municipality

e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).  
n/a tree removal

\_\_\_\_\_

\_\_\_\_\_



**WPA Form 1- Request for Determination of Applicability**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**C. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

4 Dawson Drive \_\_\_\_\_ Sudbury \_\_\_\_\_  
Street Address \_\_\_\_\_ City/Town \_\_\_\_\_  
M10-0601 \_\_\_\_\_  
Assessors Map/Plat Number \_\_\_\_\_ Parcel/Lot Number \_\_\_\_\_

- b. Area Description (use additional paper, if necessary):

Banks on both sides of a stream eroded by a runoff from a holding tank in the adjacent property in Framingham. Gully created is approximately 19' wide, running across a wooded area in the back of the property approximately 55' from the back of the dwelling. Existing trees are being undermined, collapsing into the stream, and destabilizing the banks.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- c. Plan and/or Map Reference(s):

Maps Online (see attached)	
Title _____	Date _____
Title _____	Date _____
Title _____	Date _____

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Remove 6 trees (marked 1-6 on the attached map) that have been compromised by the erosion of the banks. (Photos attached)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

n/a

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

Assessor's records - built in 1960.



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Susan Berry, Deborah Flagg, James Berry, and Molly Berry

Name

4 Dawson Drive

Mailing Address

Sudbury

City/Town

MA

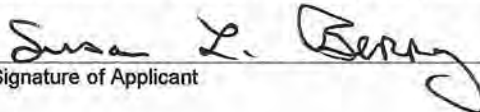
State

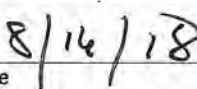
01776

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

  
Signature of Applicant

  
Date

Signature of Representative (if any)

Date



M09-0619

DAWSON DR

JOAN AVE

M09-0623

M10-0602

#24

M10-0601

M10-0000

M10-0235

M10-0236



- Town Boundary
- Parcels
- Parcels With Ortnos
- Parcels With Ortnos
- Parcels
- Hydrants
- Signs
- Curb
- Abandoned Railroad
- Drains
- Culverts
- Dams
- Drainage Ditches
- Headwalls
- Buildings
- Roads
- Paved
- Unpaved
- Medians
- Driveways
- Streams
- Open Water
- Adjoining Towns

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 47 94 ft



1



2

3







4

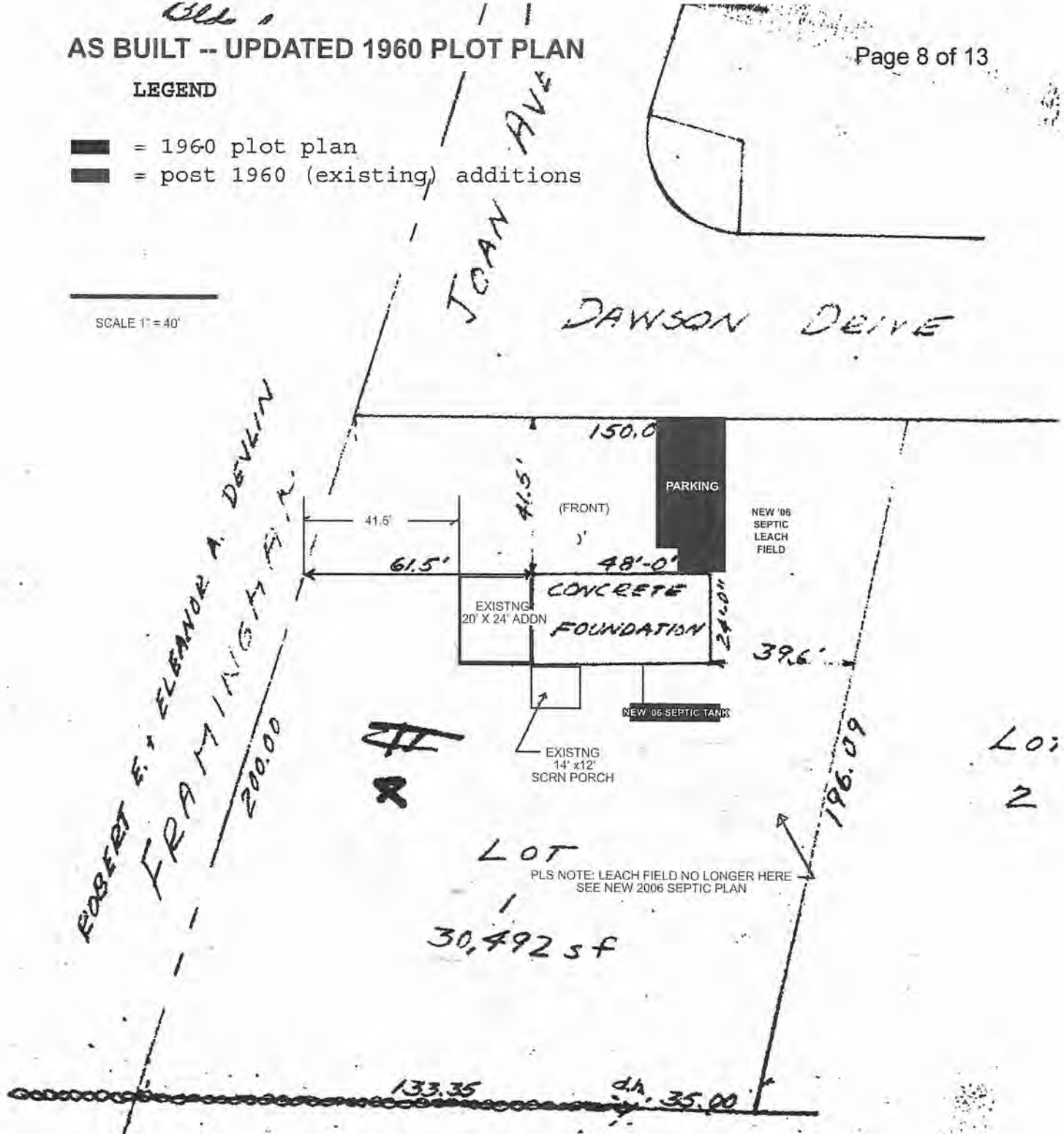
5

AS BUILT -- UPDATED 1960 PLOT PLAN

LEGEND

-  = 1960 plot plan
-  = post 1960 (existing) additions

SCALE 1" = 40'



ROBERT E. + ELEANOR A. DEVLIN  
FRAMING F.R.  
200.00

LOT 1  
30,492 sf

LOT 2

JULIA A. ANES

PLOT PLAN OF LAND  
IN  
SUDBURY MASS.

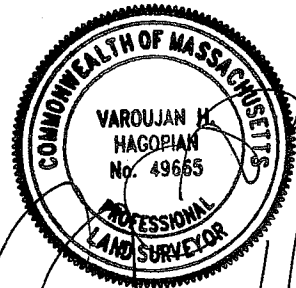
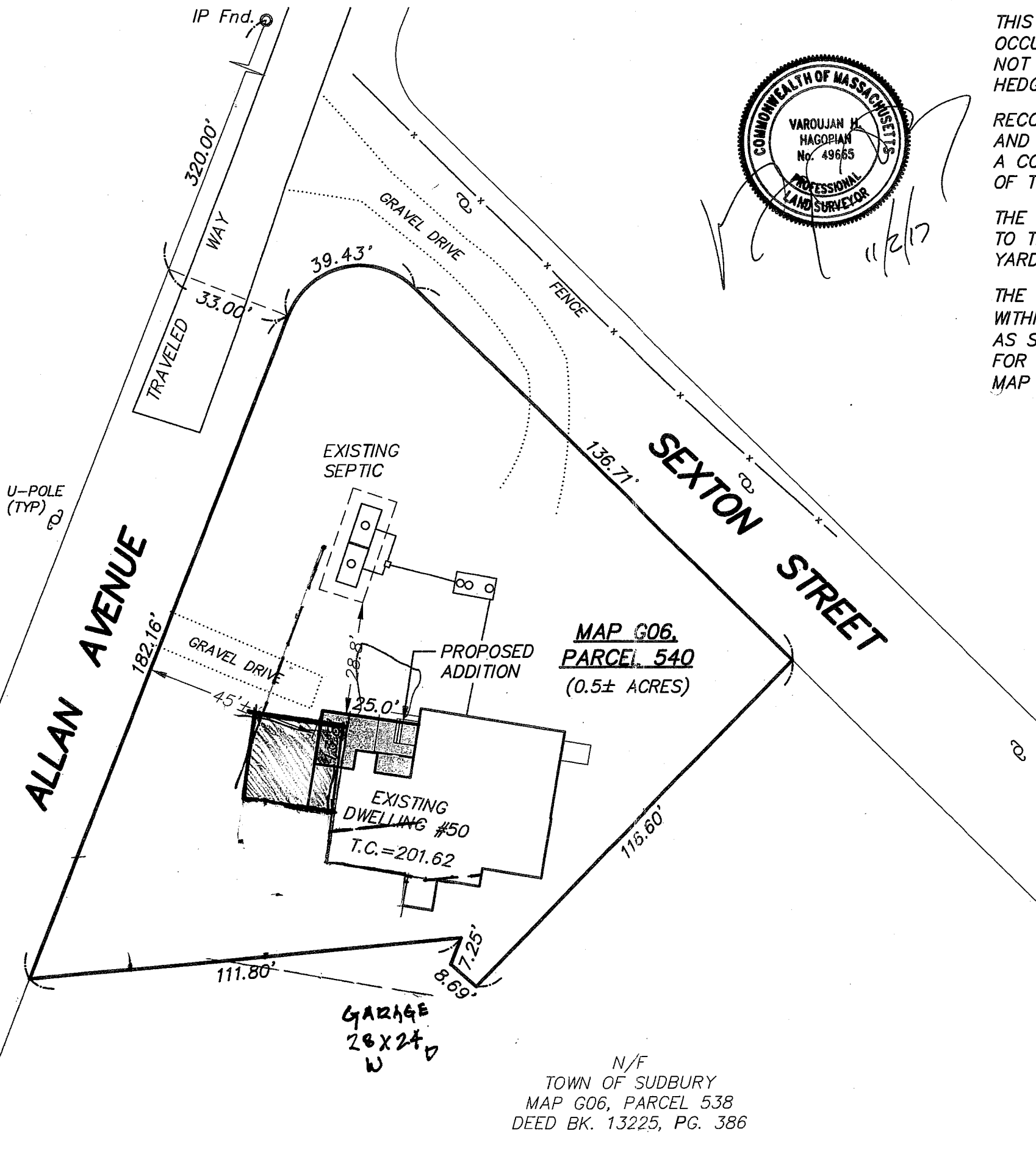
R.E. DEVLIN C.E.  
August 1960

24 Saxony Road, Saxonyville  
Scale 1" = 40'





PLAN No. 909



THIS PLOT PLAN IS PREPARED FROM LINES OF OCCUPATION. THE TIES TO THE LOT LINES ARE NOT TO BE USED IN THE SETTING OF FENCES, HEDGES, ETC.

RECORD PLAN DOES NOT PROVIDE COMPLETE METES AND BOUNDS. LOT LINES HAVE BEEN PLOTTED FROM A COMBINATION OF FIELD MEASUREMENTS AND SCALING OF THE RECORD PLAN.

THE PROPOSED ADDITION SHOWN HEREON CONFORMS TO THE CURRENT TOWN OF SUDBURY HORIZONTAL YARD SETBACK REQUIREMENTS.

THE DWELLING SHOWN HEREON IS NOT LOCATED WITHIN THE 100 YEAR FEDERAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE TOWN OF SUDBURY, PANEL 364 OF 656, MAP NUMBER 25017C0364F, DATED JULY 7, 2014.

ZONED: RESIDENCE A  
 AREA = 40,000 sf  
 FRONTAGE = 180 feet  
 SETBACKS: FRONT = 40 feet  
 SIDE = 20 feet  
 REAR = 30 feet

PREPARED FOR:  
 ELLEN ATTALIADES & JAMES RYAN  
 50 ALLAN AVENUE  
 SUDBURY, MA 01776

DATE: NOV. 2, 2017 SCALE: 1"=40'

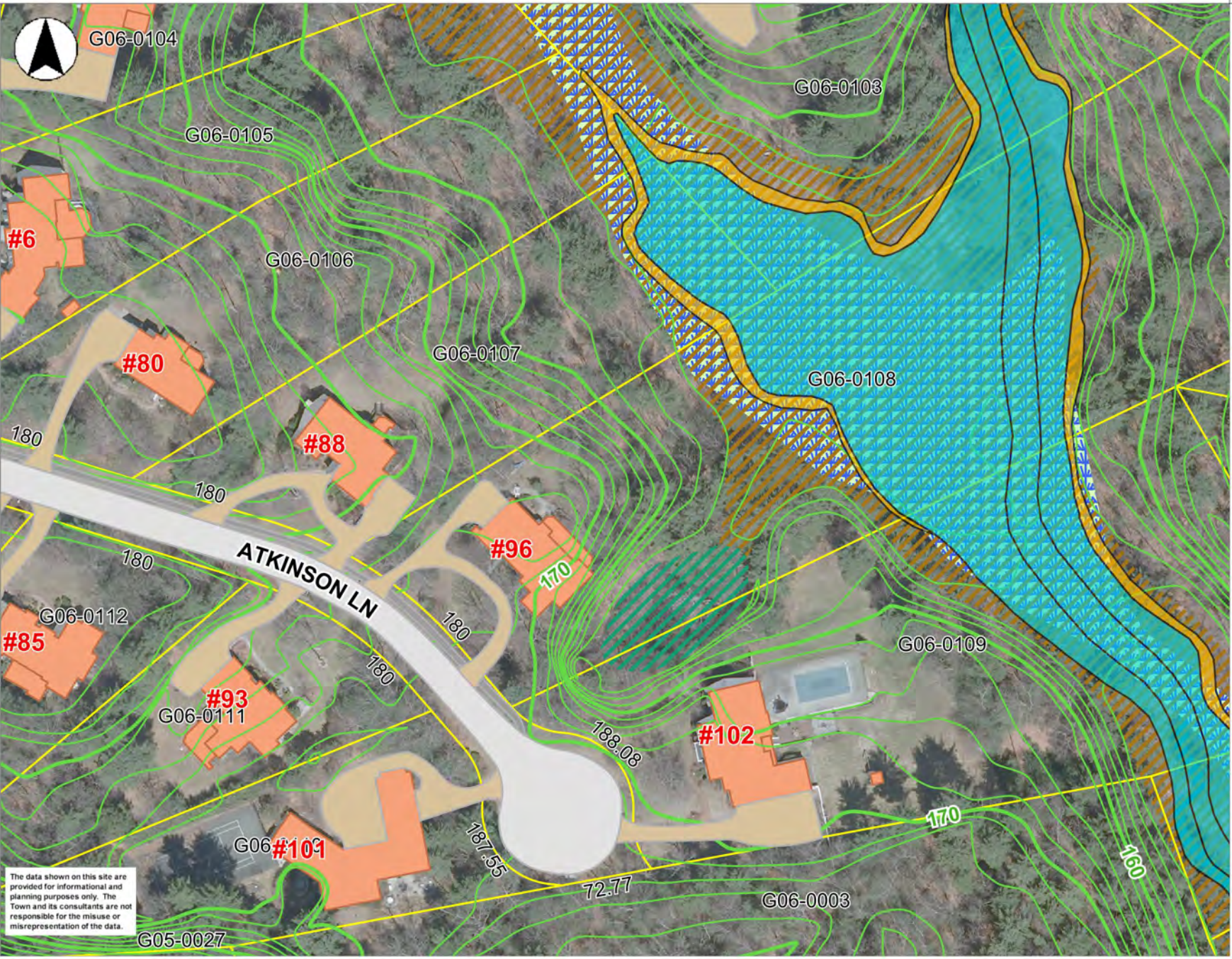
**PROPOSED ADDITION PLAN**

**50 ALLAN AVENUE  
 SUDBURY, MA**

**SULLIVAN, CONNORS  
 & ASSOCIATES**

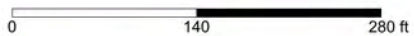
LAND SURVEYING AND CIVIL ENGINEERING  
 121 BOSTON POST RD. SUDBURY, MA. 01776

N/F  
 TOWN OF SUDBURY  
 MAP G06, PARCEL 538  
 DEED BK. 13225, PG. 386



- FEMA National Flood Hazard
  - 1% Annual Chance Flood
  - 0.2% Annual Chance Flood
  - Area of Undetermined Flood Hazard
- Bridges
- Driveways
- Parking Lots
- Medians
- Sidewalks
- Curbs
- Roads
  - Paved Roads
  - UnPaved Roads
- Index Contours
- Intermediate Contours
- Parcels with Orthos
- Scenic Roads
- Wetlands Town 2008
  - Open Water
  - Deep Marsh
  - Shallow Marsh/Meadow
  - Bog
  - Shrub Swamp
  - Wooded Swamp Deep
  - Wooded Swamp Corridor
  - Wooded Swamp Mixed
- Wetlands DEP 1/2009
  - Marsh/Bog
  - Wooded marsh
  - Open Water
  - Reservoir (with PWS)
  - Streams Ortho
  - Streams CIR
  - Lake/Reservoir
- Buildings
- MA Highways
  - Interstate
  - US Highway
  - Numbered Routes
- Town Boundary

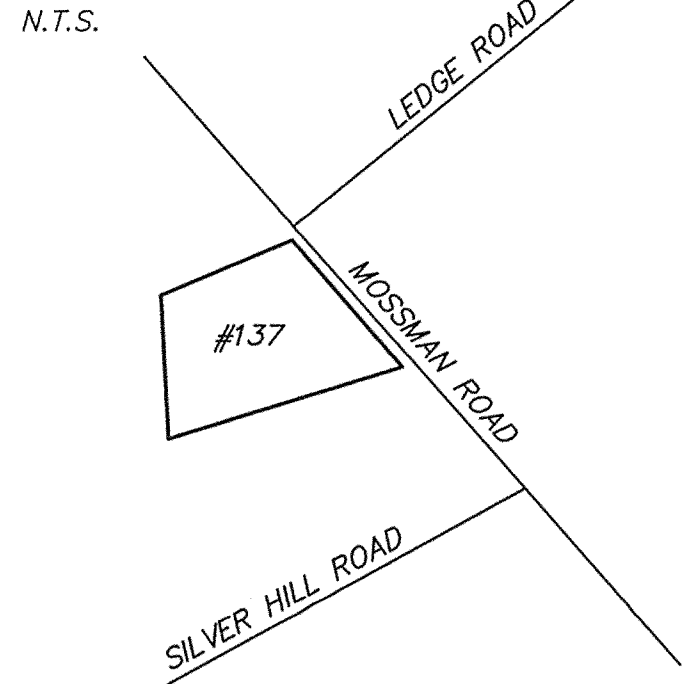
The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



Printed on 09/10/2018 at 02:19 PM

MapsOnline

**LOCUS MAP**



**SCHEDULE OF ELEVATIONS**

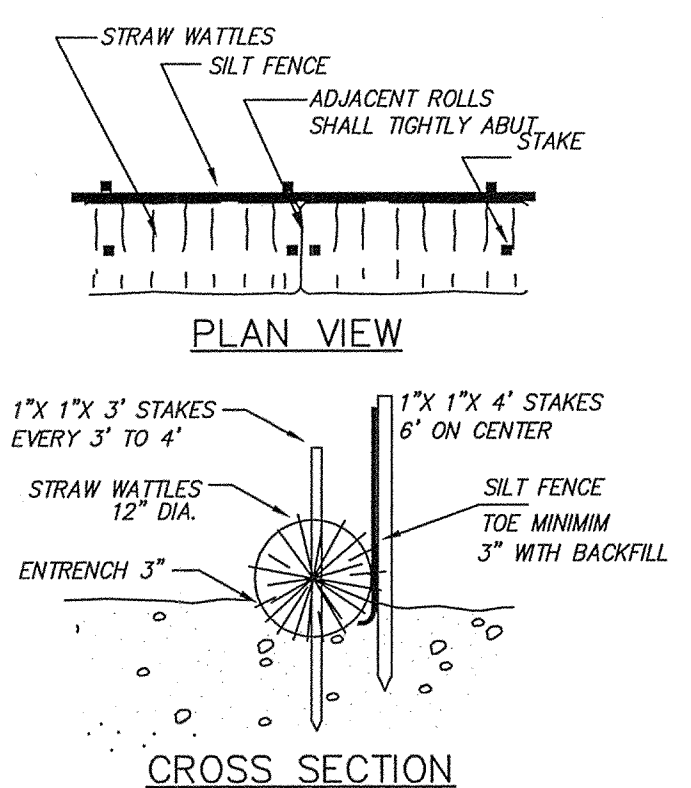
TOP OF FOUNDATION T.C. =	198.0
BASEMENT FLOOR FIN. C.F. =	190.5
INVERT OF PIPE AT FOUNDATION =	195.6
INVERT AT SEPTIC TANK INLET =	194.9
INVERT AT SEPTIC TANK OUTLET =	194.7
INVERT AT DISTRIBUTION BOX INLET =	194.5
INVERT AT DISTRIBUTION BOX OUTLET =	194.3
INVERT AT LEACHING LINES (BEGINNING) =	194.1
INVERT AT LEACHING LINES (END) =	193.9
ELEVATION OF TRENCH BOTTOM =	191.9
FINISH GRADE OVER LEACHING AREA =	196±

**DESIGN CRITERIA**

- ESTIMATED FLOW = 4 BDRMS X 110 GPD/BR=440 GPD
- DESIGN PERCOLATION RATE = 15 MPI
- LEACHING AREA CALCULATION =  
LOCAL BYLAWS 170 S.F. OF SIDEWALL AREA/BEDROOM = 680 S.F. REQ'D.  
SA=8(2'X4') = 688 SF > 1032 SF(0.56 GPD/SF)=577 GPD  
BA=4(2'X4') = 344 SF

**SEDIMENTATION AND EROSION CONTROL NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF SUDBURY STORMWATER MANAGEMENT BYLAW AND IMPLEMENTING REGULATIONS.
- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION OCCURS, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR, AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE PREPARED TO ALLOW WORK TO WAIT A DAY OR TWO AFTER RAIN EVENTS TO ALLOW SURFACE SOILS TO DRY.
- SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION. A SEDIMENT BARRIER SHALL BE PLACED AROUND THE BASE OF THE PERIMETER. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED. EQUIPMENT SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.
- DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. DISTURBED AREAS WITH SLOPES 2:1 (H:V) OR GREATER SHALL BE STABILIZED WITH HYDROSEED AND SOIL TACKIFIER. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED.
- DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES. NO DISCHARGES FROM DEWATERING OPERATIONS SHALL BE DISCHARGED DIRECTLY TO THE DRAINAGE SYSTEM.
- STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.



STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL TO ENSURE RUNOFF DOES NOT RUN UNDER OR AROUND ROLL.

**SEDIMENT BARRIER DETAIL**

NOT TO SCALE

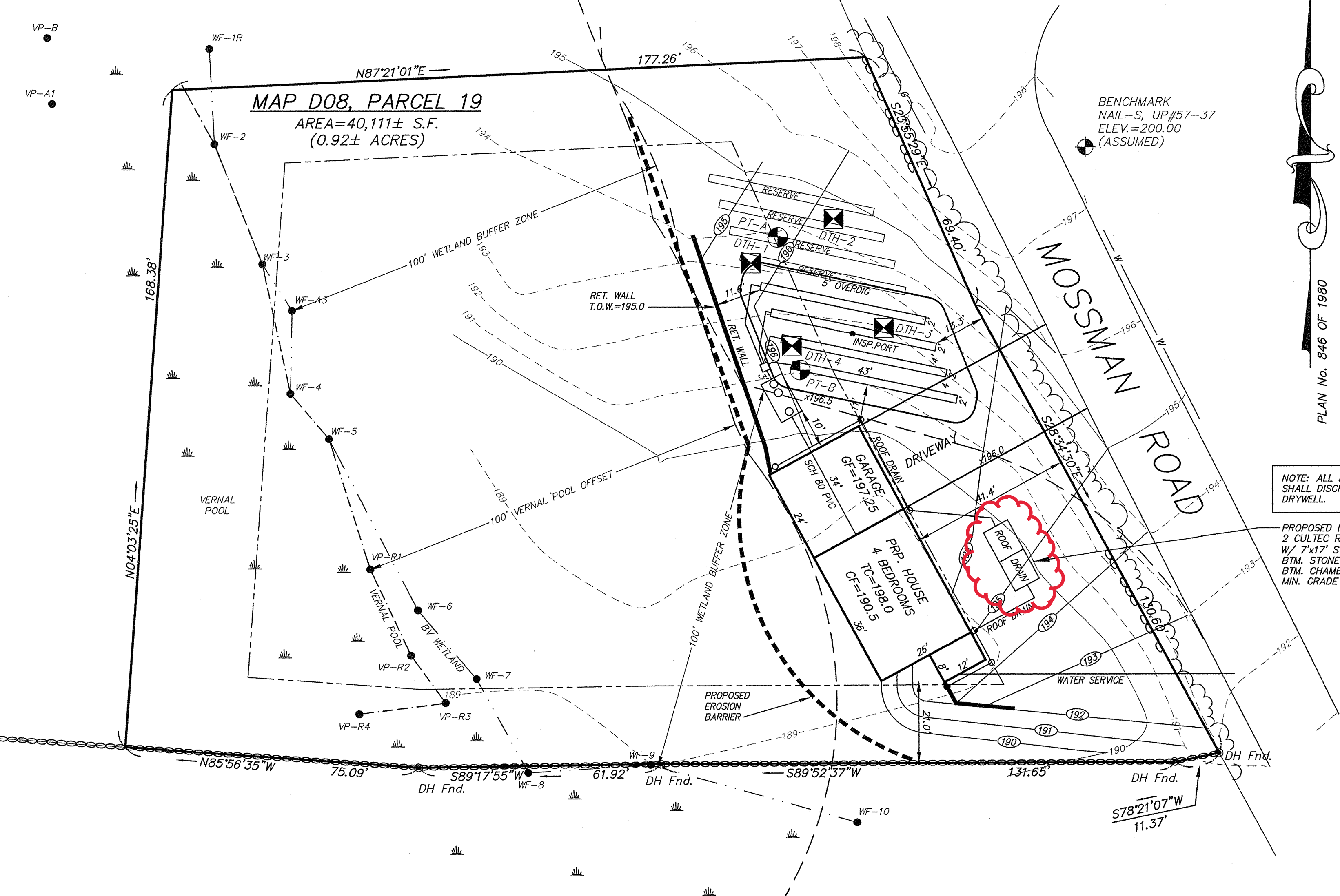
**ZONING REQUIREMENTS**

LOT AREA = 40,000 S.F.  
FRONTAGE = 180'  
FRONT SETBACK = 40'  
SIDE SETBACK = 20'  
REAR SETBACK = 30'  
BUILDING HEIGHT = 35'

NOTE: THIS PLAN IS NOT FOR THE PURPOSE OF BUILDING HEIGHT COMPLIANCE.

**SITE PLAN**

SCALE: 1" = 20'

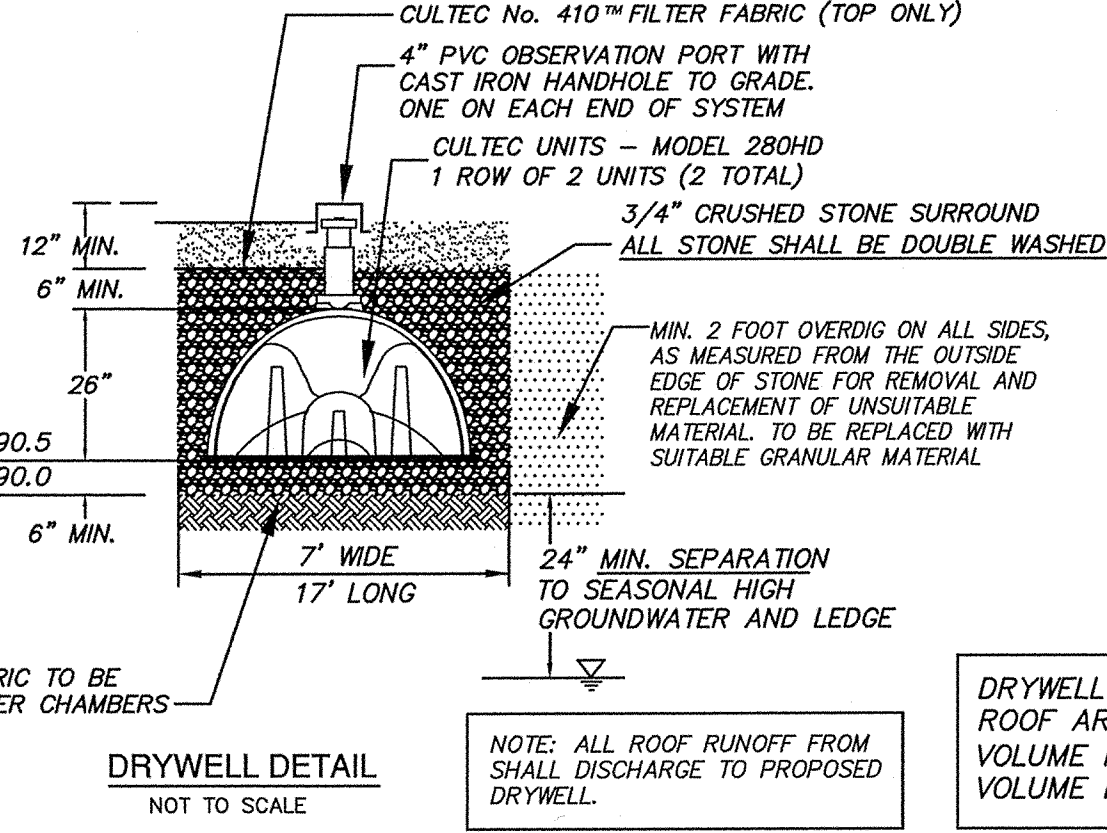


NOTE: ALL ROOF RUNOFF SHALL DISCHARGE TO PROPOSED DRYWELL.

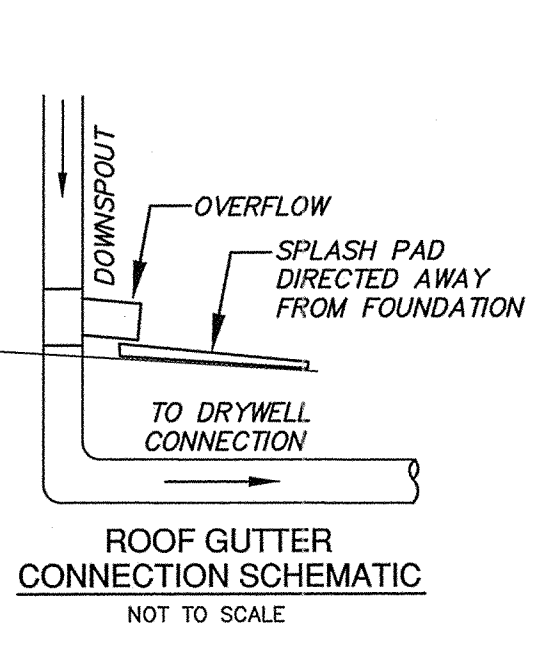
PROPOSED DRYWELL  
2 CULTEC R280 HD CHAMBERS  
W/ 7'X17' STONE BED  
BTM. STONE = 190.0  
BTM. CHAMBER = 190.5  
MIN. GRADE OVER = 194.5

**SOURCE CONTROL / POLLUTION PREVENTION MEASURES:**

- PER THE TOWN OF SUDBURY STORMWATER MANAGEMENT BYLAW REGULATIONS, THE FOLLOWING SOURCE CONTROL AND POLLUTION PREVENTION MEASURES SHALL BE EMPLOYED ON THE SITE TO PREVENT CONTAMINATION OF STORMWATER RUNOFF:
- STORE LAWN AND DEICING CHEMICALS UNDER COVER
  - APPLY FERTILIZERS AND PESTICIDES SPARINGLY TO PREVENT WASH-OFF
  - USE OF SLOW RELEASE NITROGEN AND LOW PHOSPHORUS FERTILIZERS IS ENCOURAGED
  - NO FERTILIZATION OR PESTICIDE APPLICATION IN OR NEAR ANY WETLAND RESOURCE AREA
  - DISPOSE OF PET WASTE PROPERLY
  - STORE, USE AND DISPOSE OF HOUSEHOLD HAZARDOUS WASTES PROPERLY
  - LIMIT EXTERIOR WASHING OF VEHICLES TO LOCATIONS THAT DRAIN TO PERVIOUS SURFACES AND AWAY FROM STORM DRAINS
  - MAINTAIN VEHICLES AND CLEAN UP FLUID SPILLS, DRIPS FROM PAVEMENT AREAS
  - PUMP AND MAINTAIN SEPTIC SYSTEMS
  - USE ALTERNATIVE DEICERS SUCH AS CALCIUM CHLORIDE AND MAGNESIUM CHLORIDE IN LIEU OF SODIUM BASED DEICERS
  - NO COAL TAR-BASED PAVEMENT SEALANTS ARE TO BE USED ON ANY SITE SUBJECT TO THE GSPM.



DRYWELL SIZING:  
ROOF AREA = 1,850 S.F.  
VOLUME REQ.=1"X 1,850 = 155 cu.ft.  
VOLUME PROPOSED = 200 cu.ft.



ROOF GUTTER CONNECTION SCHEMATIC  
NOT TO SCALE

**GENERAL NOTES:**

- Contractor shall call Digsafe at (888) 344-7233 a minimum of 72 hours prior to commencing any construction activities on site.
- Inspections by Design Engineer and Board of Health are as required by the Board of Health.
- This plan was prepared for the design of the subsurface sewage disposal system only and is based on the subsurface explorations and percolation tests listed below.
- System was designed only to accommodate sanitary sewage associated with normal domestic usage, consisting of water-carried putrescible waste, and for flows indicated in the design criteria.
- The system must be vented through the buildings plumbing in accordance with the state building code.
- Owner shall verify effective zoning regulations prior to construction.
- Plans show only features that were visually apparent on the date of the topographic survey, and the absence of subsurface structures, utilities, etc. is not guaranteed.
- Contractor to verify all site conditions are suitable for construction of proposed system, and must promptly notify the Design Engineer and Owner, in writing, of any plan deficiencies, unforeseen subsurface conditions, or required changes.
- There are no wells located within 100 feet of the proposed leaching area or within 100 feet of the proposed septic tank (except as shown).
- The subject property is not located within a Zone II of a public drinking water supply well.
- All construction is to conform to the requirements of the Massachusetts Environmental Code, Title V, and the town of Sudbury Board of Health regulations.
- There are no bordering vegetated wetlands, inland banks, or surface waters within 100' of the proposed system.
- There are no surface or subsurface drains which are used to lower the ground water.
- All elevations refer to TBM POLE 57-37 NAIL EL.=200.0
- For proper performance, septic tank should be pumped annually.
- System cannot be backfilled or concealed until design firm and board of health have inspected the system and permission to backfill has been given.
- Design firm must prepare and submit "As-Built" plan to Board of Health. This plan must certify that the system was installed in accordance with state and local regulations and that it complies with the proposed plan.
- Property lines are approximate and are not to be used for boundary survey purposes. Surface features and topography outside of work area are approximate.
- System is not designed to accommodate a garbage grinder.

**TECHNICAL NOTES:**

- Building sewer shall be in accordance with state plumbing code and have a minimum of 4" of cover in landscaped areas. A minimum of 12" of cover and/or appropriate sleeving shall be used in areas subject to vehicular traffic.
- All tanks, including septic tanks, distribution boxes, dosing chambers, and grease traps shall be either watertight through manufacturer's specification and warranty, or made watertight by the manufacturer or other individual by means and persons as approved in 310 CMR 15.221. Septic tank shall be constructed and placed in accordance with 310 CMR 15.223 through 310 CMR 15.228.
- Septic tanks shall have at least three (3) 20" manholes with at least one (1) of these manholes located no more than 6" below finish grade. (Systems over 1,000 gpd shall have access ports at both the inlet and outlet tees.)
- Distribution box ("d-box") shall be of watertight construction, installed level on a firm base, and installed in accordance with 310 CMR 15.232.
- Septic tank covers and d-box are to be brought within 6" and 9" of finish grade respectively by the use of riser sections.
- When the soil absorption system (SAS) is to be sloped or the slope of the inlet pipe exceeds 0.08 feet per foot, an inlet tee, baffle or splash plate extending to one inch above the outlet invert elevation shall be provided to dissipate velocity of the influent.
- When the SAS is installed within the top and subsoil layers or above natural grade, all topsoil and subsoil shall be removed below and laterally a minimum of 5 feet surrounding the SAS. Removed material shall be replaced with clean granular material in accordance with 310 CMR 15.253(3).
- All disturbed areas shall be loamed, seeded, and maintained so as to prevent erosion.
- All native soil interfaces which will contact the SAS shall be scarified prior to placement of stone.

**PERCOLATION TESTS**

HOLE NO. & DATE	TOP ELEVATION	DEPTH (In.)	SATURATION (Min.)	12"-9" DROP (Min.)	9"-6" DROP (Min.)	PERC. RATE (Min./In.)
PT-A 8/24/17	193.5	61"	15 MIN	27 MIN	38 MIN	13 MIN/IN
PT-B 8/24/17	191.0	39"	15 MIN	16 MIN	25 MIN	9 MIN/IN

**DEEP OBSERVATION HOLE LOG**

NO. & DATE	DEPTH (In.)	SOIL HORIZON	TEXTURE (USDA)	COLOR (MUNSELL)	SOIL MOTTLING	OTHER
DTH-1	0-14"		FILL			
8/24/17	14-20"	Ap	SANDY LOAM	10YR3/2		
193.0	20-36"	Bw	LOAMY SAND	10YR6/8		
	36-108"	C1	LOAMY SAND	2.5YR5/4		
PARENT MATERIAL: GLACIAL TILL DEPTH TO BEDROCK: 109" STANDING WATER: -- WEeping FROM PIT FACE -- ESHWT: 183.9						
DTH-2	0-15"		FILL			
8/24/17	15-19"	Ap	SANDY LOAM	10YR3/2		
194.5	19-34"	Bw	LOAMY SAND	10YR6/8	50"	
	34-95"	C1	LOAMY SAND	2.5YR5/4		
PARENT MATERIAL: GLACIAL TILL DEPTH TO BEDROCK: 95" STANDING WATER: -- WEeping FROM PIT FACE -- ESHWT: 190.4						
DTH-3	0-8"		SANDY LOAM	10YR3/2		
8/24/17	8-37"	Bw	LOAMY SAND	10YR6/8		
192.0	37-65"	C1	LOAMY SAND	10YR6/4	50"	
	65-93"	C2	LOAMY SAND	2.5YR5/4		
PARENT MATERIAL: GLACIAL TILL DEPTH TO BEDROCK: 93" STANDING WATER: -- WEeping FROM PIT FACE -- ESHWT: 187.9						
DTH-4	0-10"		SANDY LOAM	10YR3/2		
8/24/17	10-31"	Bw	LOAMY SAND	10YR6/8		
191.5	31-62"	C1	LOAMY SAND	10YR6/4	52"	
	62-101"	C2	LOAMY SAND	2.5YR5/4		
PARENT MATERIAL: GLACIAL TILL DEPTH TO BEDROCK: 101" STANDING WATER: -- WEeping FROM PIT FACE -- ESHWT: 187.2						

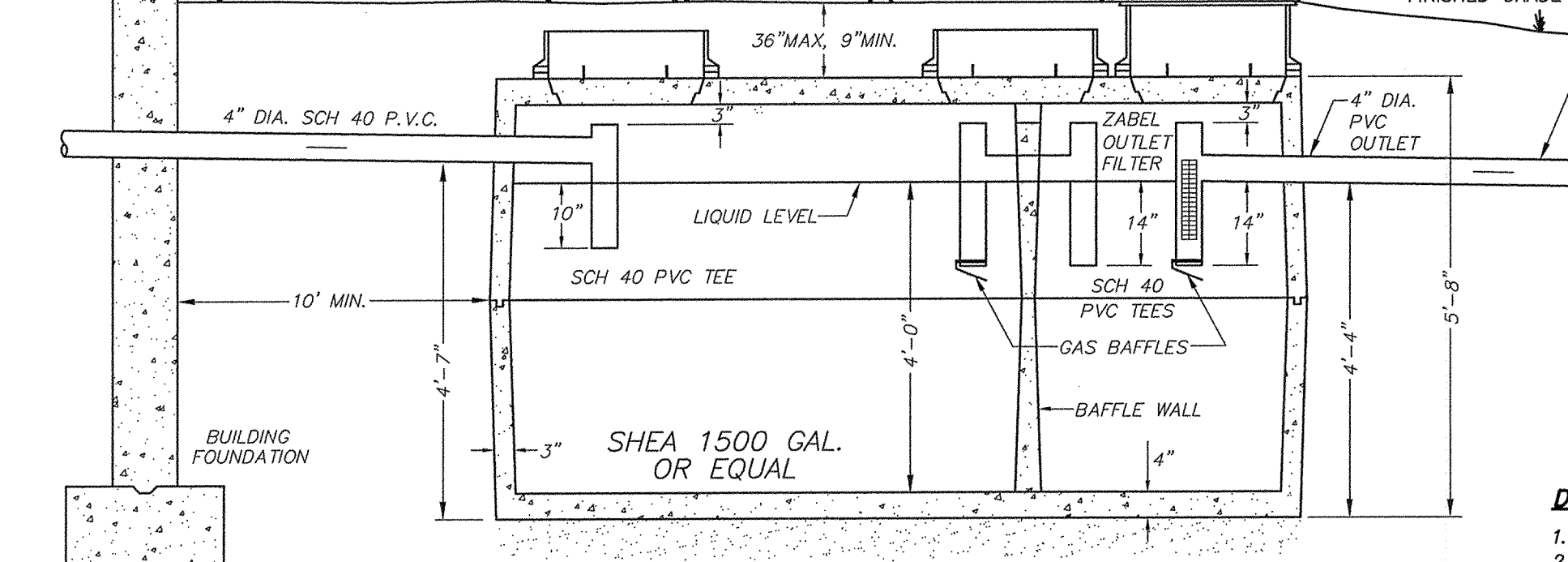
TESTS CONDUCTED BY: MICHAEL SULLIVAN  
TESTS OBSERVED BY: BILL MURPHY  
DATE: 8/24/17

I certify that I have passed the examination approved by the department of Environmental Protection and that the above analysis has been performed by me consistent with the required training, expertise, and experience described in 310 CMR 15.018(2).  
Certified:

<b>APPLICANT</b> DORIS SMITH		<b>LOCATION</b> 137 MOSSMAN ROAD SUDBURY, MA ASSESSORS MAP 08 & PARCEL 19	
NO.		DATE:	
1.		9-5-18	
2.		5-29-18	
REVISION:		BY:	
1.		ROOF DRAIN SYSTEM RM	
2.		VERNAL POOL, NEW HOUSE RM	
<b>PROPOSED SEWAGE DISPOSAL SYSTEM</b>			
<b>SULLIVAN, CONNORS AND ASSOCIATES</b>			
LAND SURVEYING AND CIVIL ENGINEERING 121 BOSTON POST RD. SUDBURY, MA. 01776 PHONE: 978-443-9566 FAX: 978-443-8915			
DATE: 9/8/17		SHEET 1 OF 1	

**SEPTIC TANK NOTES**

- MUST BE WATER TIGHT AND SET ON A LEVEL BASE THAT HAS BEEN COMPACTED TO PREVENT SETTLING.
- TANK MUST HAVE A SEAL STATING THAT ASTM STANDARDS HAVE BEEN MET.



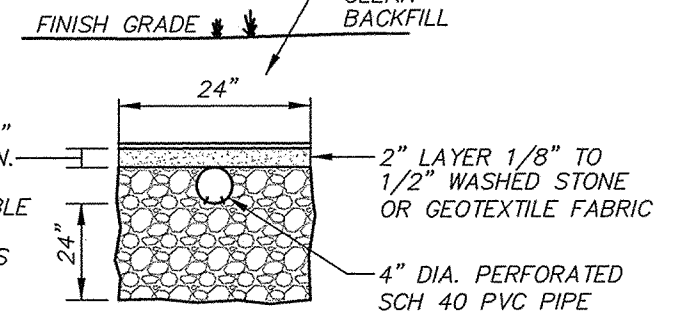
**SYSTEM PROFILE**

NOT TO SCALE

NOTE:  
ALL SYSTEM COMPONENTS ARE TO BE MARKED WITH MAGNETIC MARKING TAPE

**FINAL GRADING NOTES**

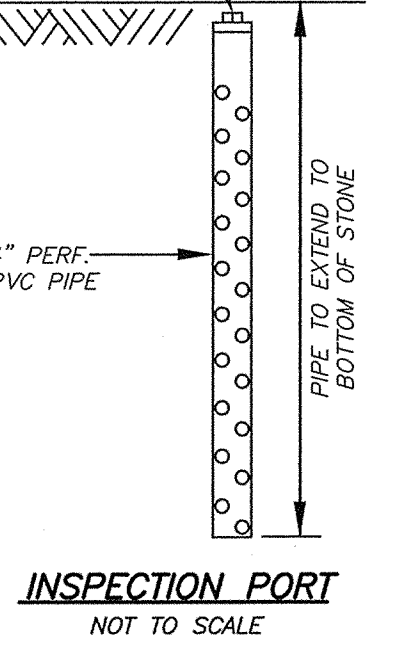
- 2% SLOPE MUST BE PROVIDED OVER AND AROUND SYSTEM.
- SURFACE DRAINAGE MUST BE AWAY FROM SYSTEM.
- GRADING MUST BE DONE TO PREVENT PONDING.



TRENCH CROSS SECTION

**INSPECTION PORT**

NOT TO SCALE



**BUILDING SEWER NOTES**

- SEWER LINE MUST BE LAID ON A FIRM COMPACTED BASE.
- PIPE MUST BE SLOPED AT A MIN. OF 1% (2% PREFERRED)
- PIPE MUST BE LAID ON A CONTINUOUS UNIFORM GRADIENT.

**H-20 SEPTIC TANK**

PRECAST REINFORCED CONCRETE  
CAPACITY OF TANK = 1500 GAL.

**DISTRIBUTION BOX NOTES**

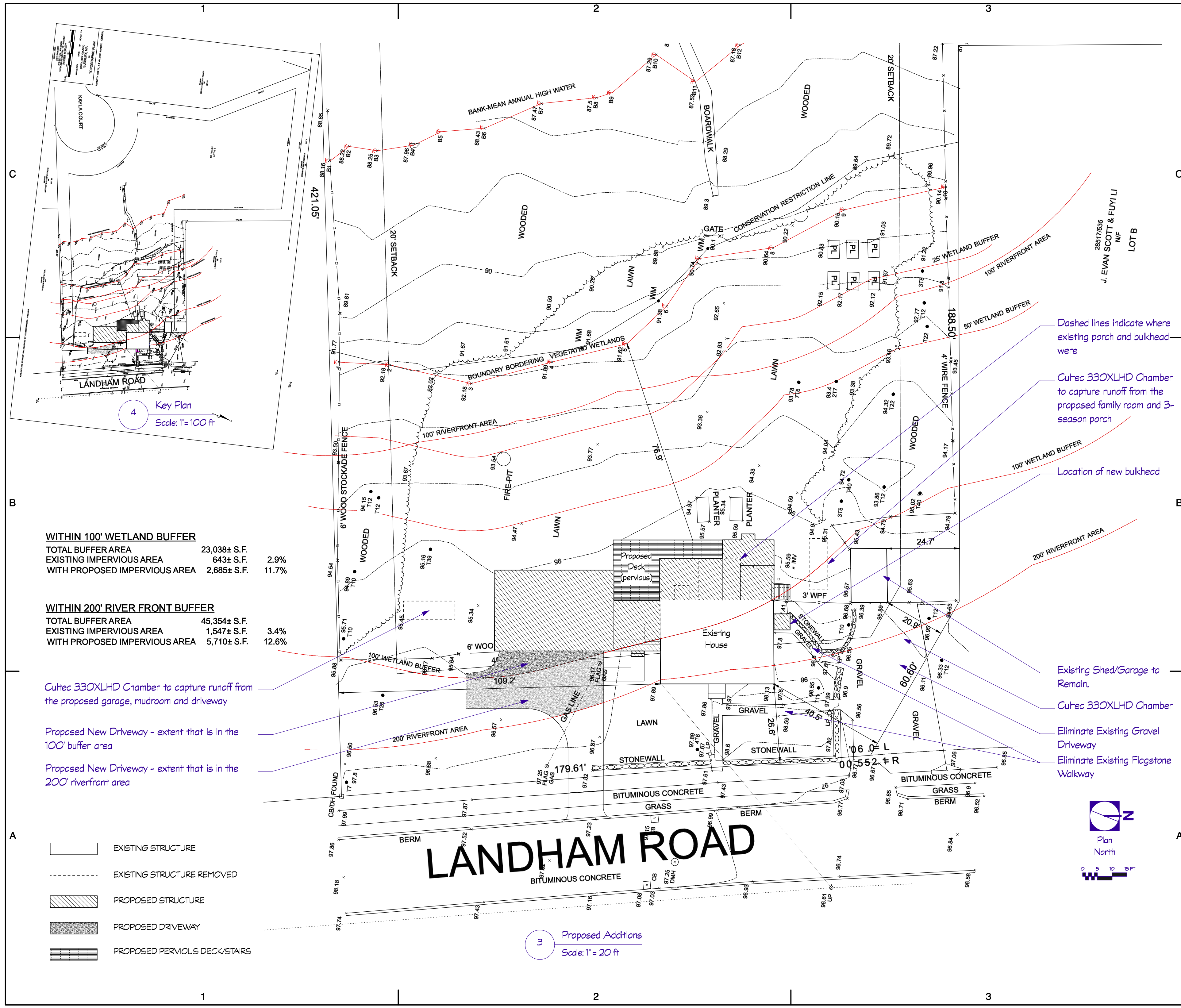
- COVER MUST BE WATER TIGHT.
- ALL OUTLET PIPES SHALL BE LEVEL FOR THE FIRST 2' OUT OF THE D-BOX. ALL OUTLET PIPES TO BE AT THE SAME ELEVATION.
- SOIL MUST BE COMPACTED UNDER "D" BOX TO PREVENT SETTLING.

**LEACH FIELD NOTES**

- SIDES AND BOTTOM OF LEACHING FACILITY TO BE SCARIFIED.
- BOTTOM OF LEACHING FACILITY MUST BE LEVEL.
- PIPING MUST BE SCH 40 P.V.C. WITH TIGHT JOINTS.
- THE ORIFICES OF THE PIPE MUST BE 3/8" - 5/8".
- VENT REQUIRED IF LEACH LINES ARE GREATER THAN 50'.

Issue	Date	Review Description
1	7/31/18	Review

Issue/Revision	
Project ID	1802-00
CAD File Name	1802-00.vwx
Drawn By	JA
Reviewed By	KL
Drawing Code	Drawing Code
Scale	As Noted



4 Key Plan  
Scale: 1" = 100 ft

3 Proposed Additions  
Scale: 1" = 20 ft

**WITHIN 100' WETLAND BUFFER**  
TOTAL BUFFER AREA 23,038± S.F.  
EXISTING IMPERVIOUS AREA 643± S.F. 2.9%  
WITH PROPOSED IMPERVIOUS AREA 2,685± S.F. 11.7%

**WITHIN 200' RIVER FRONT BUFFER**  
TOTAL BUFFER AREA 45,354± S.F.  
EXISTING IMPERVIOUS AREA 1,547± S.F. 3.4%  
WITH PROPOSED IMPERVIOUS AREA 5,710± S.F. 12.6%

Cultec 330XLHD Chamber to capture runoff from the proposed garage, mudroom and driveway

Proposed New Driveway - extent that is in the 100' buffer area

Proposed New Driveway - extent that is in the 200' riverfront area

- EXISTING STRUCTURE
- EXISTING STRUCTURE REMOVED
- PROPOSED STRUCTURE
- PROPOSED DRIVEWAY
- PROPOSED PERVIOUS DECK/STAIRS

Dashed lines indicate where existing porch and bulkhead were

Cultec 330XLHD Chamber to capture runoff from the proposed family room and 3-season porch

Location of new bulkhead

Existing Shed/Garage to Remain.

Cultec 330XLHD Chamber

Eliminate Existing Gravel Driveway

Eliminate Existing Flagstone Walkway



**SUDBURY CONSERVATION COMMISSION**

**AGENDA Monday, Sept. 10, 2018**

**6:45 pm Rd., DPW Facility, 275 Old Lancaster Rd., Sudbury MA**

\*\*\*\*\*

*The Conservation Commission would appreciate if applicants and their representatives limit their total presentation time to ten minutes.*

**New Wetland Hearings/Meetings:**

1. **WPA & Bylaw Request for Determination of Applicability: 4 Dawson Dr, Susan Berry, applicant**  
Tree removal in riverfront area
2. **WPA & Bylaw Request for Determination of Applicability: 73 Blackmer Rd.; L/ Lopez, applicant**  
Carport in Riverfront area
3. **WPA & Bylaw Request for Determination of Applicability: Longfellow's Wayside Inn, applicant**  
Invasive plant removal in riverfront and adjacent upland resource areas  
Steve Pickford, Innkeeper, to attend
4. **WPA & Bylaw Request for Determination of Applicability: 96 Atkinson Ln., Ken Koblan, applicant;** covered porch and patio expansion

**Continued Wetland Hearings:**

5. **WPA & Bylaw Request for Determination of Applicability: 50 Allan Ave., J. Ryan**  
Garage and house addition
6. **WPA & Bylaw Notice of Intent: 159 Concord Rd. violation, Rachael Donalds**  
Deck and patio construction without a permit  
Request for continuation received Sept. 5, 2018

**Certificates of Compliance:**

7. **82 Butler Rd., R. Lewitus #301-929**

**Violation Status:**

8. **3 Goodnow Rd.** status
9. **33 Maynard Rd.** status of filing
10. **0 Washington Dr. & Sudbury Station Extension Permit;** status of court action

11. **36 Hampshire Rd.** EO/NOV for wetland and conservation restriction encroachment (NOI due 9/10)

**Other Business:**

Land Stewardship:

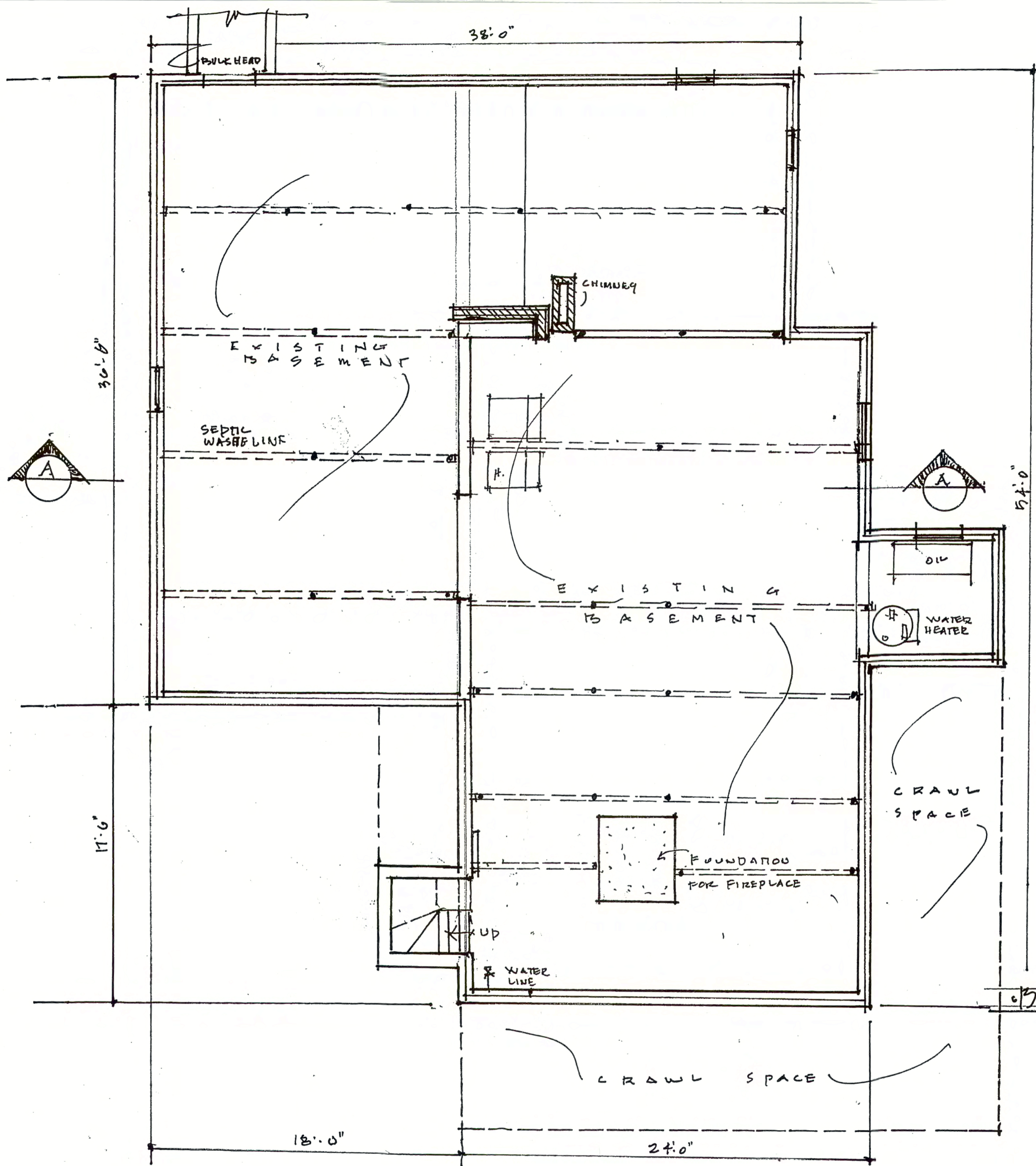
12. Davis Field Restoration Status and next steps
13. King Philip Woods Wetland Flagging for Invasive Species removal – vote to proceed
14. 137 Mossman revised plans for DEP comments

**Reports from Commissioners and Staff**

15. NOI BFRT Soil Borings timing (D. Dineen)
16. Community Preservation Act Funding Applications open (T. Friedlander)
17. Planning Board decision on Powers Rd subdivision (D. Dineen)
18. Pre-Construction Site Inspection and Meeting: Willow Hill School (B. Porter) Update on Town Update on Town Meeting Articles (Broadacre Farm; Melone). May be voted as Executive Session if information still in negotiation is discussed. **To be moved to Sept. 24. No final information as of 9/10.**







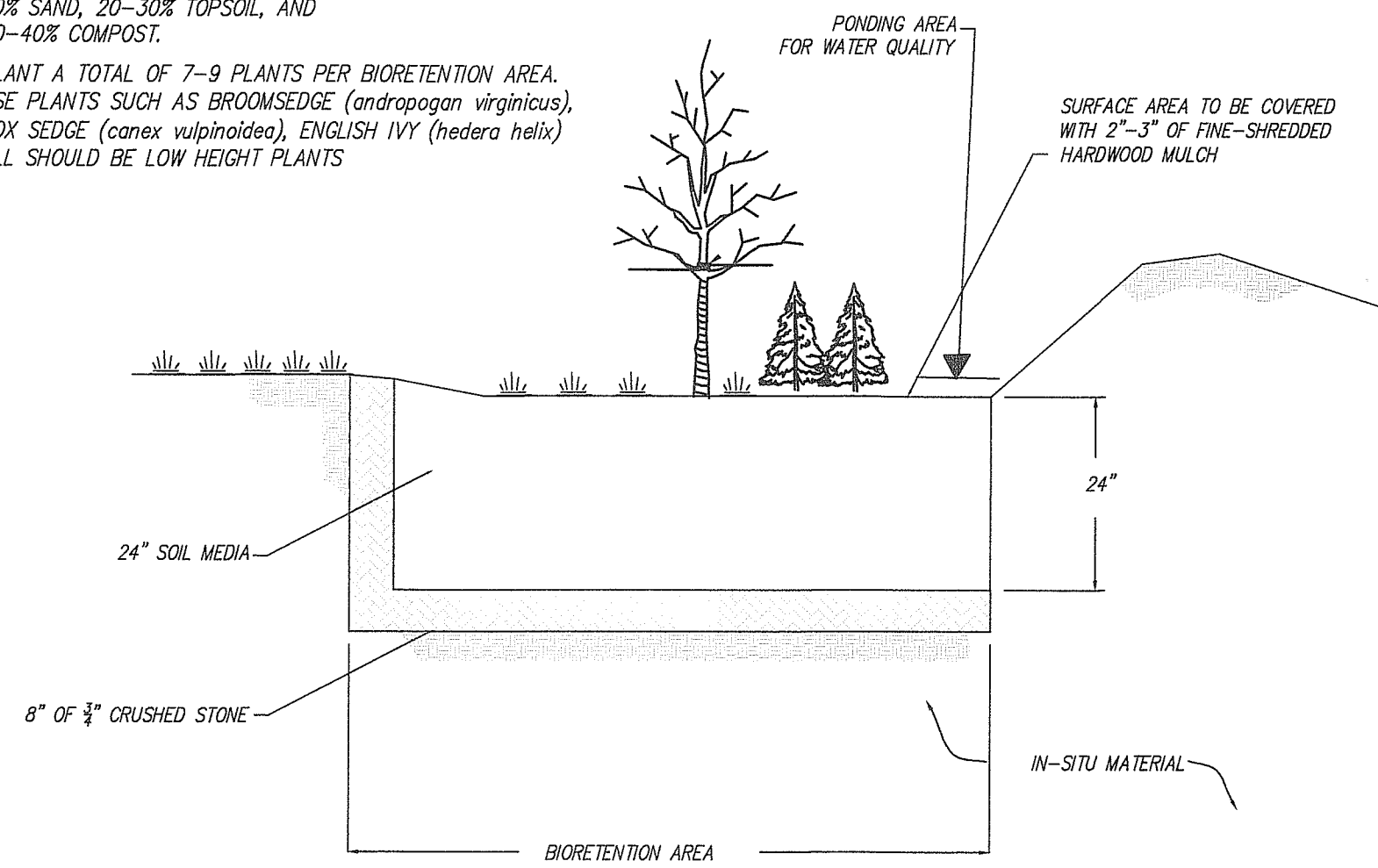
BASEMENT PLAN  
1/4" = 1'-0"

JAMES RYAN  
50 ALLAN AVE  
SNOBURY MA 01776

50 ALLAN AVE

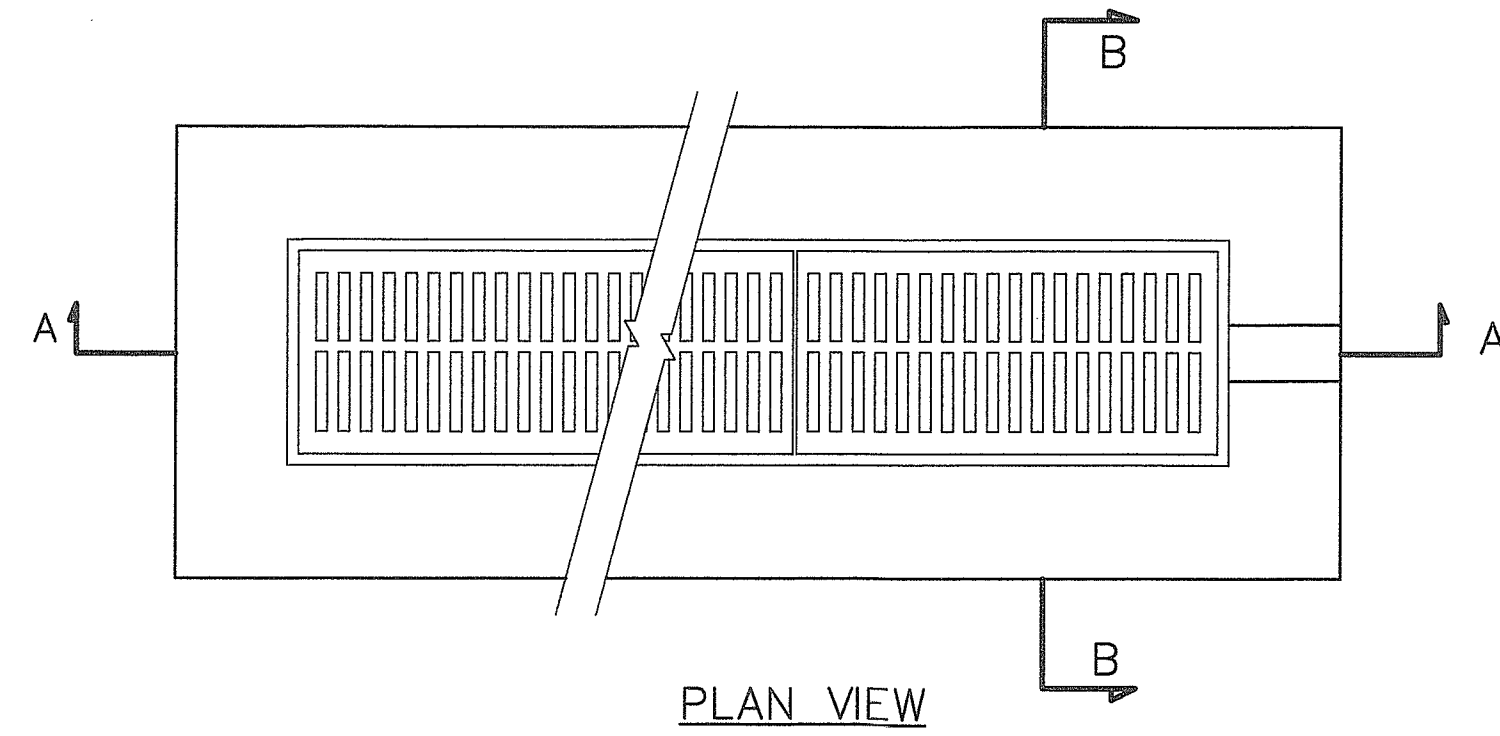
50 ALLAN AVE

NOTES:  
 SOIL MEDIA TO CONSIST OF A MIXTURE OF 40% SAND, 20-30% TOPSOIL, AND 30-40% COMPOST.  
 PLANT A TOTAL OF 7-9 PLANTS PER BIORETENTION AREA. USE PLANTS SUCH AS BROONSEDEGE (*andropogon virginicus*), FOX SEDGE (*carex vulpinoidea*), ENGLISH IVY (*hedera helix*). ALL SHOULD BE LOW HEIGHT PLANTS.

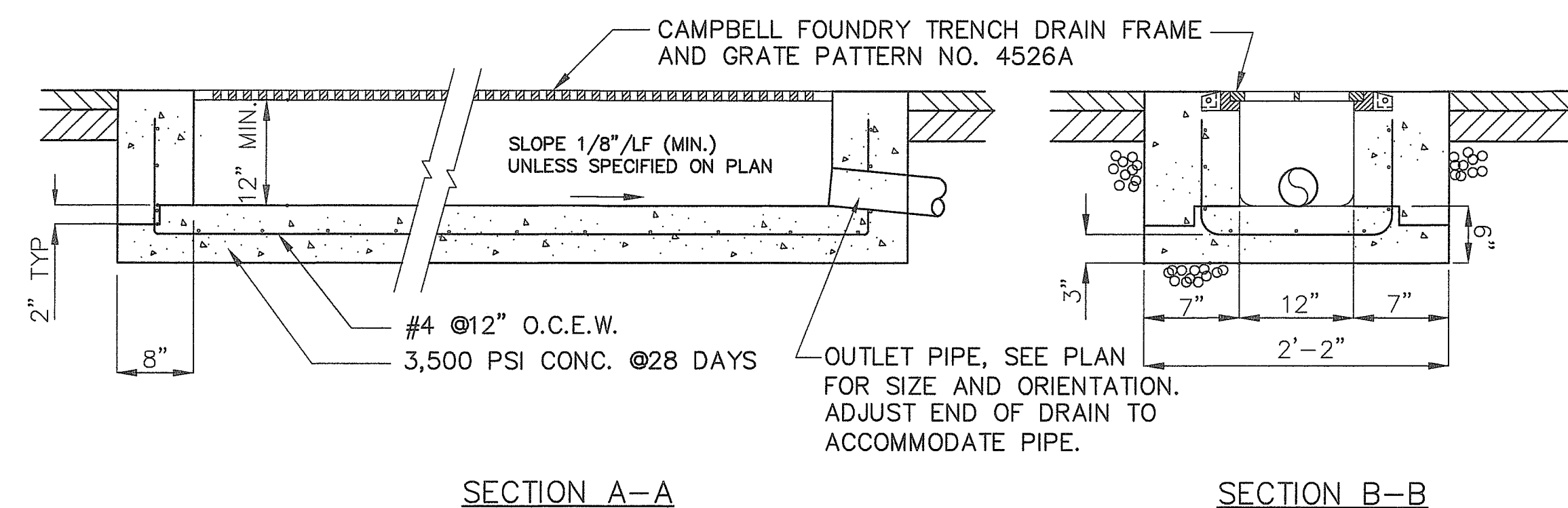


BIORETENTION AREA CROSS SECTION

NOT TO SCALE



PLAN VIEW

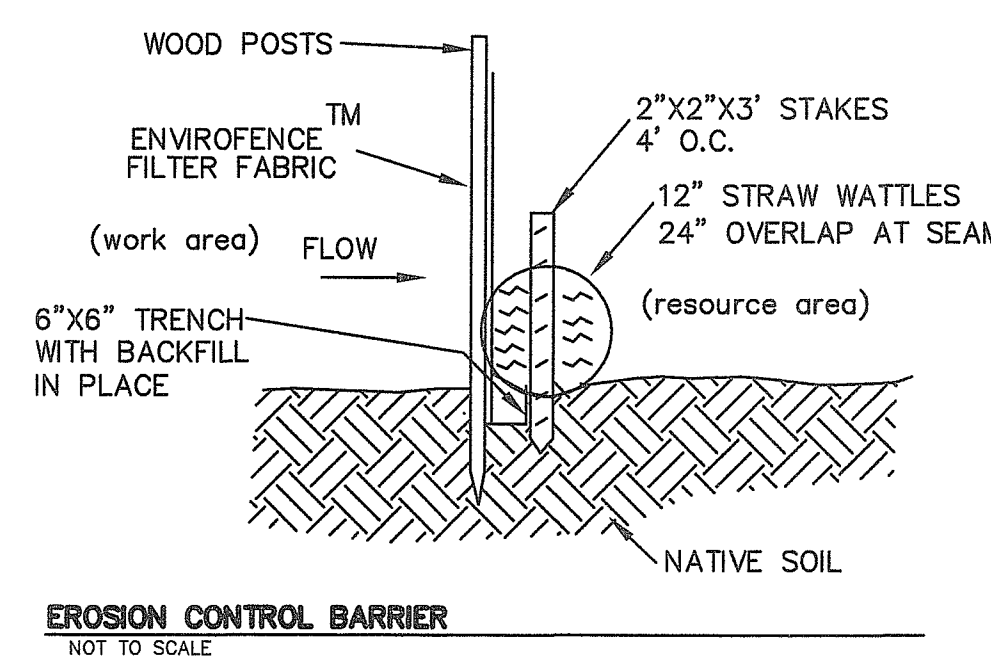


SECTION A-A

SECTION B-B

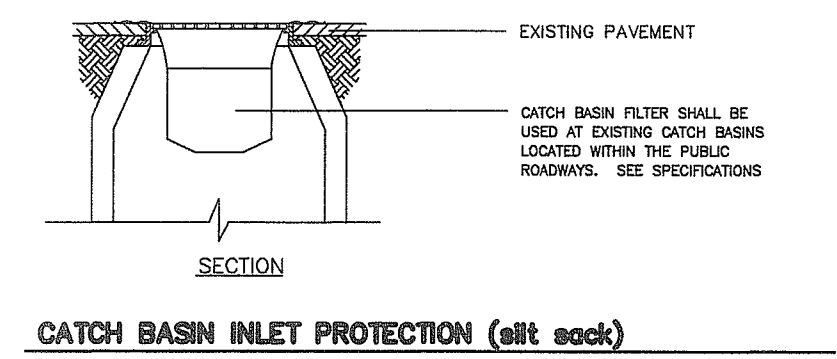
TRENCH DRAIN DETAIL

NOT TO SCALE



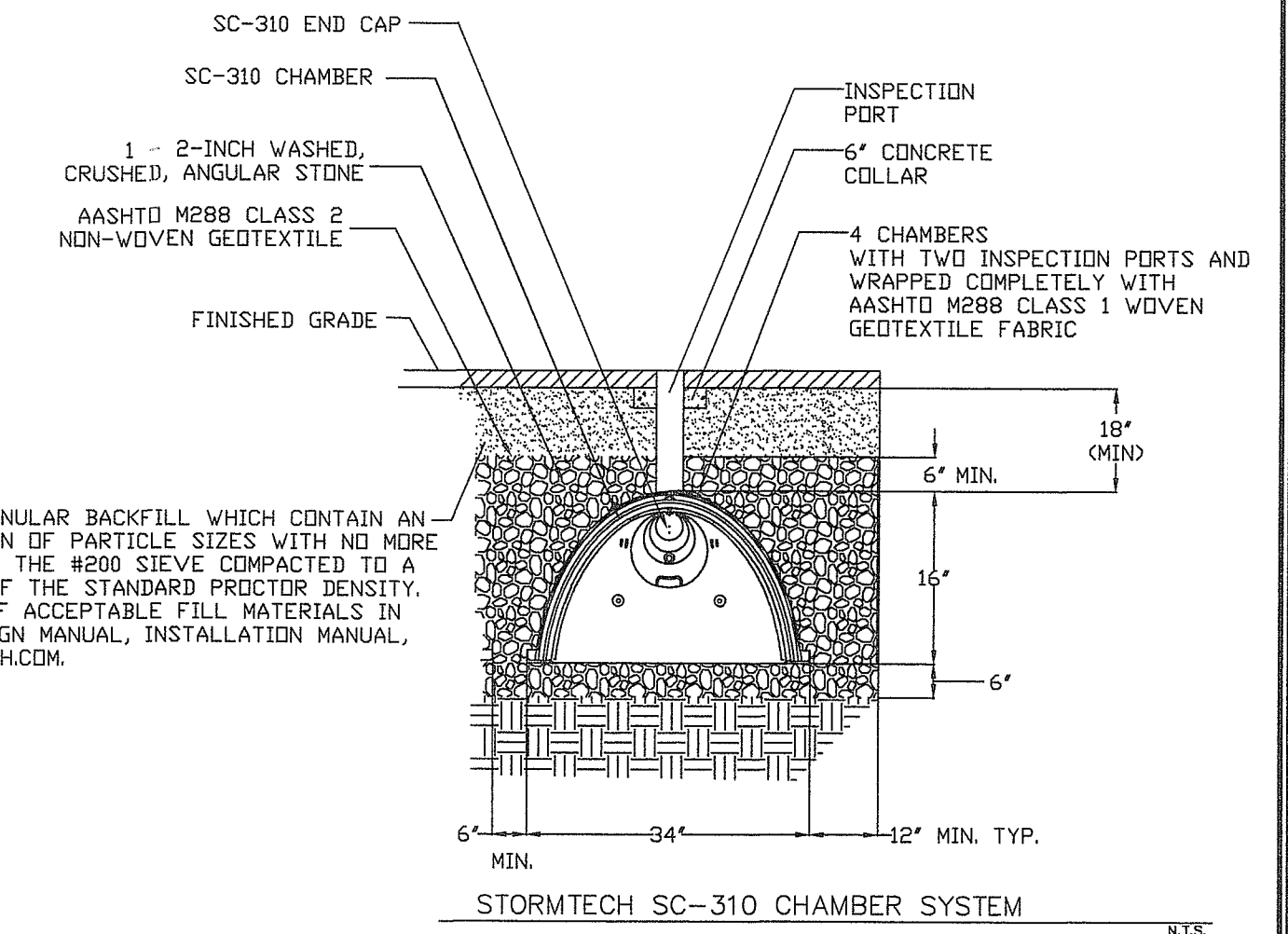
EROSION CONTROL BARRIER

NOT TO SCALE



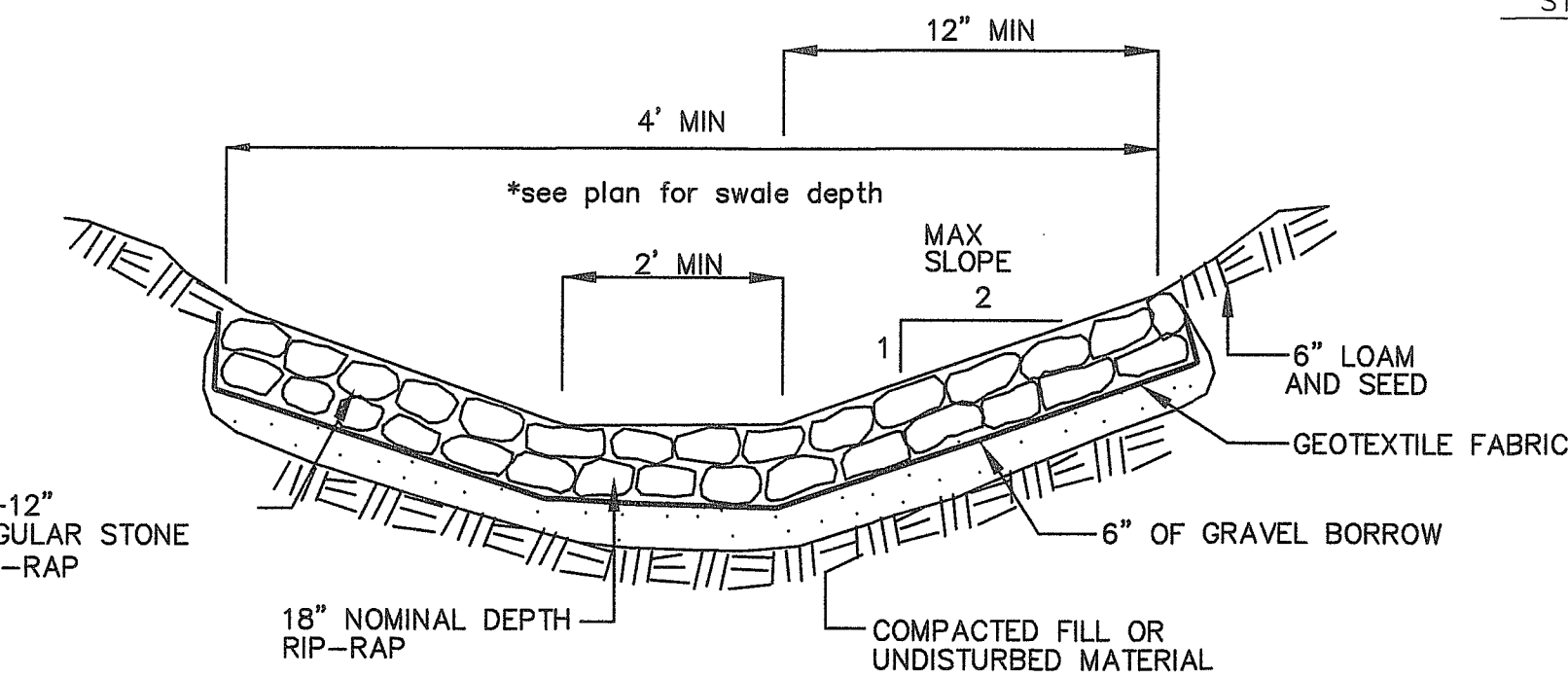
CATCH BASIN INLET PROTECTION (silt sock)

NOT TO SCALE



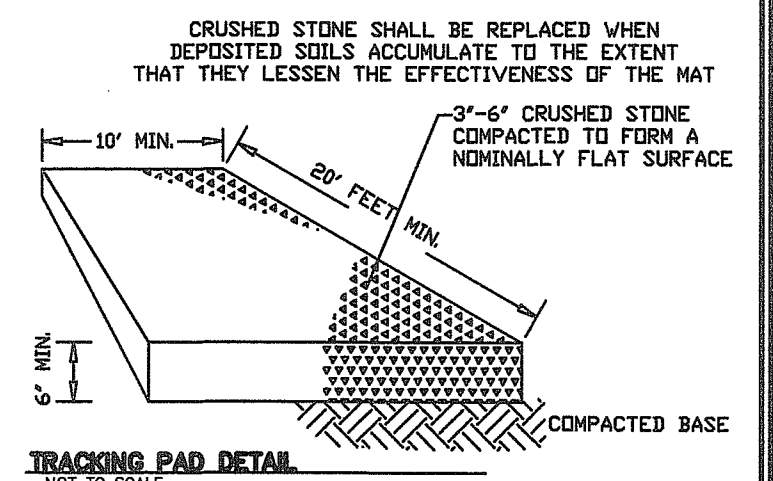
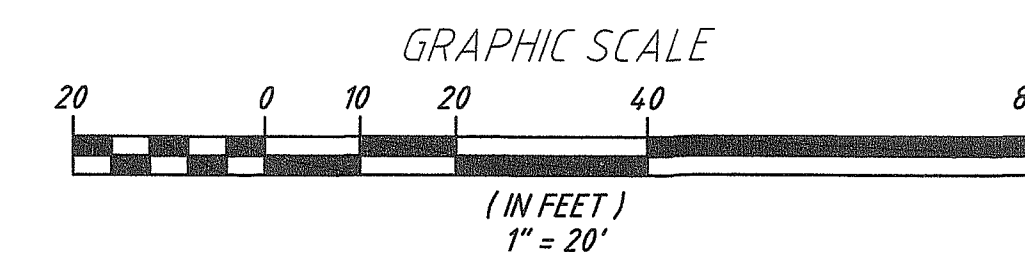
STORMTECH SC-310 CHAMBER SYSTEM

WELL GRADED GRANULAR BACKFILL WHICH CONTAIN AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.



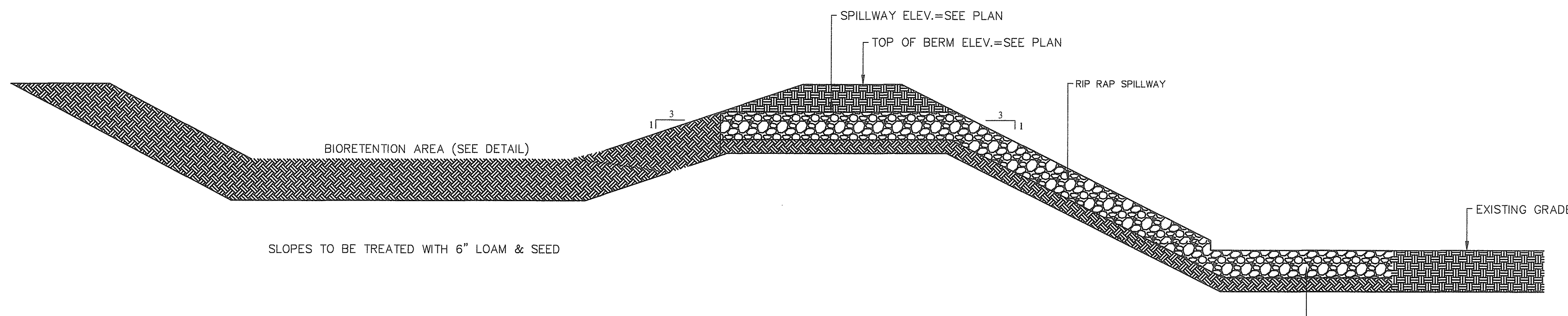
RIP-RAP SWALE

NOT TO SCALE



TRACKING PAD DETAIL

NOT TO SCALE



TYPICAL BASIN DETAIL

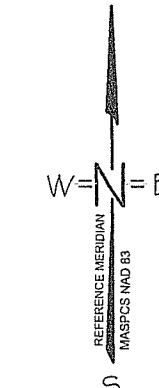
NOT TO SCALE

NO.	DATE	REVISION	BY
4	8/31/18	REVISED STONE DIAPHRAGM	JDD
3	8/27/18	ADDED TRENCH DRAIN DETAIL & DETAIL SHEET	JDD
2	8/17/18	REVISED PER REVIEW COMMENTS	JDD
1	8/1/18	REVISED PER REVIEW COMMENTS	JDD

JASON D. DUBOIS, P.E.  
 PROFESSIONAL ENGINEER  
 MA.LIC.NO.: 48724

JEREMY S. CRÔTEAU, P.L.S.  
 PROFESSIONAL LAND SURVEYOR  
 LIC.NO.: 48722

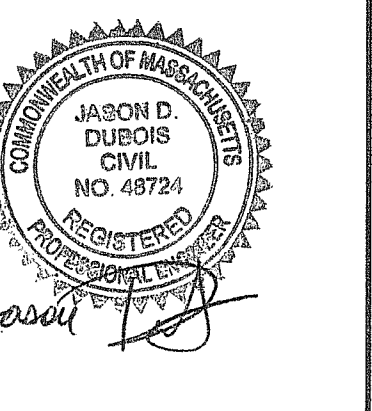
NORTH



SITE PLAN  
 SITE ADDRESS:  
 LOT A - WALKER FARM ROAD  
 SUDBURY, MA  
 CLIENT:  
 CRESCENT BUILDERS  
 94 NORTH MAIN STREET  
 WEST BOYLSTON, MA 01583

DRAWN BY: JSC  
 CK'D BY: JDD  
 DATE: 7-9-18  
 PROJECT #: 18-138  
 REV #: 4  
 SCALE: 1"=20'  
 DWG. NO.: D-1

**DCG ENGINEERING & SURVEYING INC.**  
 33 GRANBERRY MEADOW RD  
 CHARLTON, MA 01525  
 508-789-9889  
 508-541-2127



CRUSHED STONE SHALL BE REPLACED WHEN DEPOSITED SOILS ACCUMULATE TO THE EXTENT THAT THEY LESSEN THE EFFECTIVENESS OF THE MAT

TEST PIT DATA	
SOIL EVALUATOR: JASON DUBOIS WITNESSED BY: WILLIAM MURPHY DATE: 5/17/2018 APPLICANT: CRESCENT BUILDERS	
TEST PIT # 1	TEST PIT # 2
0'-12" A SL 10R 3/2 12'-24" B SL 10R 5/8 24'-48" C1 LS 2.5Y 3/3 48'-102" C2 SL 2.5Y 5/4 REDOX @ 72"	0'-12" A SL 10R 3/2 12'-24" B SL 10R 5/8 24'-36" C1 LS 2.5Y 3/3 36'-102" C2 SL 2.5Y 5/4 REDOX @ 72"
GROUND WATER ELEV (OBSERVED) N/A MOTTLING ELEV (OBSERVED) 72" REFUSAL ELEV N/A	GROUND WATER ELEV (OBSERVED) N/A MOTTLING ELEV (OBSERVED) 72" REFUSAL ELEV N/A
TEST PIT # 3	TEST PIT # 4
0'-10" A SL 10R 3/2 10'-32" B SL 10R 5/8 32'-108" C S 2.5Y 5/4 REDOX @ 96"	0'-12" A SL 10R 3/2 12'-36" B SL 10R 5/8 36'-108" C S 2.5Y 5/4 REDOX @ 96"
GROUND WATER ELEV (OBSERVED) N/A MOTTLING ELEV (OBSERVED) 96" REFUSAL ELEV N/A	GROUND WATER ELEV (OBSERVED) N/A MOTTLING ELEV (OBSERVED) 96" REFUSAL ELEV N/A
TEST PIT # 5	TEST PIT # 6
0'-8" A SL 10R 3/2 8'-30" B SL 10R 5/8 30'-102" C S 2.5Y 5/4 REDOX @ 96"	0'-10" A SL 10R 3/2 10'-34" B SL 10R 5/8 34'-100" C S 2.5Y 5/4 REDOX @ 96"
GROUND WATER ELEV (OBSERVED) N/A MOTTLING ELEV (OBSERVED) 96" REFUSAL ELEV N/A	GROUND WATER ELEV (OBSERVED) N/A MOTTLING ELEV (OBSERVED) 96" REFUSAL ELEV N/A
DATE: 8/7/2018 SOIL EVALUATOR: JASON DUBOIS WITNESSED BY: WILLIAM MURPHY DATE: 5/17/2018 APPLICANT: CRESCENT BUILDERS	

**TOWN OF SUBBURY ZONING**  
 ZONE - RESIDENCE-C  
 AREA - 60,000 S.F.  
 FRONTAGE - 210'  
 FRONT - 40 FT.  
 SIDE - 20 FT.  
 REAR - 30 FT.

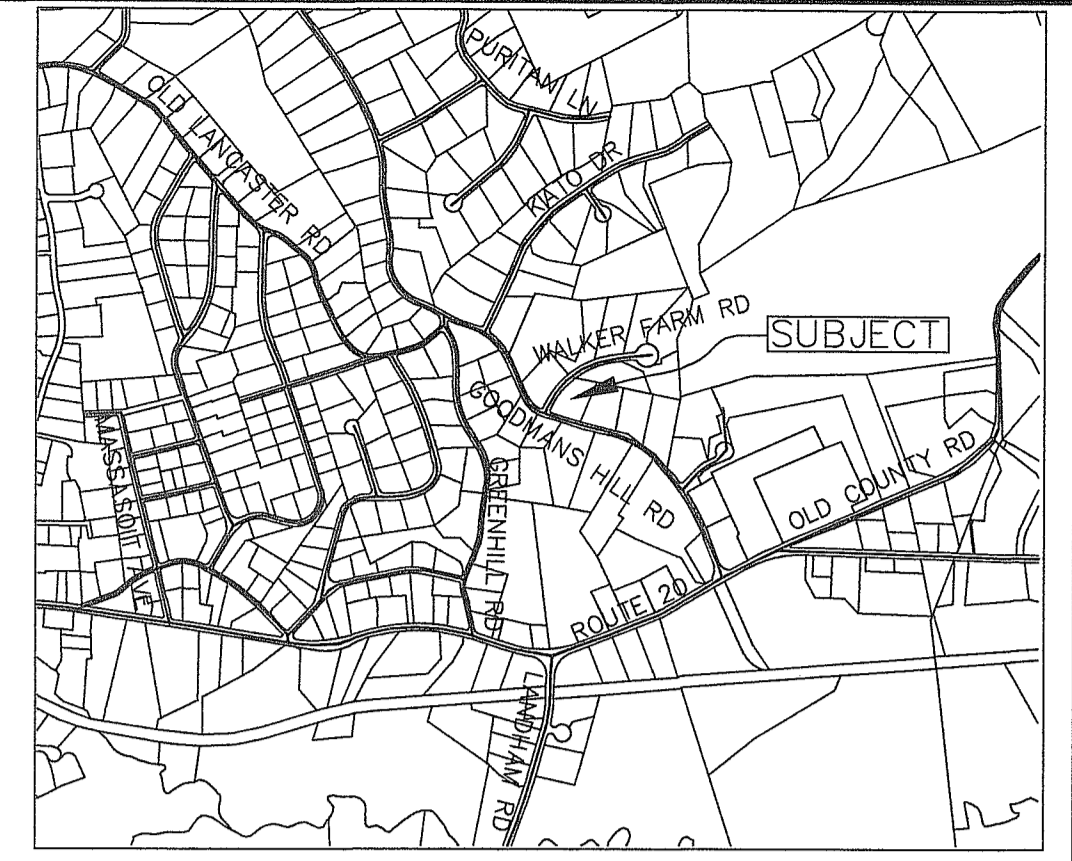
**OPERATION & MAINTENANCE:**  
 THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING THE STORMWATER CONTROLS. SEE OPERATION AND MAINTENANCE PLAN FOR STORMWATER CONTROLS PROCEDURES.

OWNER AND OPERATOR OF STORMWATER POLLUTION PREVENTION AND EROSION CONTROL DURING CONSTRUCTION PERIOD: CRESCENT BUILDERS (508) 962-0344

55,664 S.F. OF LAND AREA DISTURBANCE

**SEQUENCE OF CONSTRUCTION:**

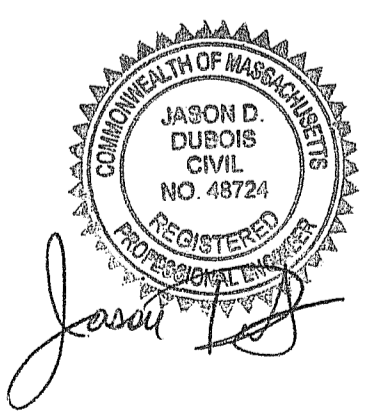
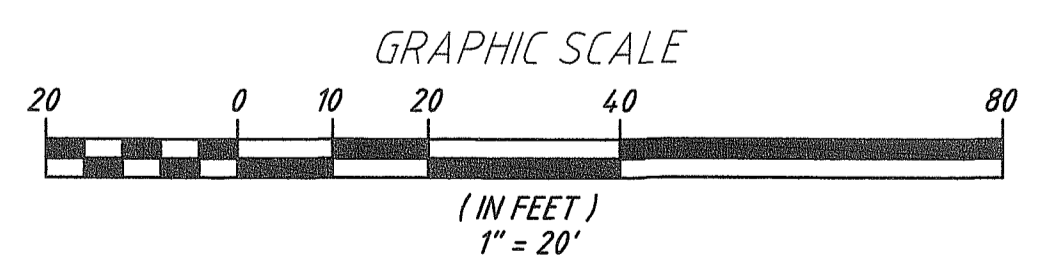
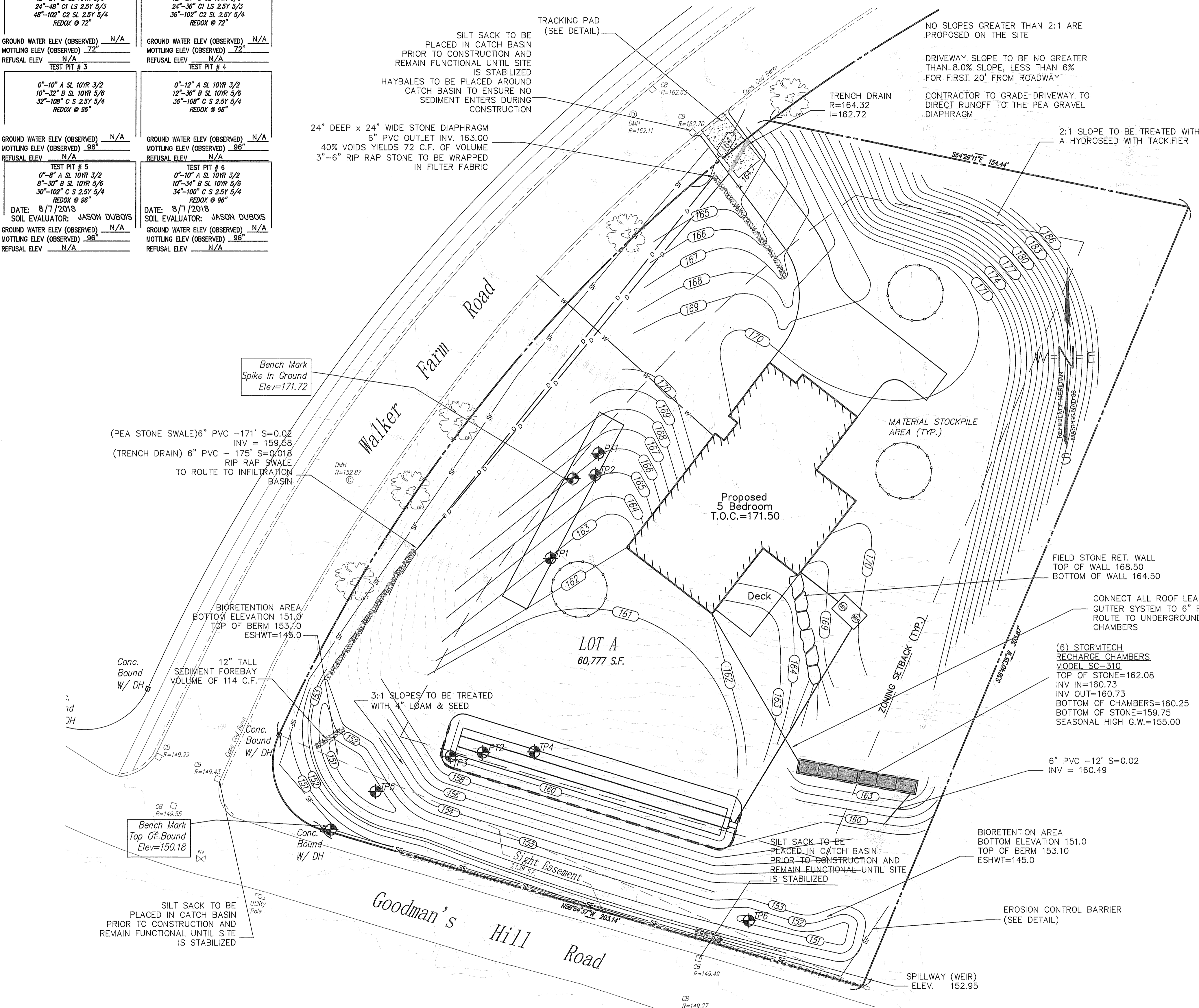
- EROSION CONTROL MEASURES TO BE INSTALLED
- CLEAR BRUSH AND GRUB LOT
- ROUGH GRADE LOT, CONSTRUCT HOUSE & INSTALL ALL STORMWATER MEASURES
- ONCE SITEWORK IS COMPLETE, ALL DISTURBED AREAS TO BE TREATED WITH LOAM AND SEED
- EXCAVATION AND INSTALLATION OF ALL UNDERGROUND DRAINAGE STRUCTURES SHALL BE INSPECTED BY THE TOWN PRIOR TO BACKFILLING.
- DISTURBED AREAS AND LOAM STOCKPILES REMAINING IDLE FOR MORE THAN 30 DAYS BE STABILIZED OR COVERED WITH TARP.



**LOT LOCUS**  
SCALE: 1"=1000'

**SYMBOL KEY**

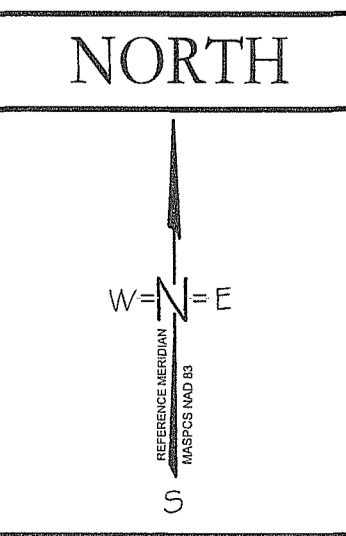
STONE WALL	— — — — —
BOUND	□
IRON PIPE / REBAR	○
DRILL HOLE	●
UTILITY POLE	⊕
WELL	⊙
TEST PIT	⊙
PERC TEST	⊙
BENCH MARK	⊕
IPF	⊕
IRF	⊕
BNDF	⊕
DHF	⊕
IRS	⊕
PMRK	⊕
IRON PIPE FOUND	⊕
REBAR FOUND	⊕
BOUND FOUND	⊕
DRILL HOLE FOUND	⊕
5/8 REBAR SET	⊕
PUNCH MARK	⊕



NO.	DATE	REVISION	BY
4	8/31/18	REVISED STONE DIAPHRAGM	JDD
3	8/27/18	ADDED TRENCH DRAIN DETAIL & DETAIL SHEET	JDD
2	8/17/18	REVISED PER REVIEW COMMENTS	JDD
1	8/1/18	REVISED PER REVIEW COMMENTS	JDD

JASON D. DUBOIS, P.E.  
 PROFESSIONAL ENGINEER  
 M.A.L.C. NO: 48724

JEREMY S. CROTEAU, P.L.S.  
 PROFESSIONAL LAND SURVEYOR  
 L.C. NO: 48722



**SITE PLAN**  
 SITE ADDRESS:  
 LOT A - WALKER FARM ROAD  
 SUBBURY, MA

CLIENT:  
 CRESCENT BUILDERS  
 94 NORTH MAIN STREET  
 WEST BOYLSTON, MA 01583

DRAWN BY: JSC  
 CK'D BY: JDD  
 DATE: 7-9-18  
 PROJECT #: 18-138

REV #: 4  
 SCALE: 1"=20'  
 DWG. NO.: C-1

**DC ENGINEERING & SURVEY INC.**  
 88 GRANBERRY MEADOW RD  
 CHARLTON, MA 01520  
 508-769-6669  
 508-341-2127

NOT TO SCALE

Rec'd  
Sept. 18, 2018  
2:30 pm  
D. J. [Signature]

Notice of Intent File # 301-1241

Addendum due Tuesday 9/18/2018

159 Concord Rd., Sudbury, Ma 01776

Rachael Donalds/Neri Donalds

( 617-803-6773 ) nedonalds@gmail.com

Dear Com Con,

As requested a letter of clarification that was in question from the last meeting w/ Sudbury Con Com. 8/6/18. Attached please also find letter from Joshua Fritz, District Manager & Lic. Arborist as was attached to the original NOI. Also replanting agenda below.

1. Remove the **declining** hickory in front lawn cutting stump low to ground.
2. **Structure prune** the pin oak in front lawn.
3. **Remove the declining elm** in the back boarder leave the spar to the height of 10' for wildlife habitat.
4. **Remove the dead ash** to the right of the driveway, cut stump low to the ground.
5. **Prune branches from wires going from road to house on wood- edge.**

**Replanting Agenda:**

1. See attached close up page of (existing plan submitted prior w/ noi) that shows the new planting location in green.
2. **Plant 6 shrubs evergreen** Kalmia latifolia (mountain laurel) which is located on the native plant list for Sudbury.

Thank you,

Neri Donalds

7/25/2018

Arborist Letter email - pruning and removals

DELIVERED TO INBOX



FOR TREE Removal + Trimming  
159 Concord Rd.  
Sudbury, MA 01776

Neri E. Donalds <nedonalds@gmail.com>

pruning and removals

Fritz, Joshua <JFritz@hartney.com>  
To: "Neri E. Donalds" <nedonalds@gmail.com>

Wed, Jul 25, 2018 at 10:36 AM

Hi Neri,

The below items are my recommendations to help minimize damage to your home and the service house drop:

1. Remove the limbs overhanging the house drop of the adjacent trees on the wood-edge on the left side of the property to allow 10' of vertical clearance from the wire.
2. Remove the declining hickory in the front lawn. Cut the stump low to the ground.
3. Structure Prune the pin oak in front of the house- Prune to improve canopy structure. Reduce branch length and weight at limb ends to develop branch taper and reduce storm damage potential. Reduce the weight and density in the canopy by 20% by thinning out live branches between 2 to 4 inches in diameter. Prune out deadwood greater than 2 inches in diameter.
4. Remove the declining elm in the back border. Leave the spar to the height of 10 feet for wildlife habitat.
5. Remove the dead Ash to the right of the driveway. Cut the stump low to the ground.

Please let me know if you have any questions about the recommendations or to confirm that you would like to proceed with the plan.

Best regards,

Joshua Fritz CTSP MCA #2149/ISA #NE-7013A  
District Manager & Arborist Representative  
Hartney Greymont A Davey Tree Expert Company  
2352 Main St. Concord, MA 01742

Tel. (978) 371-0322 ext. 6835

Fax (978) 461-1767/cell (617) 828-1409

email jfritz@hartney.com

Received  
JUL 25 2018  
Sudbury Conservation Department

2. of 5.

DAVID W. BURKE  
WETLANDS RESOURCE SPECIALIST  
APRIL 2018

40' FRONT SETBACK

WF-6

WF-5

WF-8

WF-7

WF-4

WF-9

WATTLE AND SILT FENCE  
INSTALLED BY  
S&M FARMS (2018-04-19)

89.5'(EX)

82.3'(EX)

WF-3

67.2' (ASBT)

20' SIDE SETBACK

25' BUFFER ZONE

50' BUFFER ZONE

LOT 1-B  
60,733 S.F.  
4 ACRES

Owned or Formerly  
THOMAS DONALDS  
Parcel ID: J08-0020  
83431 - PAGE 445

AREA UNDER  
CONSTRUCTION

WOOD  
DECK

PAVERS

BULKHEAD

#159  
2 STORY  
WOOD FRAME

ASPHALT  
PAVEMENT

WATTLE AND SILT FENCE  
INSTALLED BY  
S&M FARMS (2018-04-19)

7.1'

10.4' (ASBT)

15.8'

16.9'

APPROX. LOCATION  
1000 GAL. PUMP  
CHAMBER  
40' FRONT SETBACK

70.5'(EX)

APPROX. LOCATION  
1500 GAL. SEPTIC  
TANK

2" PVC FM

APPROX. LOCATION  
LEACHING FIELD

PROPOSED 5' WIDE BERM

ASPHALT  
DRIVEWAY  
RAZE

Replanting Plan

- - 6 Shrubs (evergreen)  
Kalmia latifolia - mountain Laurel

3.0' ST.

2)

ROAD

# Sudbury NATIVE Plant LIST



- Lonicera dioica (limber or wild honeysuckle)
- Lyonia ligustrina (male-berry, male-blueberry)
- Prunus virginiana (chokecherry)
- Rhododendron canadense (rhodora)
- Rhododendron viscosum (swamp azalea)
- Rhus copallinum (dwarf or winged sumac)
- Rhus glabra (smooth sumac)
- Rhus hirta (staghorn sumac)
- Ribes cynosbati (prickly gooseberry, dogberry)
- Rosa blanda (early wild rose, smooth rose) *we have*
- Rosa carolina (Carolina rose)
- Rubus idaeus ssp. strigosus (red raspberry)
- Rubus occidentalis (black raspberry, thimbleberry)
- Rubus odoratus (thimbleberry)
- Salix bebbiana (Bebb willow, long-beaked willow)
- Salix discolor (pussy willow)
- Sambucus canadensis (elderberry, common elder)
- Sambucus racemosa var. pubens (scarlet elderberry, red-berried elder)
- Spiraea tomentosa (steeplesh, hardhack)
- Vaccinium angustifolium (low-bush blueberry)
- Vaccinium corymbosum (highbush blueberry)
- Viburnum acerifolium (maple leaf viburnum)
- Viburnum lentago (black haw, nannyberry)
- Viburnum nudum var. cassinoides (wild raisin)

## Shrubs (evergreen)

- Arctostaphylos uva-ursi (bearberry, kinnikinnik)
- Epigaea repens (trailing arbutus)
- Gaultheria hispidula (creeping snowberry)
- Gaultheria procumbens (wintergreen, checkerberry)
- Juniperus communis (common juniper)
- Kalmia angustifolia (sheep laurel, lambkill kalmia)
- Kalmia latifolia (mountain laurel) (67)
- Taxus canadensis (Canada yew)

390:  
45:  
Five  
Crows  
#1.

## Shrub G-

- Vaccinium macrocarpon, American Cranberry

## Herbaceous G-

- Andromeda polifolia, Bog Rosemary
- Gaultheria procumbens, Wintergreen/Teaberry/Checkerberry
- Parthenocissus quinquefolia, Virginia Creeper/Woodbine

## Herbaceous- Alisma plantago-aquatica, Water Plantain

- Caltha palustris, Marsh Marigold
- Cares comosa, Bearded sedge
- Carex lucustris, Lake Sedge
- Carex lupulina, Hop Sedge
- Carex vulpinoidea, Fox Sedge
- Cinna arundinacea, Stout Wood-Redgrass







# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Name: Lisa Lopez E-Mail Address: lisashaner3@yahoo.com

Mailing Address: 73 Blackmer Rd.

City/Town: Sudbury State: MA Zip Code: 01776

Phone Number: 978-443-3040 / 617-710-1517 Fax Number (if applicable): \_\_\_\_\_

2. Representative (if any):

Firm: \_\_\_\_\_

Contact Name: \_\_\_\_\_ E-Mail Address: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/Town: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone Number: \_\_\_\_\_ Fax Number (if applicable): \_\_\_\_\_

## B. Determinations

1. I request the Sudbury Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance or bylaw** of:

\_\_\_\_\_  
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).
- \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Received

4/16 13 2010

Sudbury Conservation Department



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

73 Blackmer Rd

Street Address

Sudbury

City/Town

L11

Assessors Map/Plat Number

0209

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

Carport - the majority is over existing driveway. 72.25 square feet are over the lawn.

There is a perennial stream at edge of property.

- c. Plan and/or Map Reference(s):

Carport

Title

7/24/18

Date

Title

Date

Title

Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Construct car port - the majority is over existing driveway. 72.25 square feet are over lawn.



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

---

---

---

---

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

---

---

---



**WPA Form 1- Request for Determination of Applicability**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Lisa Lopez

Name

73 Blackmer Rd

Mailing Address

Sudbury

City/Town

MA

State

01776

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

*L.S. Lopez*

Signature of Applicant

7/24/18

Date

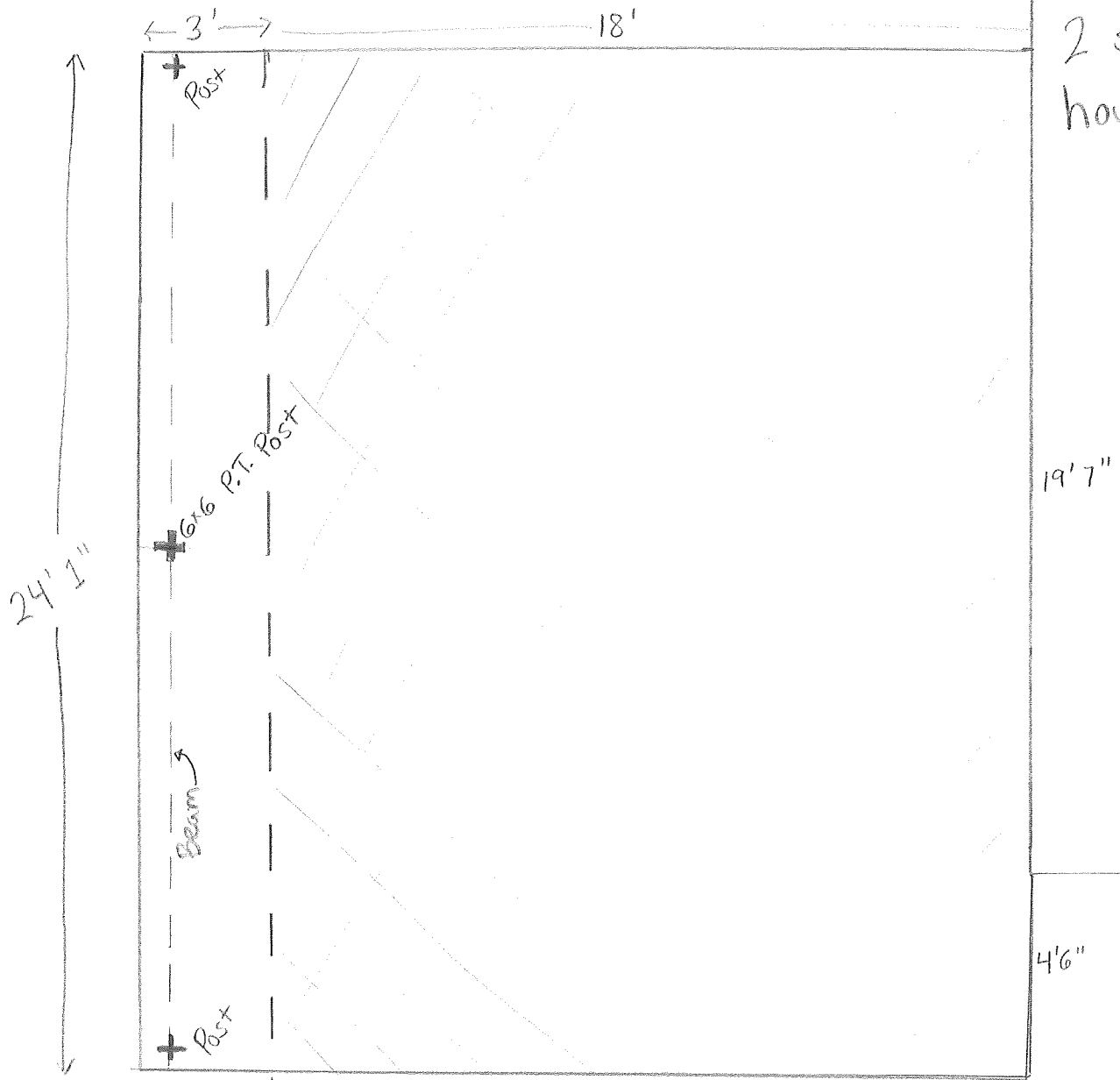
Signature of Representative (if any)

Date

CARPORT

73 BLACKMER RD

SUDBURY

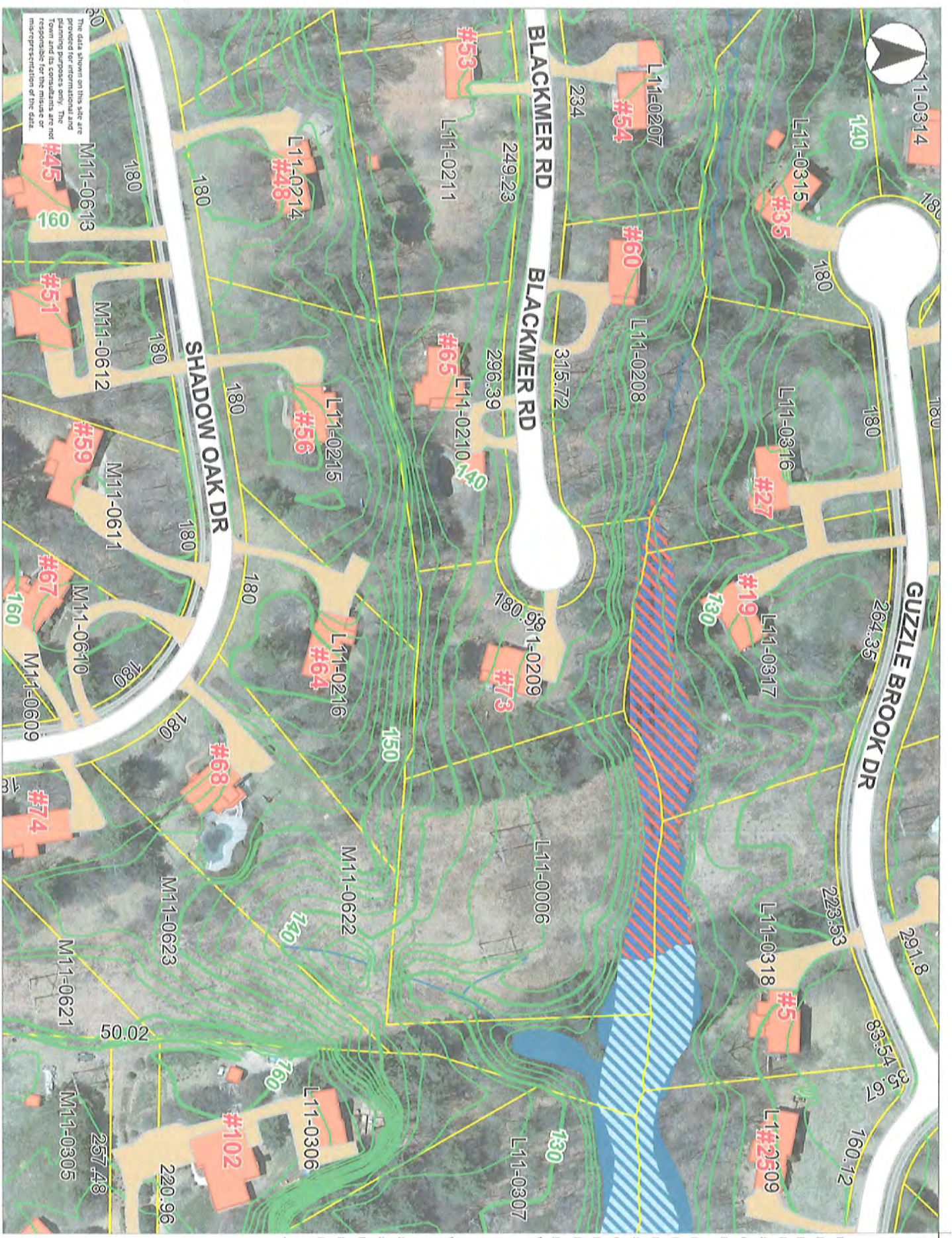


Existing  
2 story  
house

19' 7"

4' 6"

Existing driveway



The data shown on this site are provided for informational and planning purposes only. The user and its consultants are not responsible for the use or misrepresentation of the data.

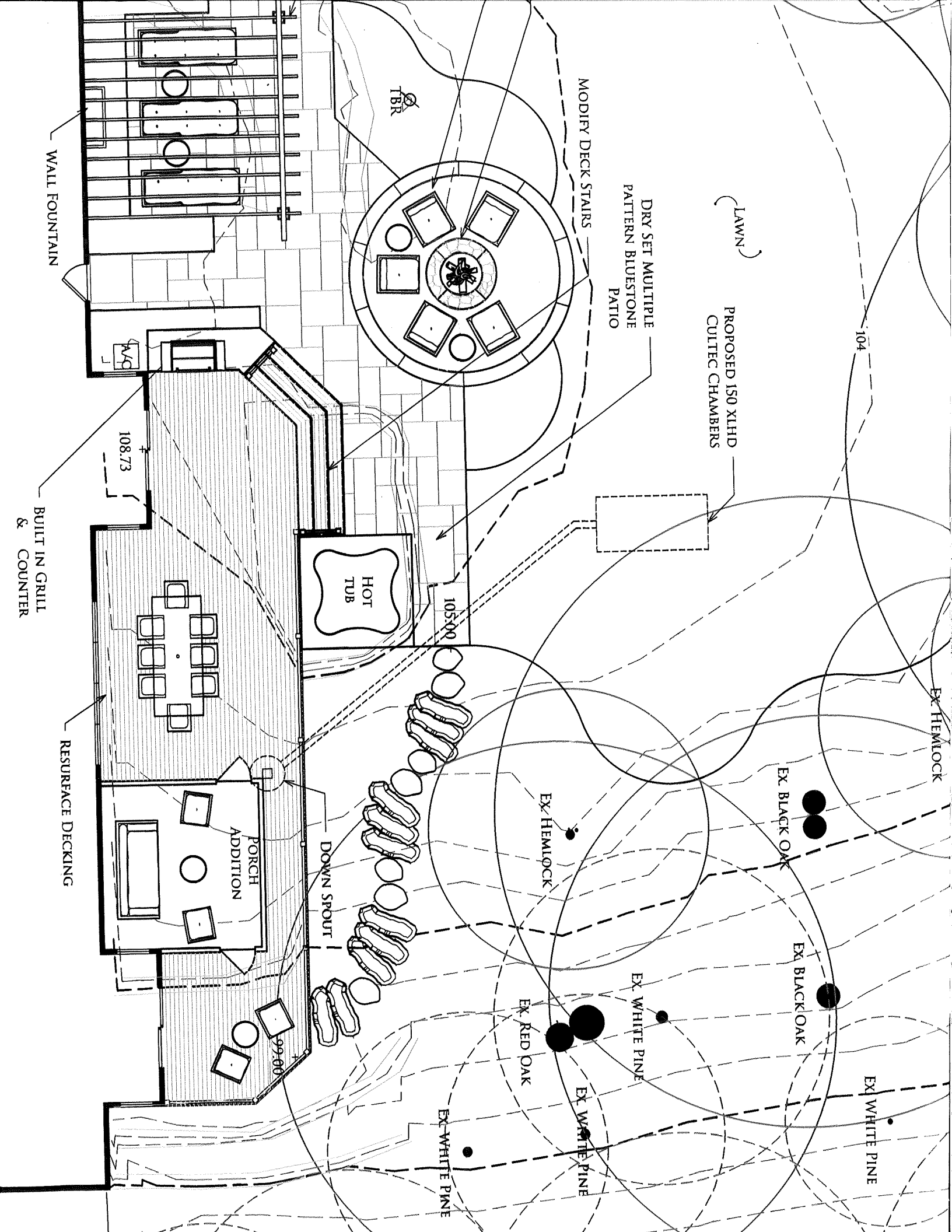


Printed on 08/13/2018 at 03:58 PM

MapOnline



- Bridges
- Driveways
- Parking Lots
- Medians
- Structures
- Cuts
- Roads
- Paved Roads
- Un-Paved Roads
- Intersectors
- Intermediate Contours
- Parcels with Outlots
- Scenic Roads
- Certified Vernal Pools
- Estimated Habitats of Rare
- Potential Vernal Pools - 12
- Wetlands Town 2008
- Wetlands Town 2008
- Open Water
- Deep Marsh
- Shallow Marsh/Slack
- Sag
- Sub Swamp
- Wooded Swamp Det
- Wooded Swamp Cor
- Wetlands DEP 1/2009
- Marsh/Bog
- Open Water
- Reservoir (with PWS)
- Streams Ohio
- Streams CIR
- Lake/Reservoir
- Buildings
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Town Boundary



LAWN

PROPOSED 150 XLHD  
CULTEC CHAMBERS

DRY SET MULTIPLE  
PATTERN BLUESTONE  
PATIO

MODIFY DECK STAIRS

TBR

WALL FOUNTAIN

BUILT IN GRILL  
& COUNTER

RESURFACE DECKING

PORCH  
ADDITION

DOWN SPOUT

HOT  
TUB

108.73

105.00

99.00

104

EX HEMLOCK

EX BLACK OAK

EX BLACK OAK

EX WHITE PINE

EX HEMLOCK

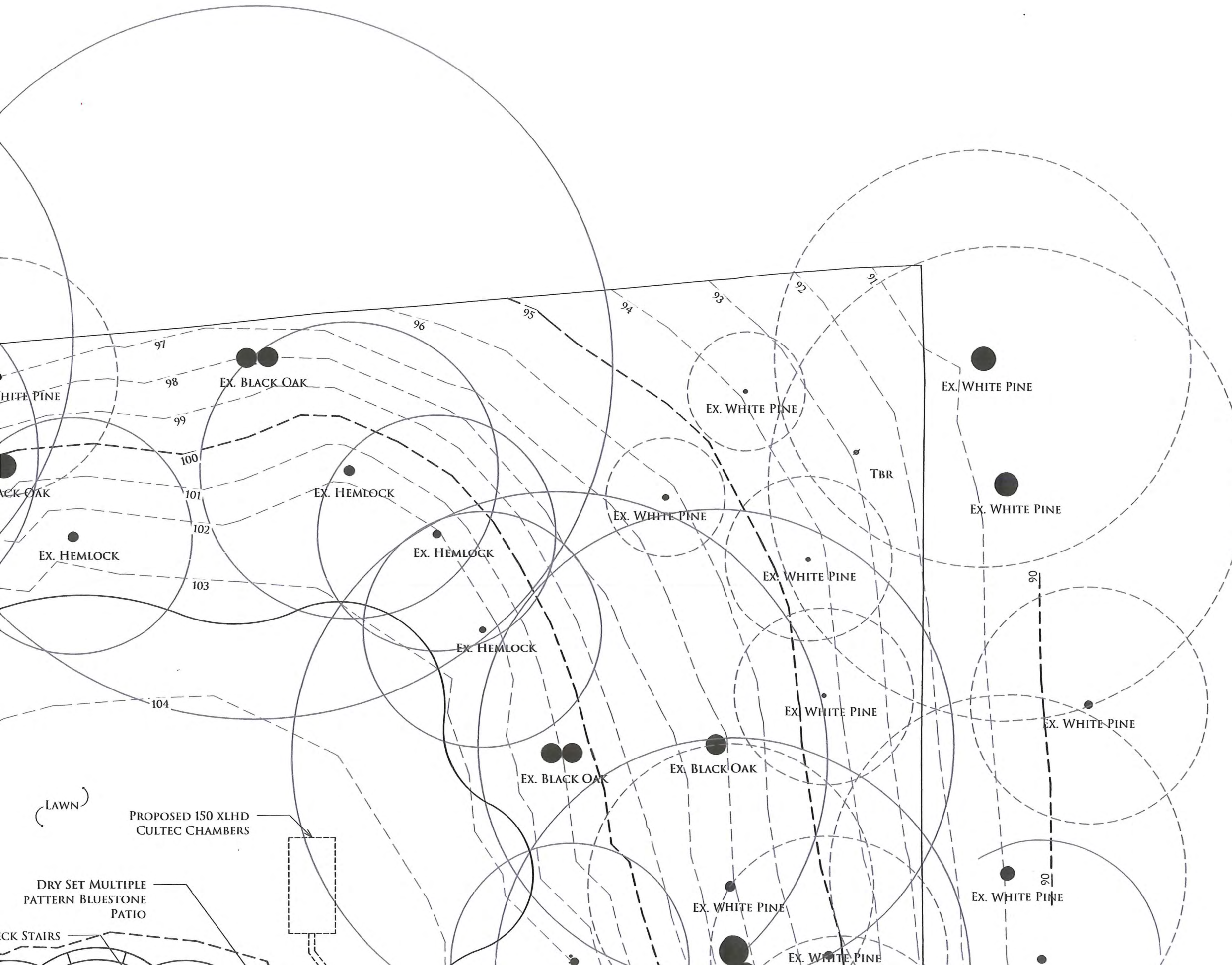
EX WHITE PINE

EX RED OAK

EX WHITE PINE

EX WHITE PINE





### CULTEC Recharger® 150XLH

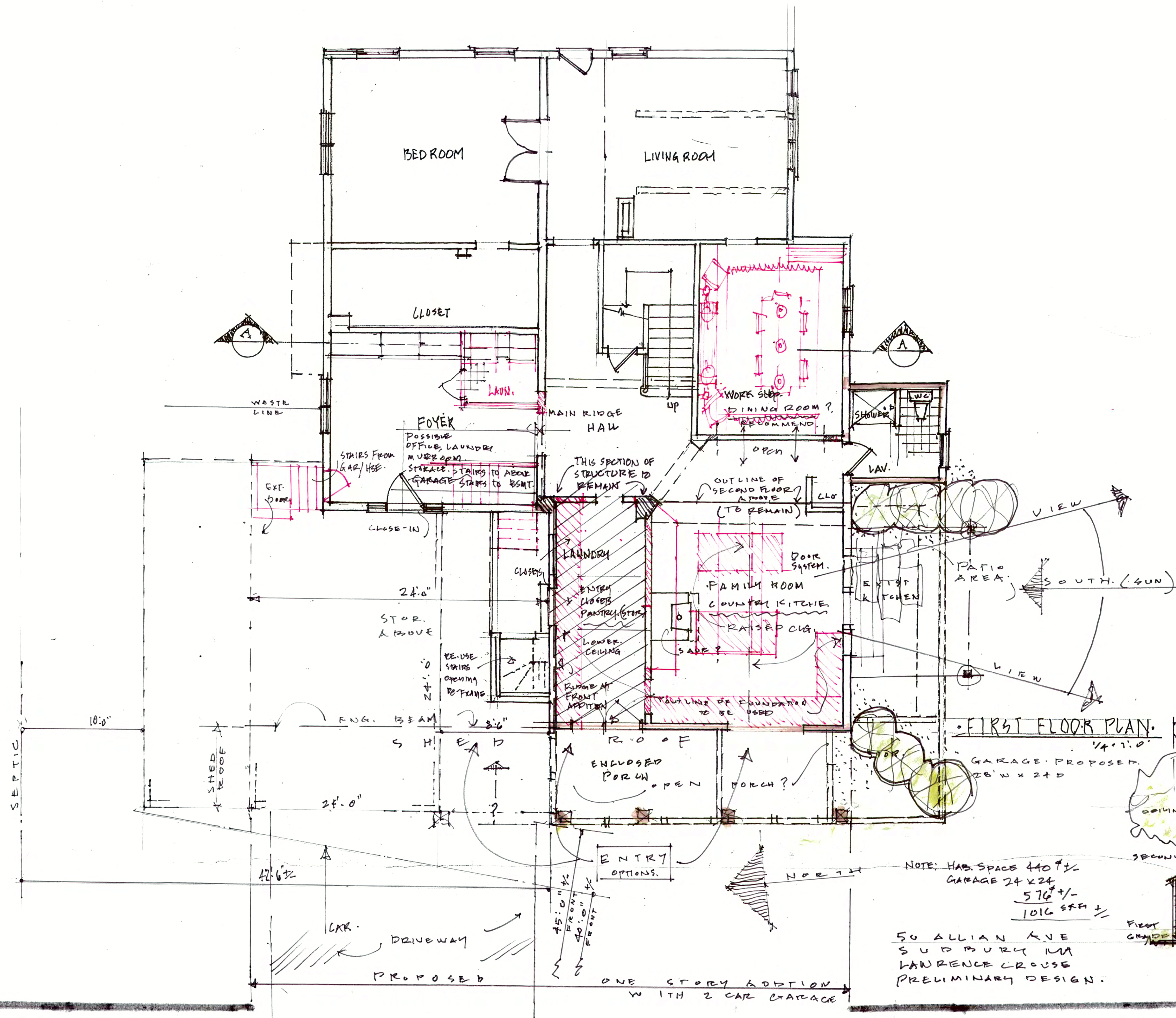
The Recharger® 150XLHD is an 18.5" (470 mm) to lower profile chamber and is typically used for installations with depth restrictions or when a larger infiltrative area is required. The Recharger® 150XLHD has the side portal internal manifold feature. HVLV® FC-Feed Connectors are inserted into the side portals to create the internal manifold.

Size (L x W x H)	11" x 33" x 18.5" 3.35 m x 838 mm x 470 mm
Installed Length	10.25' 3.12 m
Length Adjustment per Run	0.75' 0.23 m
Chamber Storage	2.65 ft <sup>3</sup> /ft 0.25 m <sup>3</sup> /m 27.16 ft <sup>3</sup> /unit 0.77 m <sup>3</sup> /unit
Min. Installed Storage	4.89 ft <sup>3</sup> /ft 0.45 m <sup>3</sup> /m 50.17 ft <sup>3</sup> /unit 1.42 m <sup>3</sup> /unit
Min. Area Required	33.31 ft <sup>2</sup> 3.09 m <sup>2</sup>
Min. Center-to-Center Spacing	3.25' 0.99 m
Max. Allowable Cover	12' 3.66 m
Max. Inlet Opening in End Wall	12" 300 mm
Max. Allowable O.D. in Side Portal	10.25" 260 mm
Compatible Feed Connector	HVLV FC-24 Feed Connector

Calculations are based on installed chamber length. Min. installed storage includes 6" (152 mm) stone base, 6" (152 mm) stone above top of chamber and typical stone surround at 39" (991 mm) center-to-center spacing.

	Stone Foundation Depth		
	6" 152 mm	12" 305 mm	18" 457 mm
Chamber and Stone Storage Per Chamber	50.17 ft <sup>3</sup> 1.42 m <sup>3</sup>	56.83 ft <sup>3</sup> 1.61 m <sup>3</sup>	63.49 ft <sup>3</sup> 1.80 m <sup>3</sup>
Min. Effective Depth	2.54' 0.77 m	3.04' 0.93 m	3.54' 1.08 m
Stone Required Per Chamber	2.13 yd <sup>3</sup> 1.63 m <sup>3</sup>	2.75 yd <sup>3</sup> 2.10 m <sup>3</sup>	3.36 yd <sup>3</sup> 2.57 m <sup>3</sup>

Calculations are based on installed chamber length.



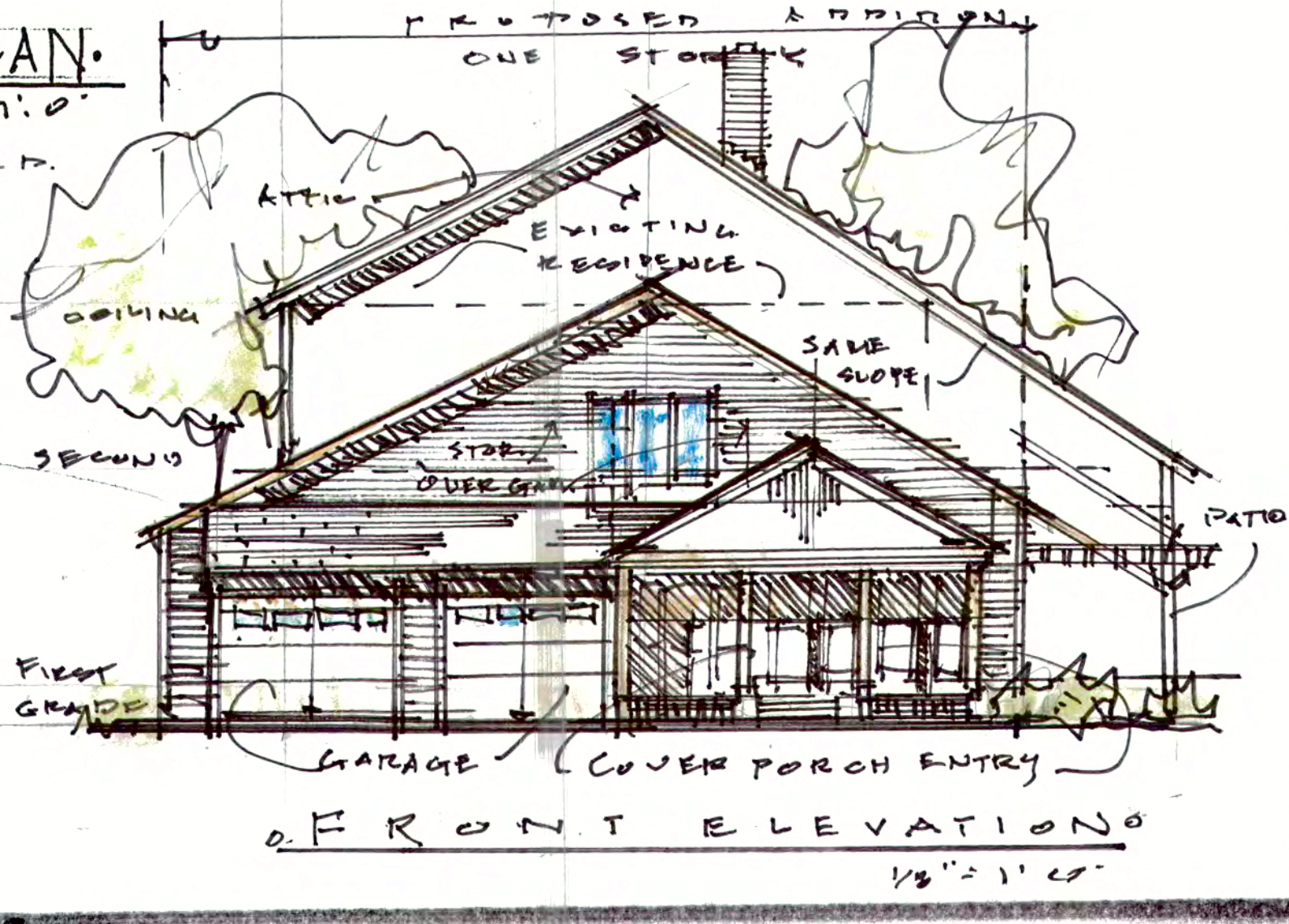
JAMES RYAN  
 50 ALLAN AVE  
 SABBURY MA 01776

**FIRST FLOOR PLAN.**

1/4" = 1'-0"  
 GARAGE PROPOSED  
 24' x 24'

NOTE: HAB. SPACE 440 +/-  
 GARAGE 24 x 24  
 576 +/-  
 1016 SFF +/-

50 ALLAN AVE  
 S U P B U R Y I N  
 LAWRENCE CROUSE  
 PRELIMINARY DESIGN.



**FRONT ELEVATION**  
 1/2" = 1' 0"



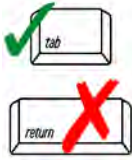
# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Steve Pickford, Innkeeper; Longfellow's Wayside Inn		spickford@wayside.org	
Name		E-Mail Address	
72 Wayside Inn Rd.			
Mailing Address			
Sudbury		MA	01776
City/Town		State	Zip Code
978-443-1776		-	
Phone Number		Fax Number (if applicable)	

2. Representative (if any):

-

Firm

---

Contact Name	E-Mail Address	
Mailing Address		
City/Town	State	Zip Code
Phone Number	Fax Number (if applicable)	

## B. Determinations

1. I request the Sudbury Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Sudbury  
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).  
work consists only of removal of invasive plant species



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

<u>Wayside Inn Rd.</u>	<u>Sudbury</u>
Street Address	City/Town
<u>L02/L03</u>	<u>0009/0002</u>
Assessors Map/Plat Number	Parcel/Lot Number

b. Area Description (use additional paper, if necessary):

Area #1 (see narrative) -is located at the edge of a large meadow in the meadow section between the Wayside Inn service road and a stream that flows into Josephine's Pond. The plants to be cleared are at the meadow edge within the riverfront area of the stream. Areas #2 is located on the south side of Wayside Inn Road just west of the Grist Mill. The work area parallels Wayside Inn Road. The area now consists of an historic stonewall and assorted non-native grasses and othe plants that have colonized the area suounding the wall. Several patches of native Virginia creeper cover the wall. Area #2 also has a section between the wall and Grist Mill Pond where the trees have died from what appears to be a result of strangulation by non-native vines. These trees will be removed. The healthy birch and large pine at the edge of the pond will remain. Adjacent to the emergency overflow spill way from the pond are two additional trees that have been strnaguled by vines.

c. Plan and/or Map Reference(s):

<u>Aerial photos Sudbury GIS Maps On Line Wayside Inn Area</u>	<u></u>
Title	Date
<u></u>	<u></u>
Title	Date
<u></u>	<u></u>
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

See Attached Narrative

---

---

---

---

---

---

---

---

---

---

---

---



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

All work is located within buffer/adjacent upland or already-disturbed riverfront area.

---

---

---

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

Assessor's records

---

---

---



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

\_\_\_\_\_  
Name

\_\_\_\_\_  
Mailing Address

\_\_\_\_\_  
City/Town

\_\_\_\_\_  
State

\_\_\_\_\_  
Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Steve Pickford, Innkeeper; Longfellow's Wayside Inn		spickford@wayside.org	
Name		E-Mail Address	
72 Wayside Inn Rd.			
Mailing Address			
Sudbury		MA	01776
City/Town		State	Zip Code
978-443-1776		-	
Phone Number		Fax Number (if applicable)	

2. Representative (if any):

-

Firm

---

Contact Name	E-Mail Address	
Mailing Address		
City/Town	State	Zip Code
Phone Number	Fax Number (if applicable)	

## B. Determinations

1. I request the Sudbury Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Sudbury  
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).  
work consists only of removal of invasive plant species



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

<u>Wayside Inn Rd.</u>	<u>Sudbury</u>
Street Address	City/Town
<u>L02/L03</u>	<u>0009/0002</u>
Assessors Map/Plat Number	Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

Area #1 (see narrative) -is located at the edge of a large meadow in the meadow section between the Wayside Inn service road and a stream that flows into Josephine's Pond. The plants to be cleared are at the meadow edge within the riverfront area of the stream. Areas #2 is located on the south side of Wayside Inn Road just west of the Grist Mill. The work area parallels Wayside Inn Road. The area now consists of an historic stonewall and assorted non-native grasses and othe plants that have colonized the area suounding the wall. Several patches of native Virginia creeper cover the wall. Area #2 also has a section between the wall and Grist Mill Pond where the trees have died from what appears to be a result of strangulation by non-native vines. These trees will be removed. The healthy birch and large pine at the edge of the pond will remain. Adjacent to the emergency overflow spill way from the pond are two additional trees that have been strnaguled by vines.

- c. Plan and/or Map Reference(s):

<u>Aerial photos Sudbury GIS Maps On Line Wayside Inn Area</u>	_____
Title	Date
_____	_____
Title	Date
_____	_____
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

See Attached Narrative

---

---

---

---

---

---

---

---

---

---

---

---





## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

All work is located within buffer/adjacent upland or already-disturbed riverfront area.

---

---

---

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

Assessor's records

---

---

---



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

\_\_\_\_\_  
Name

\_\_\_\_\_  
Mailing Address

\_\_\_\_\_  
City/Town

\_\_\_\_\_  
State

\_\_\_\_\_  
Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date

Rec'd  
9/5/18



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

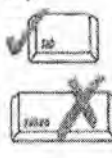
**WPA Form 1- Request for Determination of Applicability**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

City/Town \_\_\_\_\_

**A. General Information**

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Name Ali and Afra Hayat E-Mail Address afrarali@gmail.com

Mailing Address 1020 Livingston Street

City/Town Taunton, MA State MA Zip Code 01876

Phone Number (774) 232-1195 Fax Number (If applicable) \_\_\_\_\_

2. Representative (if any):

Firm Crescent Builders, Inc.

Contact Name Iqbal Ali E-Mail Address ali@equitypaper.com

Mailing Address 92 N MAIN ST

City/Town West Boylston State MA Zip Code 01583

Phone Number (508) 842-2600 Fax Number (If applicable) \_\_\_\_\_

**B. Determinations**

1. I request the SUDBURY Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance or bylaw** of:

Name of Municipality \_\_\_\_\_

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Received

SEP 05 2018

Sudbury Conservation Department



**WPA Form 1- Request for Determination of Applicability**

City/Town

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**C. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

Street Address Lot A, Walker Farm Rd / 64 Goodman's Hill Rd City/Town Sudbury  
Assessors Map/Plat Number K10 Parcel/Lot Number 0206

- b. Area Description (use additional paper, if necessary):

PROPERTY LOCATED ON THE SOUTHWEST CORNER OF  
WALKER FARM Rd. / GOODMAN'S HILL Rd. A MAN MADE  
DRAINAGE BASIN IS LOCATED ACROSS WALKER FARM Rd.  
ON THE OTHER SIDE OF THE STREET 75' WAY FROM  
PROPOSED WORK.

- c. Plan and/or Map Reference(s):

Title <u>SITE PLAN</u>	Date <u>7-9-18</u>
Title _____	Date _____
Title _____	Date _____

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

A SINGLE FAMILY HOUSE IS PROPOSED WITH STORMWATER  
CONTROLS FOR ROOF / DRIVEWAY / YARD RUNOFF.  
THE PROPERTY ALSO HAS A PROPOSED SEPTIC SYSTEM  
AND MUNICIPAL WATER SERVICE.



**C. Project Description (cont.)**

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

ONLY A PORTION OF REGRAVING IS WITHIN 100' OF  
A POTENTIAL RESOURCE AREA (MAN MADE DRAINAGE BASIN).  
LOCATED ACROSS THE STREET FROM PROPOSED WORK.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 1 - Request for Determination of Applicability

City/Town \_\_\_\_\_

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Frederick A. Walker

Name

10843 Broadwater Drive

Mailing Address

Fairfax

City/Town

VA

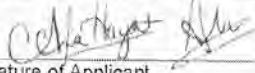
State

22032

Zip Code

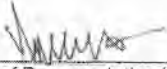
Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

  
Signature of Applicant

9/4/2018

Date

  
Signature of Representative (if any)

9/5/2018

Date



170

#150

#157

WAYSIDE INN RD

Area A

Area of dead tree removal

WAYSIDE INN RD

#104

DUTTON RD

#28

#72

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

BOSTON POST RD

BOSTON POST RD 20

20

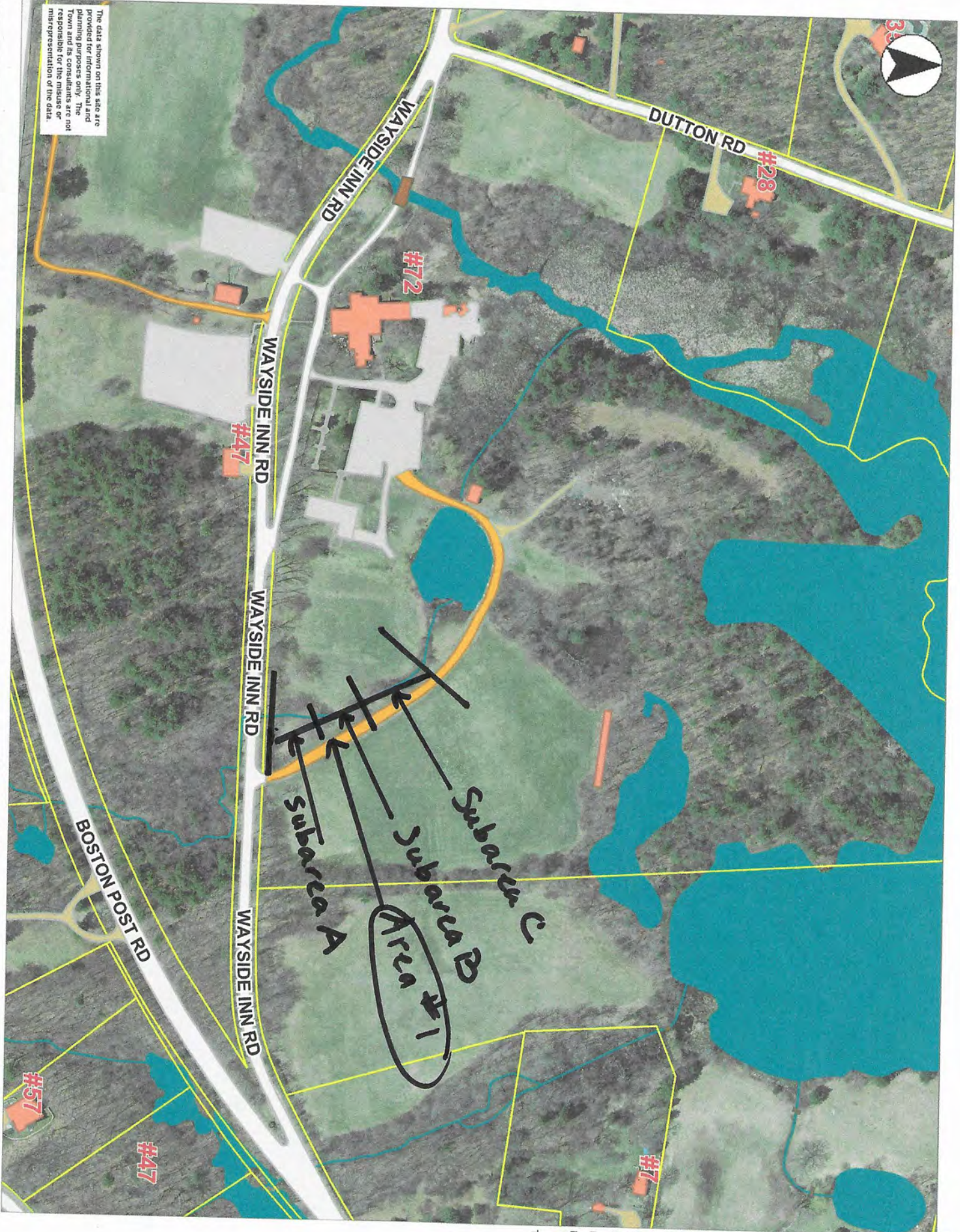
- Bridges
- Driveways
- Parking Lots
- Medians
- Sidewalks
- Cuts
- Roads
- Unpaved Roads
- Parcels with Other
- Scenic Roads
- Streams Ortho
- Streams CIR
- Lake/Reservoir
- Buildings
- MA Highways
- US Highway
- Numbered Routes
- Town Boundary



0 350 700 ft

Printed on 08/23/2018 at 02:57 PM

Wayside Inn Plant Removal MapsOnline 8/23/18



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 350 700 ft

Printed on 08/23/2018 at 02:56 PM



- Bridges
- Driveways
- Parking Lots
- Medians
- Sidewalks
- Cuts
- Roads
- Paved Roads
- Unpaved Roads
- Parcels with Orthos
- Scenic Roads
- Streams Ortho
- Streams CIR
- Lake/Reservoir
- Buildings
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Town Boundary

Wayside Inn  
Invasive Plant Removal  
MapOnline



### **Area #1 - Service Entrance Road:**

The invasive plant removal consists of removal of oriental bittersweet, multiflora rose, grapevines; non-native honey suckle, glossy buckthorn, and nightshade that have grown up around the stream flowing into Josephine's Pond. The bittersweet and grape vines have killed most of the mature trees along the stream. The dead trees will be removed.

Sub-area A will consist of mowing between the existing mowed edge of the field into the tree line approximately 20' to cut the invasive plants and return this area to field as it previously had been maintained. With the exception of native goldenrod and Joe-Pye weed, this area consists of all invasive plants. The goldenrod and Joe-pye will revegetate during the growing season. This area will be maintained with continued cutting as needed during the growing season. Dead trees will be removed in this area. Viable trees will remain.

Sub-area B consists of a mix of invasive and native shrubs, plants and trees. The native shrubs include silky dogwood, alder, goldenrod, Joe-pye weed, jewelweed; and elderberry. The plants to remain in this area will be flagged prior to any work and a meeting will be held with the contractor to ensure these native plants are identified to remain. . Dead trees will be removed in this area. Viable trees will remain.

Sub-area C consists mostly of invasive plants along much of the stream. The last section of Sub-area C is all Joe-pye weed and jewelweed. This area can be mowed once a year in the fall after the plants have naturally seeded out mainly in the area as a wet meadow bordering on the stream.

### **Area #2 – Wayside Inn Road and Grist Mill Pond Dam**

The scope of work proposed for this area includes the clearing of vegetation from the old stone wall that parallels Wayside Inn Road on the west end of the Wayside Inn property. Additionally, tree removal consisting of removal of all trees within a small grove on the northeast side of Grist Mill Pond is planned. These trees are all at least partially dead and completely covered with invasive vines. The large white birch and large white pond at the pond edge will remain. Two trees compromised by invasive vines will be removed from the north side of the overflow spillway from Grist Mill Pond. This will allow the remaining tree, a large specimen Sycamore, to thrive. A shrub located within the overflow emergency spillway channel will be removed.

No herbicides or pesticides will be used anywhere for this project. No cutting or clearing of any vegetation will occur directly on the bank of the stream or within a wetland area except for riverfront area.