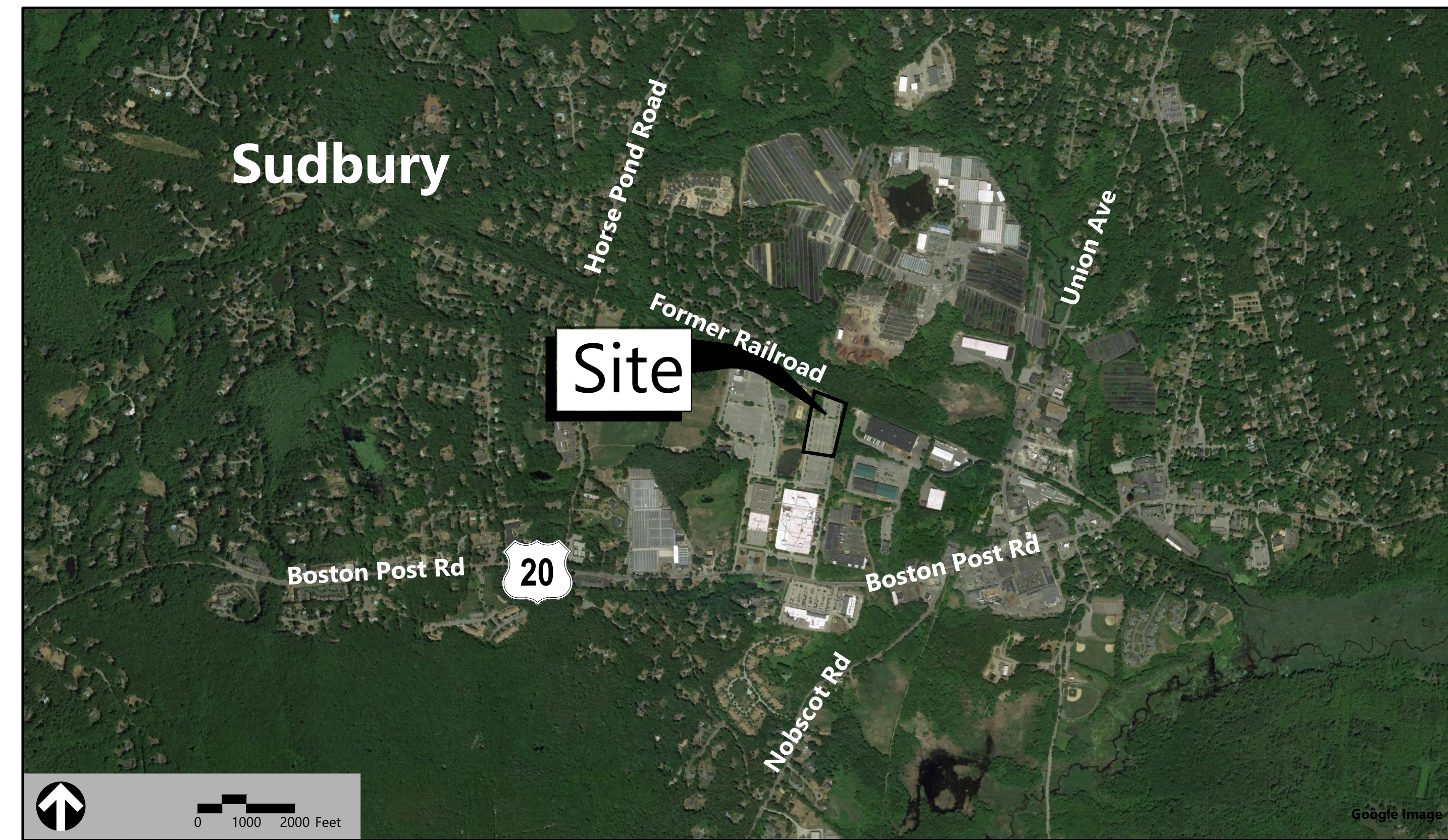


# Site Plans

Issued for	Local Approvals
Date Issued	April 26, 2017
Latest Issue	April 26, 2017

## Highcrest at Meadow Walk

2-23 Farmstead Lane  
Sudbury, MA



Source: Google Maps



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**Surveyor**  
**Wetlands Scientist**  
**Site Civil Engineer**  
**Transportation Engineer**  
**Landscape Architect**

**Geotechnical Engineer**  
Ransom Consulting, Inc.  
Pease International Tradeport  
112 Corporate Drive  
Portsmouth, NH  
(603) 436-1490

### Owner

BPR Sudbury Development LLC  
c/o National Development  
2310 Washington Street  
Newton Lower Falls, MA 02462

### Applicant

Pulte Homes of New England LLC  
115 Flanders Road, Suite 200  
Westborough, MA 01581

**Assessor's Map: K07-0011 and K07-0013**

### Sheet Index

No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	April 26, 2017
C-2	Overall Site Plan	April 26, 2017
C-3	Layout and Materials Plan	April 26, 2017
C-4	Grading, Drainage, and Erosion Control Plan	April 26, 2017
C-5	Utility Plan	April 26, 2017
C-6.1	Site Details	April 26, 2017
C-6.2	Site Details	April 26, 2017
C-6.3	Site Details	April 26, 2017
C-6.4	Site Details	April 26, 2017
L-1	Planting Plan	April 26, 2017
L-2	Planting Plan	April 26, 2017
L-3	Planting Notes and Details	April 26, 2017

### Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1 - Sv-6	Existing Conditions Plan of Land	February 29, 2016





101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

Legend

Legend table with columns: Exist., Prop., and descriptions for various site features like property lines, pavements, curbs, and utilities.

Abbreviations

Abbreviations table with columns: General and Utility, listing codes and their corresponding terms like ABAN, ACR, ADJ, etc.

Notes

- General notes 1-14 detailing construction requirements, safety, and utility procedures.

Layout and Materials

- Layout and Materials notes 1-6 regarding dimensions, curbing, and architectural details.

Demolition

- Demolition notes 1-5 detailing removal of existing structures and utilities.

Erosion Control

- Erosion Control notes 1-4 regarding site stabilization and sediment control.

Existing Conditions Information

- Existing Conditions Information notes 1-3 detailing survey data and wetland delineation.

Document Use

- Document Use notes 1-3 regarding electronic versions and scaling of drawings.

Highcrest at Meadow Walk  
2-23 Farmstead Ln.  
Sudbury, MA

Revision table with columns: No., Revision, Date, Apprd.

Designed by RLG, Checked by KFS, Issued for, Date

Local Approvals April 26, 2017

Legend and General Notes

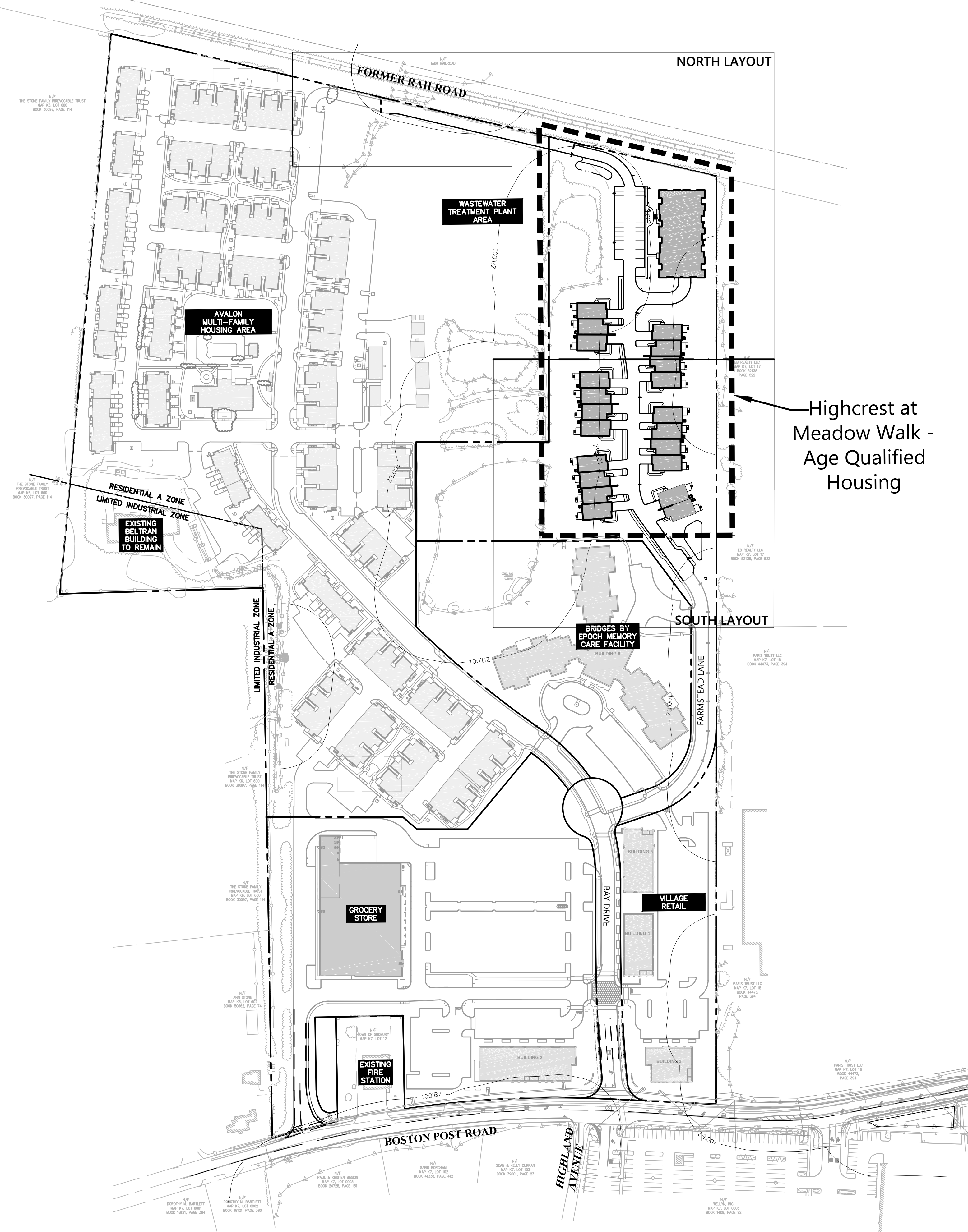


C-1

Sheet 1 of 12

Karen F. Staffier  
4/28/2017

Project Number 13125.08



Highcrest at  
Meadow Walk -  
Age Qualified  
Housing

### Highcrest at Meadow Walk

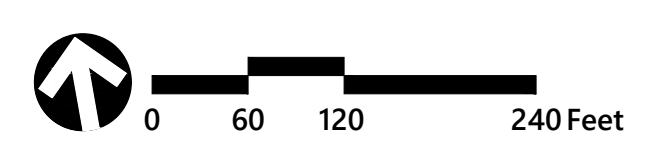
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	App'd.

Designed by	Checked by
RLG	KFS
Issued for	Date
Local Approvals	April 26, 2017

### Overall Site Plan



**C-2**  
Sheet 2 of 12

*Karen Staffier*  
4/26/2017

Project Number  
13125.08

### Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
TOTAL SPACES	9 x 18.5	9 x 18.5	162 <sup>1</sup>	157 <sup>111</sup>

<sup>1</sup> PER MASTER DEVELOPMENT PLAN DATED 4/23/2016 (REV. 10/31/2016), 162 SPACES WERE PROPOSED FOR DEVELOPMENT AREA C.  
<sup>111</sup> THE NUMBER OF SPACES PROVIDED IS 157, WHICH IS 5 (FIVE) SPACES BELOW THE REQUIREMENT (3% REDUCTION).  
<sup>1111</sup> FINAL DISTRIBUTION OF ACCESSIBLE PARKING SPACES AND COMPLIANCE WITH ADA/AAAS REQUIREMENTS SUBJECT TO REFINEMENT IN CONJUNCTION WITH PREPARATION OF CONSTRUCTION DRAWINGS.

NOTES:  
1. INTERNAL PROPERTY LINES ARE BASED ON THE APPROVED SUBMISSION PLAN DATED JUNE 1, 2016 BY VHB

### Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	
RS-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	

### Highcrest at Meadow Walk 2-23 Farmstead Ln. Sudbury, MA

No.	Revision	Date	Aspd.

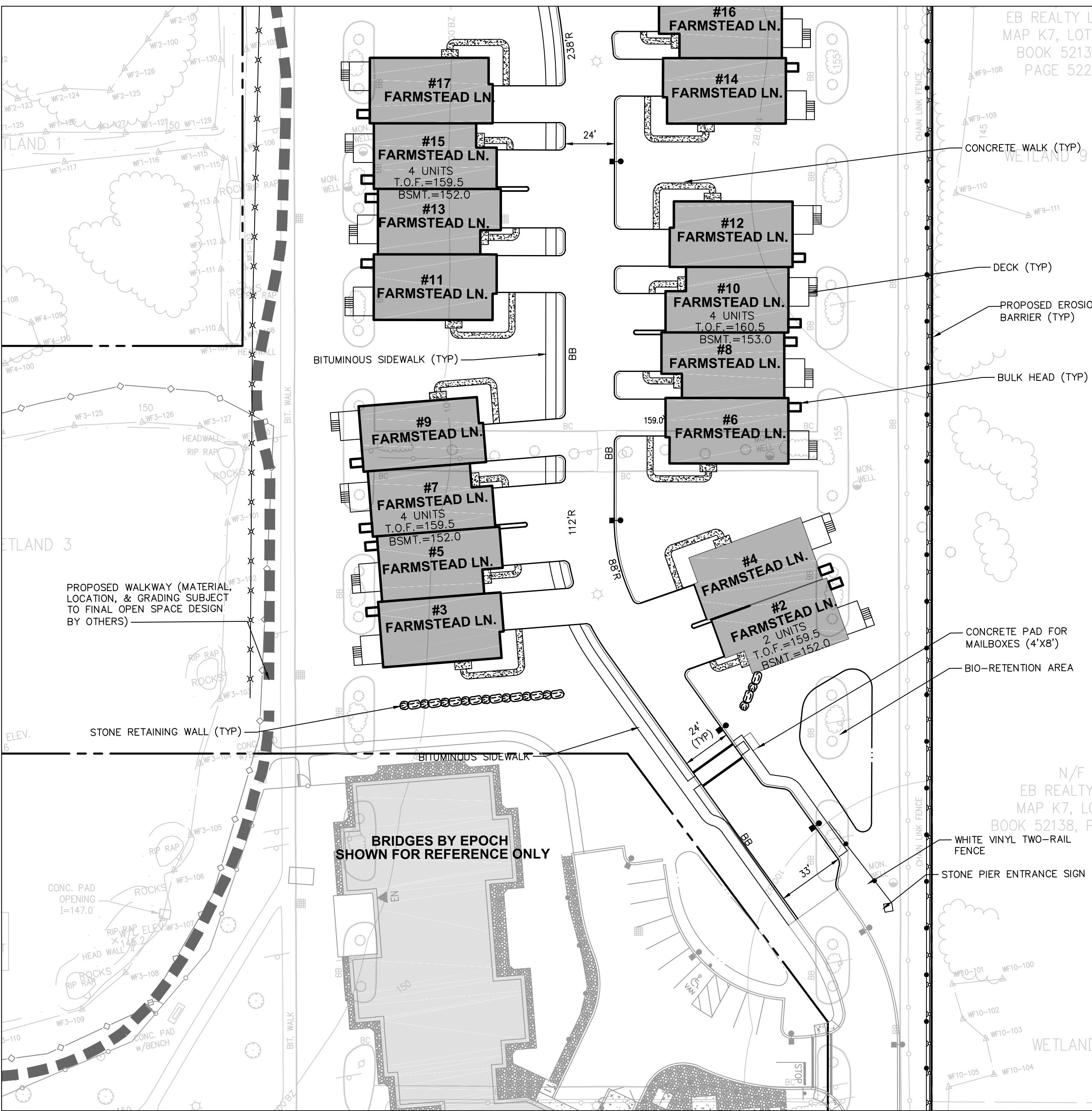
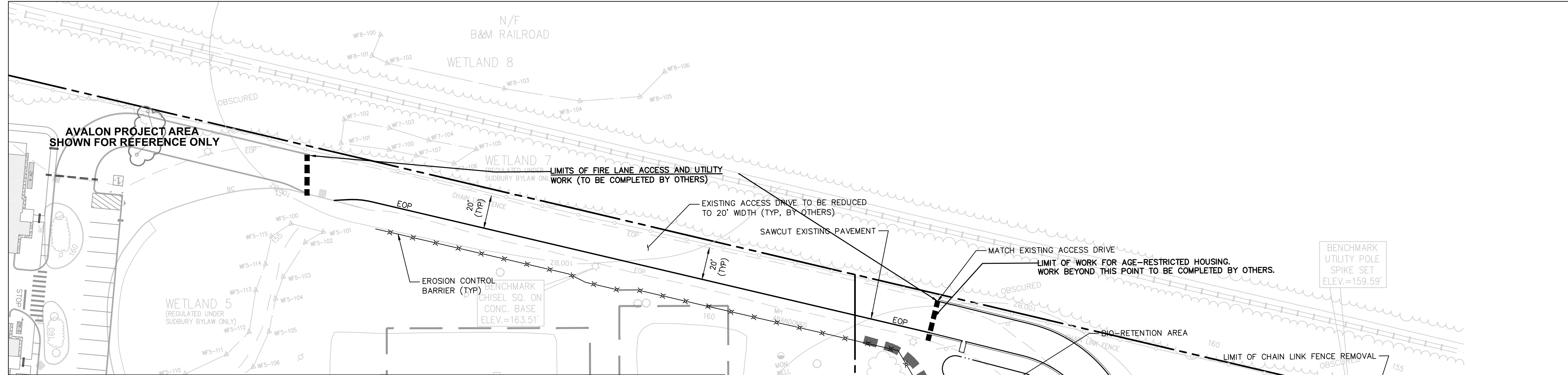
Designed by: **RLG** Checked by: **KFS**  
Issued for: **Local Approvals** Date: **April 26, 2017**

### Layout and Materials Plan

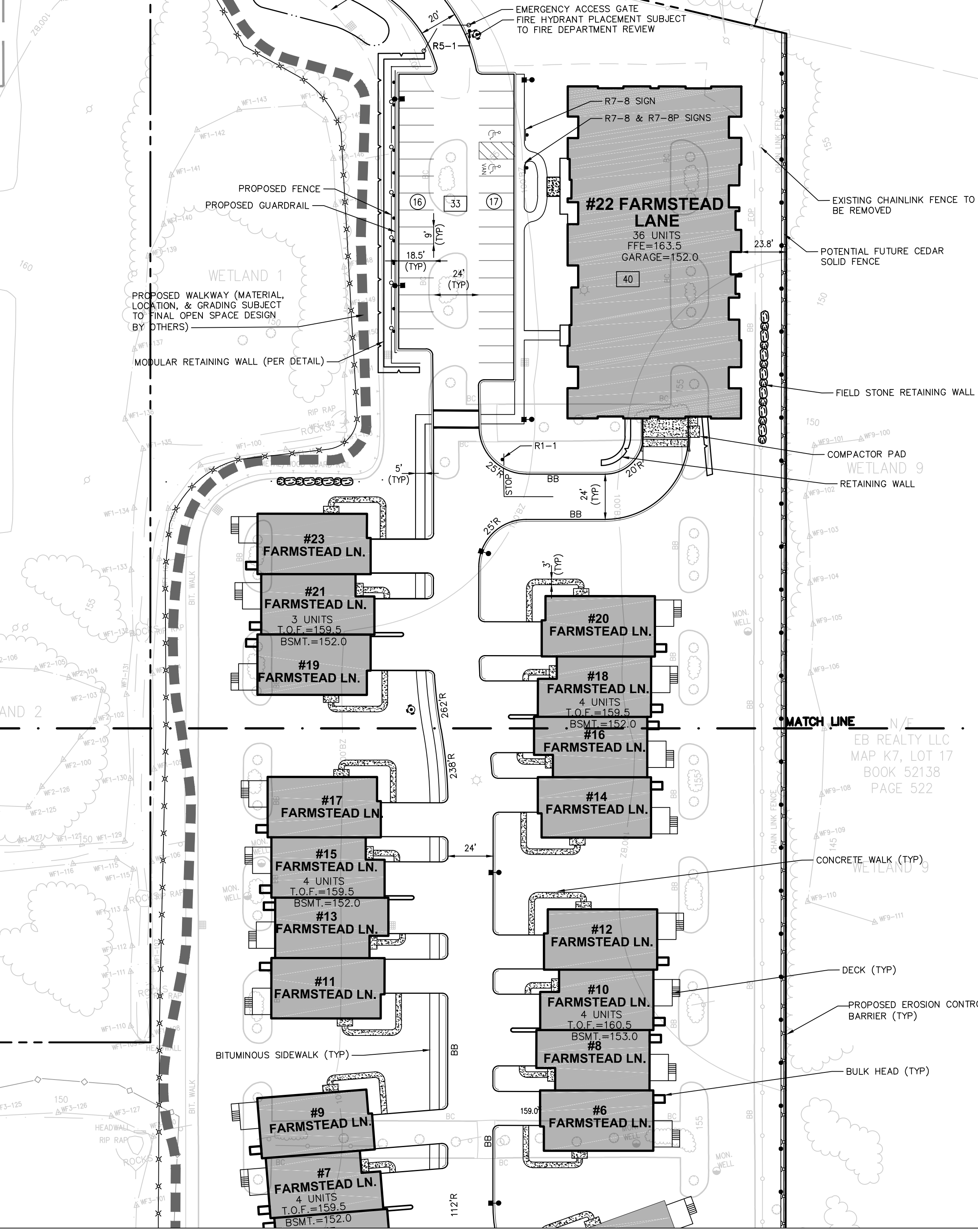
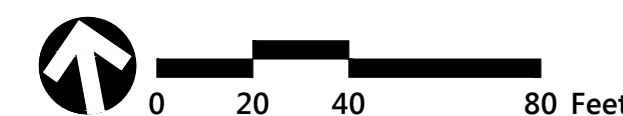


**C-3**

03 of 12



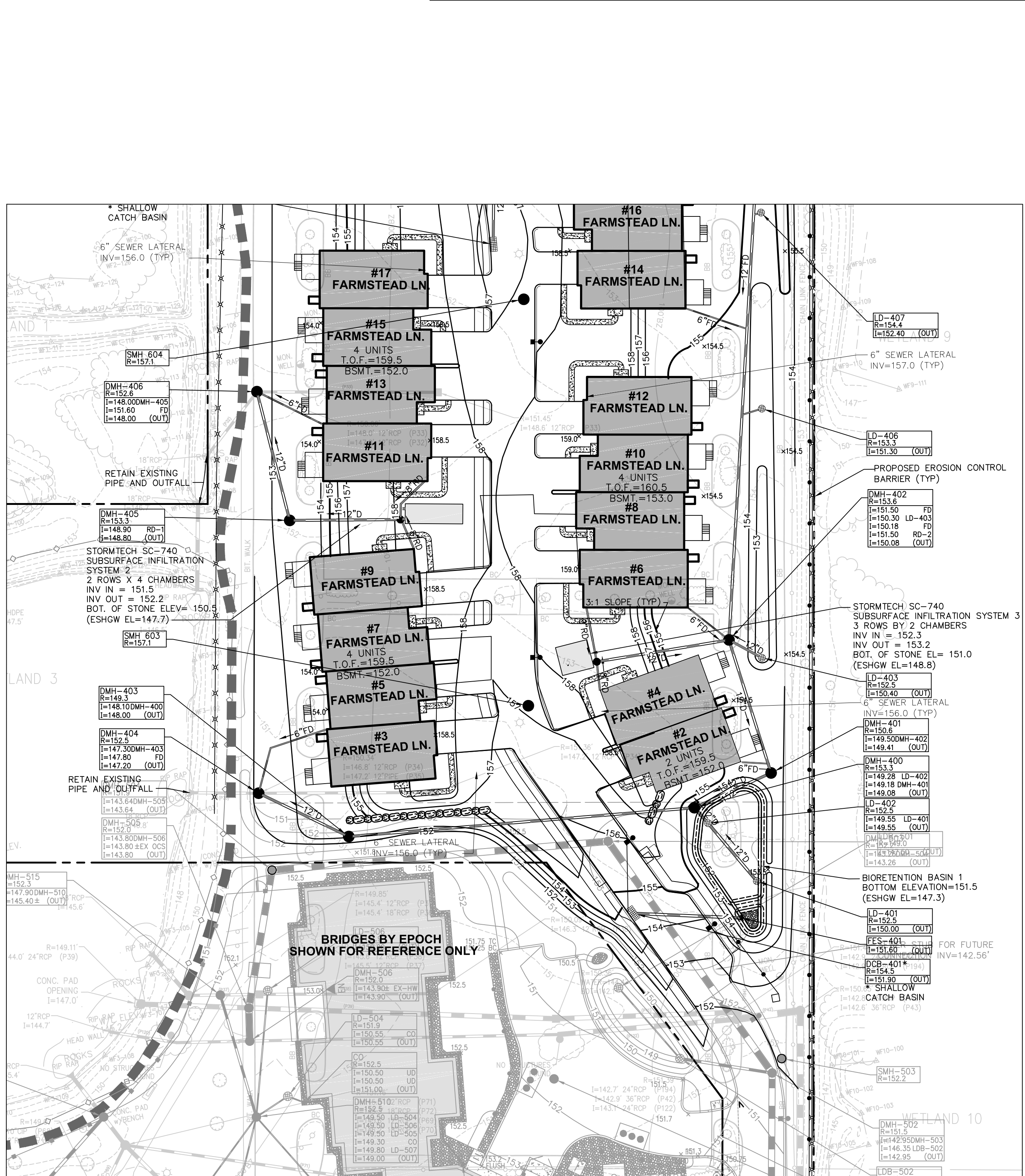
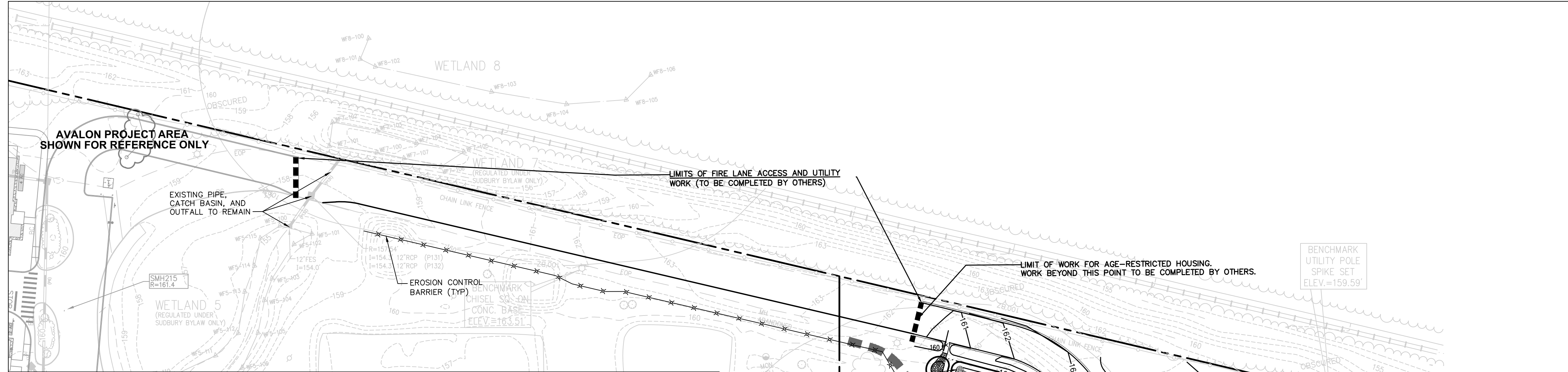
SOUTH LAYOUT



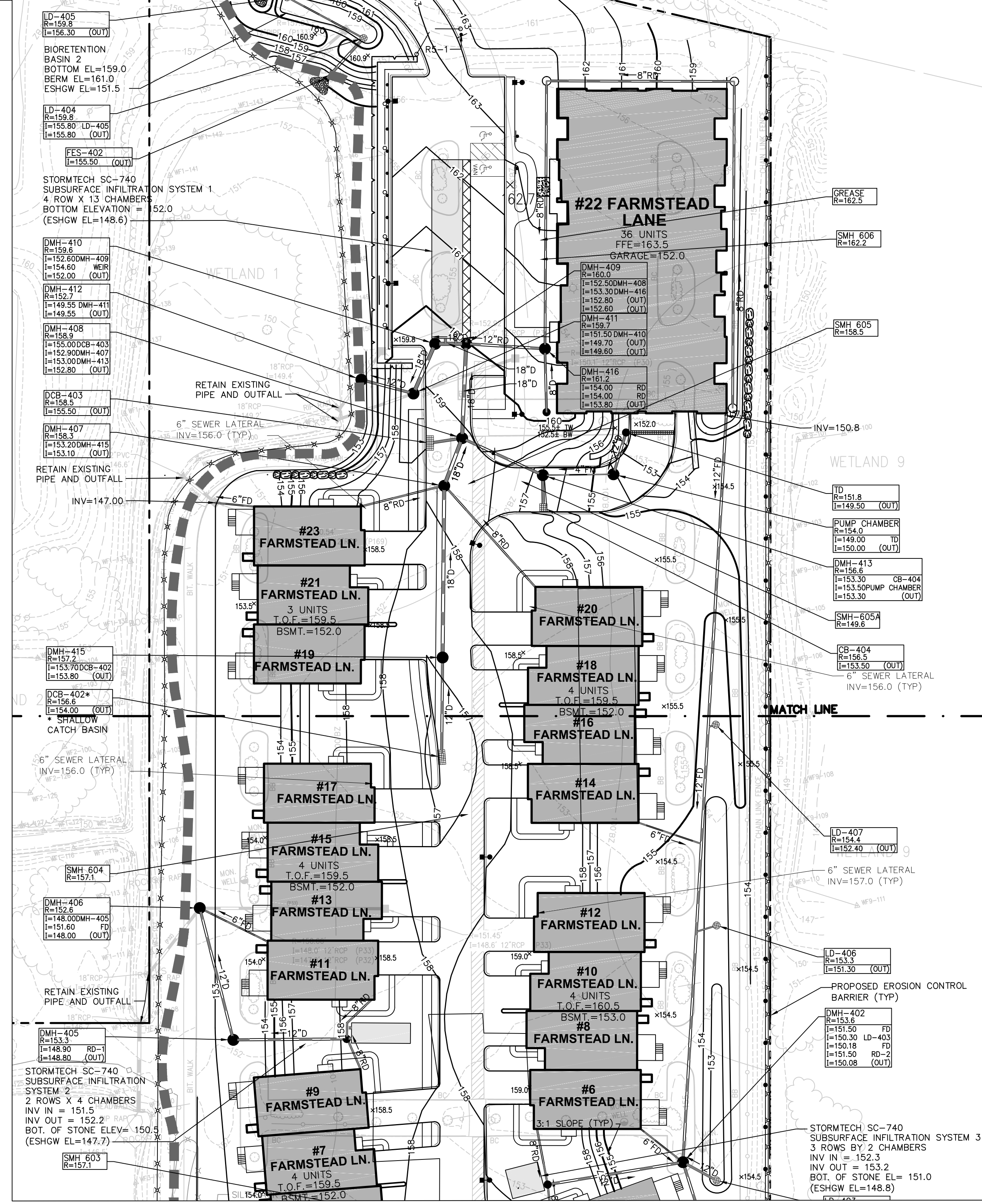
NORTH LAYOUT



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



SOUTH LAYOUT



NORTH LAYOUT

### Highcrest at Meadow Walk

2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	Aspt.

Designed by: **RLG** Checked by: **KFS**

Issued for: **Local Approvals** Date: **April 26, 2017**

### Grading, Drainage, and Erosion Control Plan

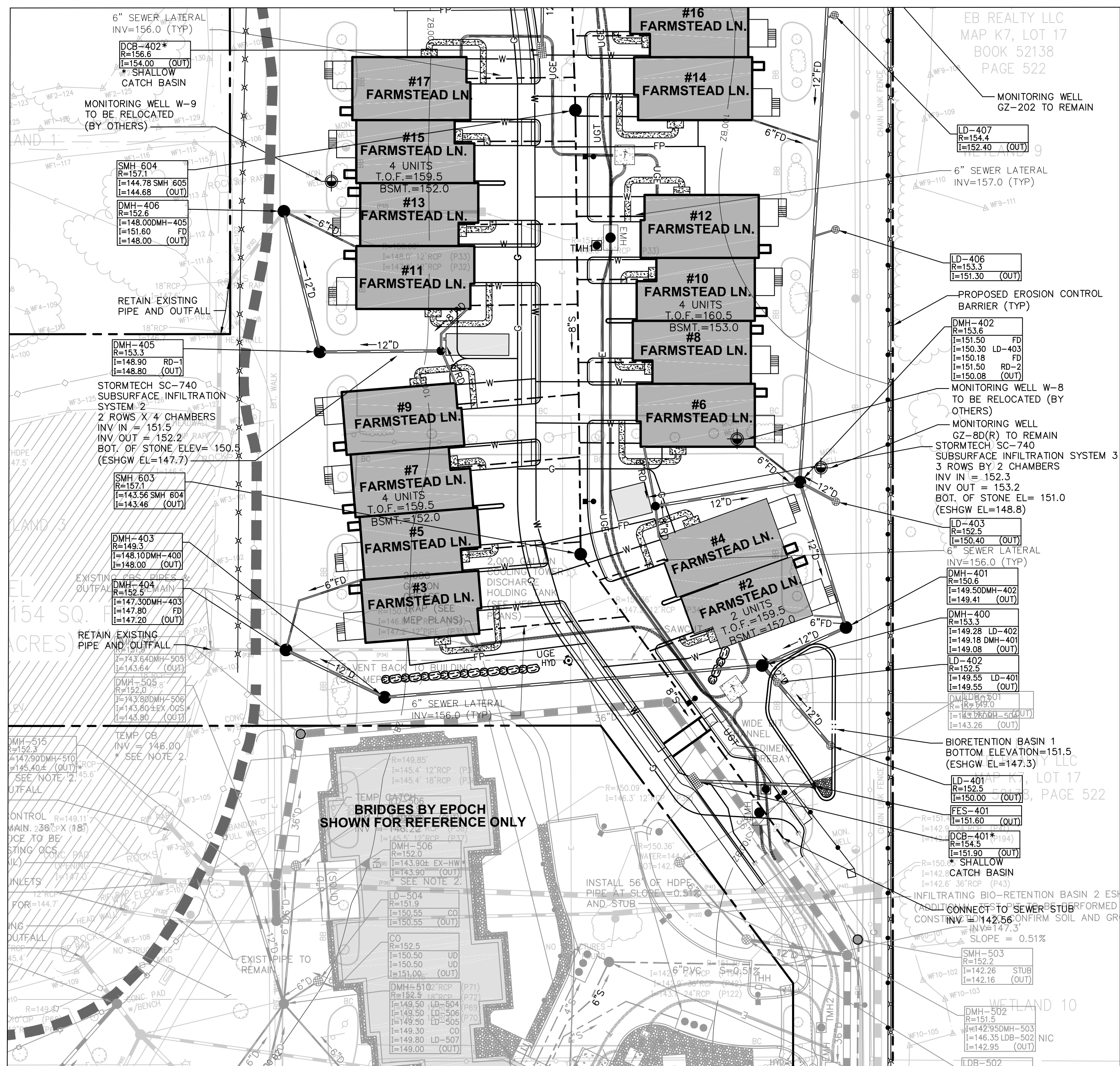
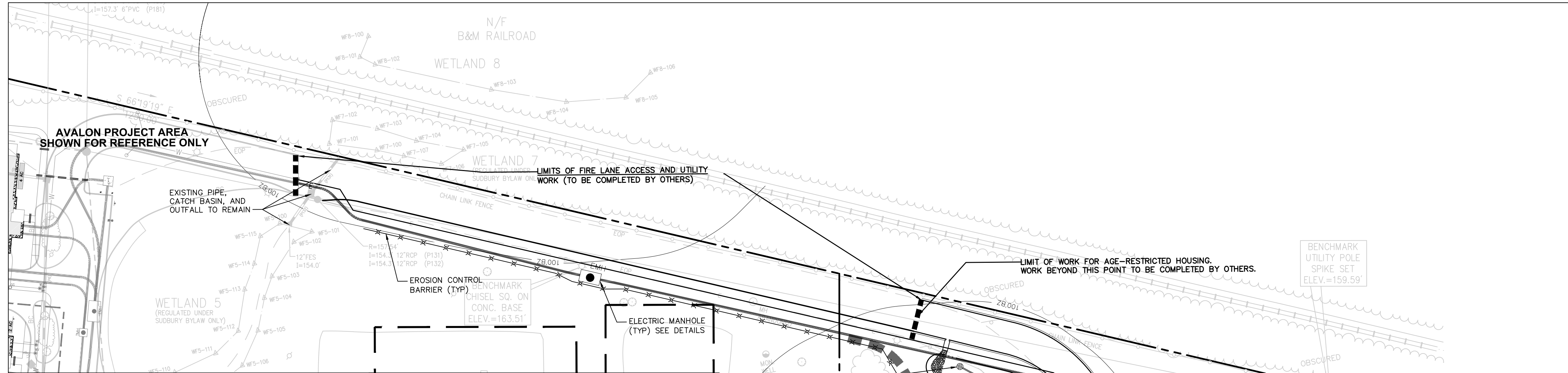
COMMONWEALTH OF MASSACHUSETTS  
KAREN F. STAFFIER  
CIVIL  
No. 45885  
REGISTERED PROFESSIONAL ENGINEER

C-4

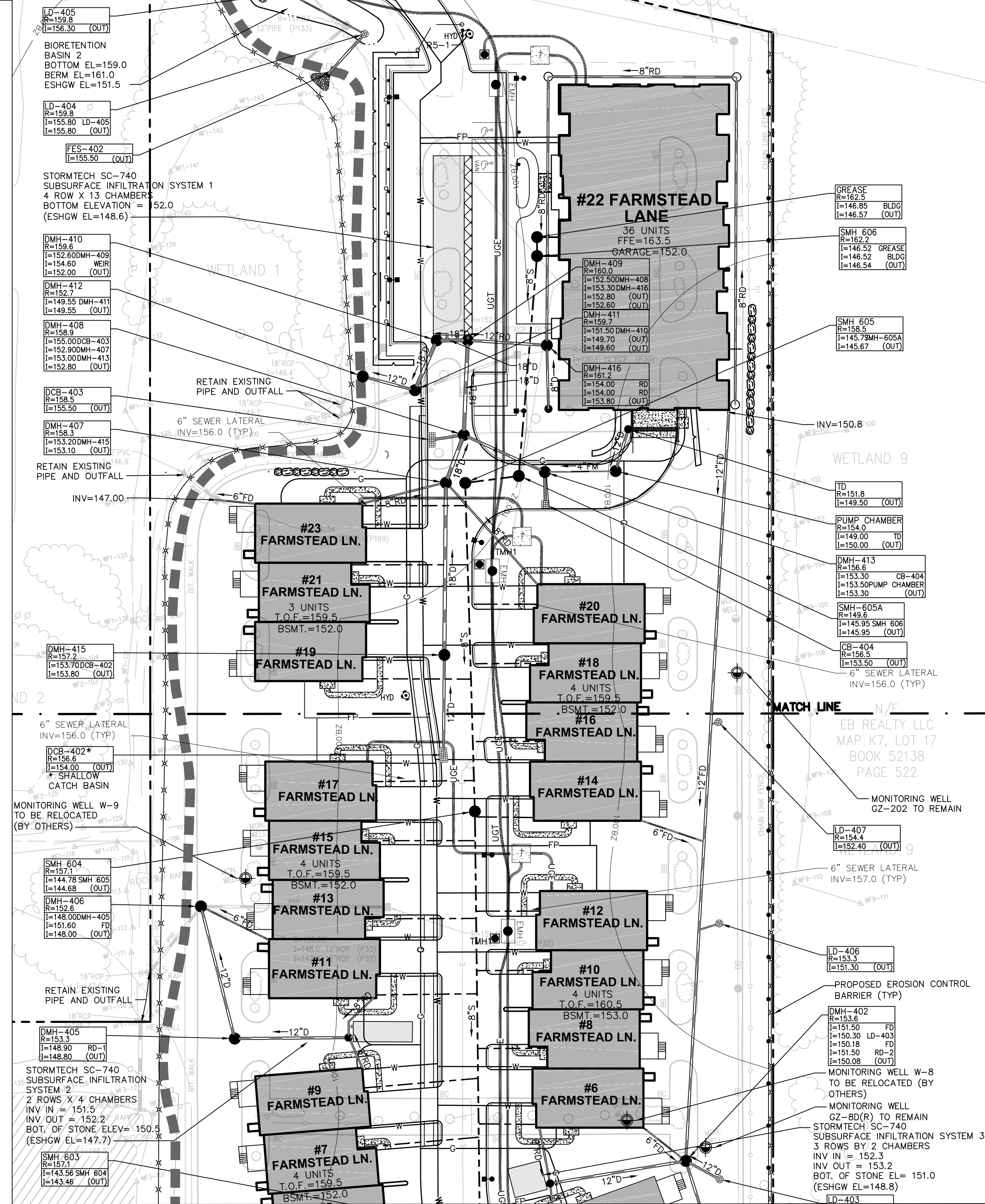
Sheet of

04 12

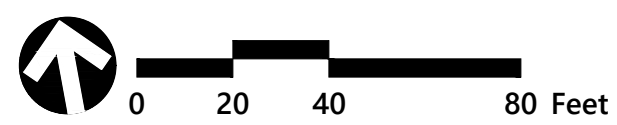
NOTES:  
1. SIZE AND LOCATION OF DOMESTIC WATER FEEDS, FIRE PROTECTION CONNECTIONS, SEWER LATERAL, AND OTHER UTILITIES SUBJECT TO FINALIZATION.



SOUTH LAYOUT



NORTH LAYOUT



### Highest at Meadow Walk

2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	App'd.

Designed by: **RLG** Checked by: **KFS**

Local Approvals April 26, 2017

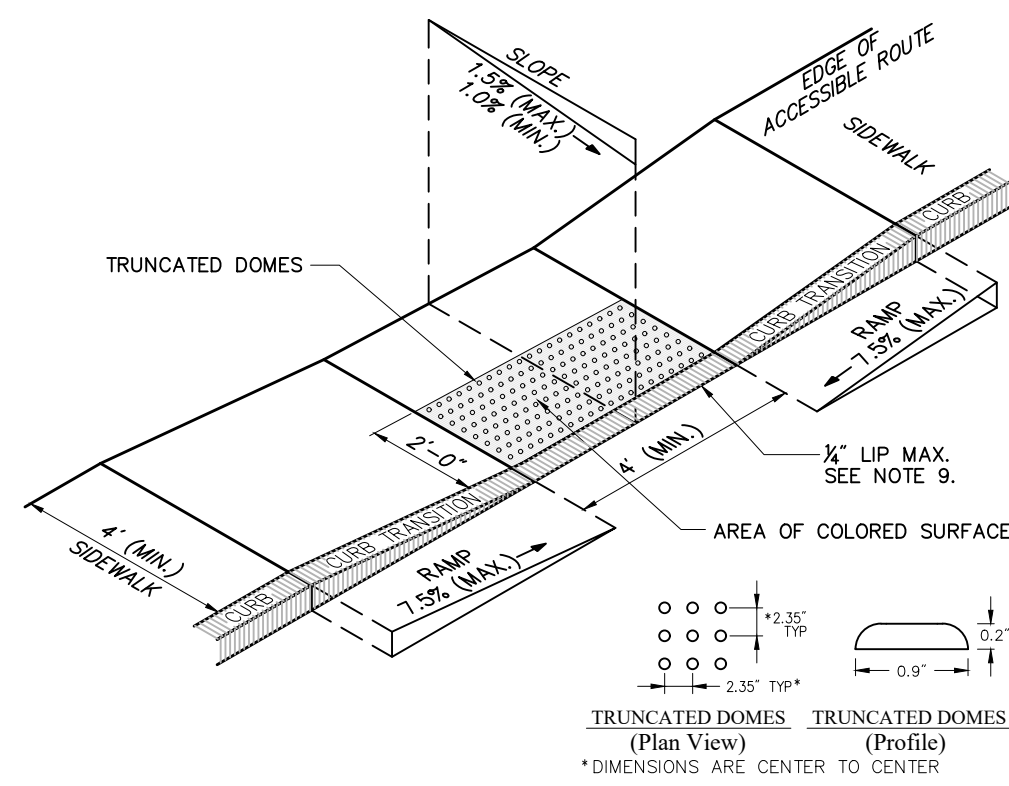
### Utility Plan



# C-5

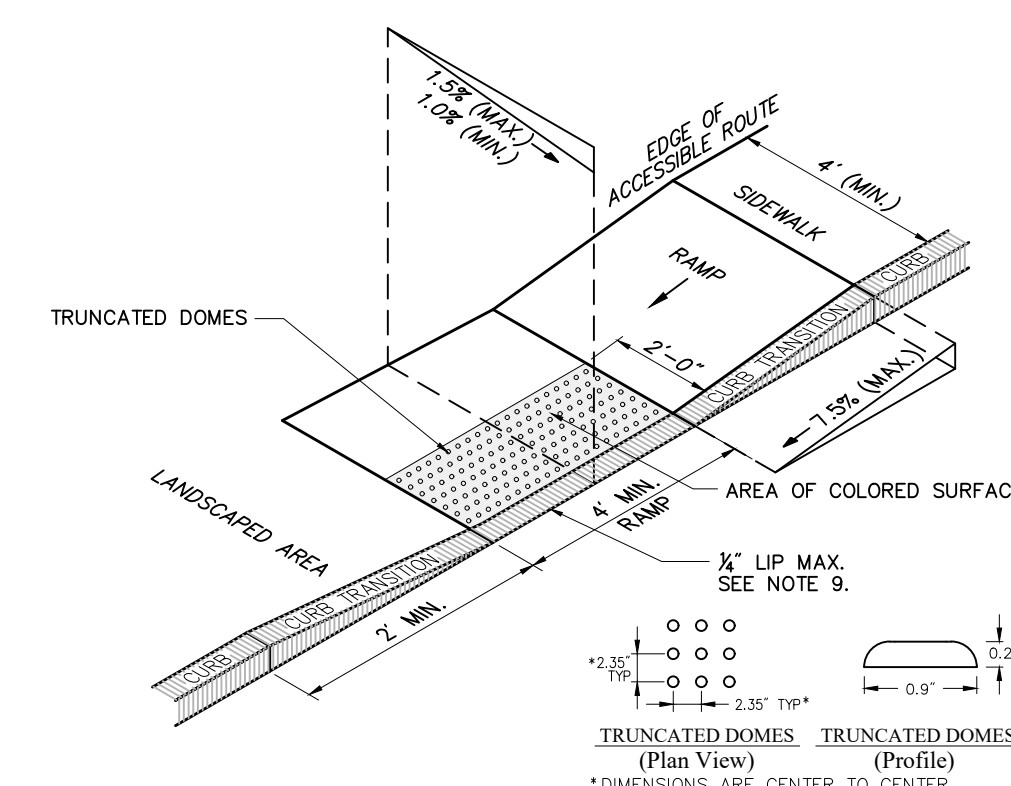
Sheet **05** of **12**

Saved Wednesday, April 26, 2017 2:21:50 PM. R040400N Plotted Wednesday, April 26, 2017 3:05:11 PM. Przystanic, Corey



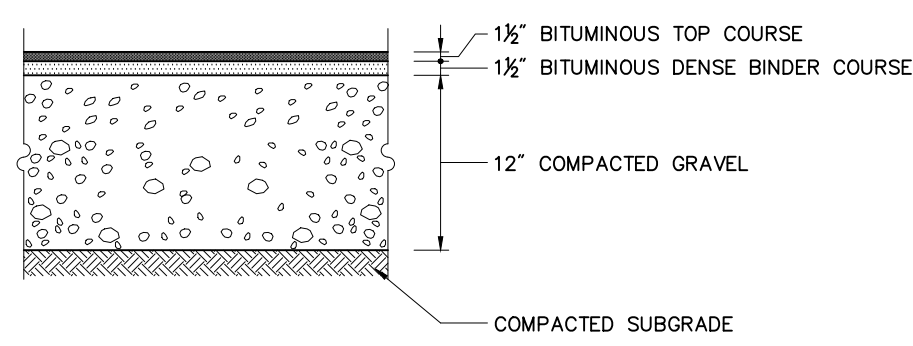
- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

**Accessible Curb Ramp (ACR) Type 'A-D'** 5/11  
N.T.S. Source: VHB LD\_500



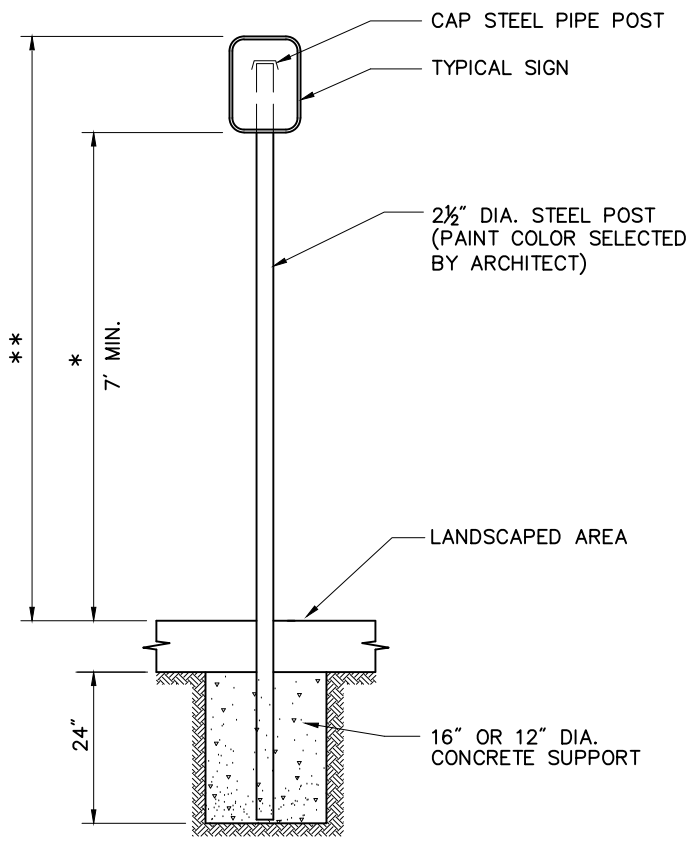
- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

**Accessible Curb Ramp (ACR) Type 'G-D'** 11/10  
N.T.S. Source: VHB LD\_506



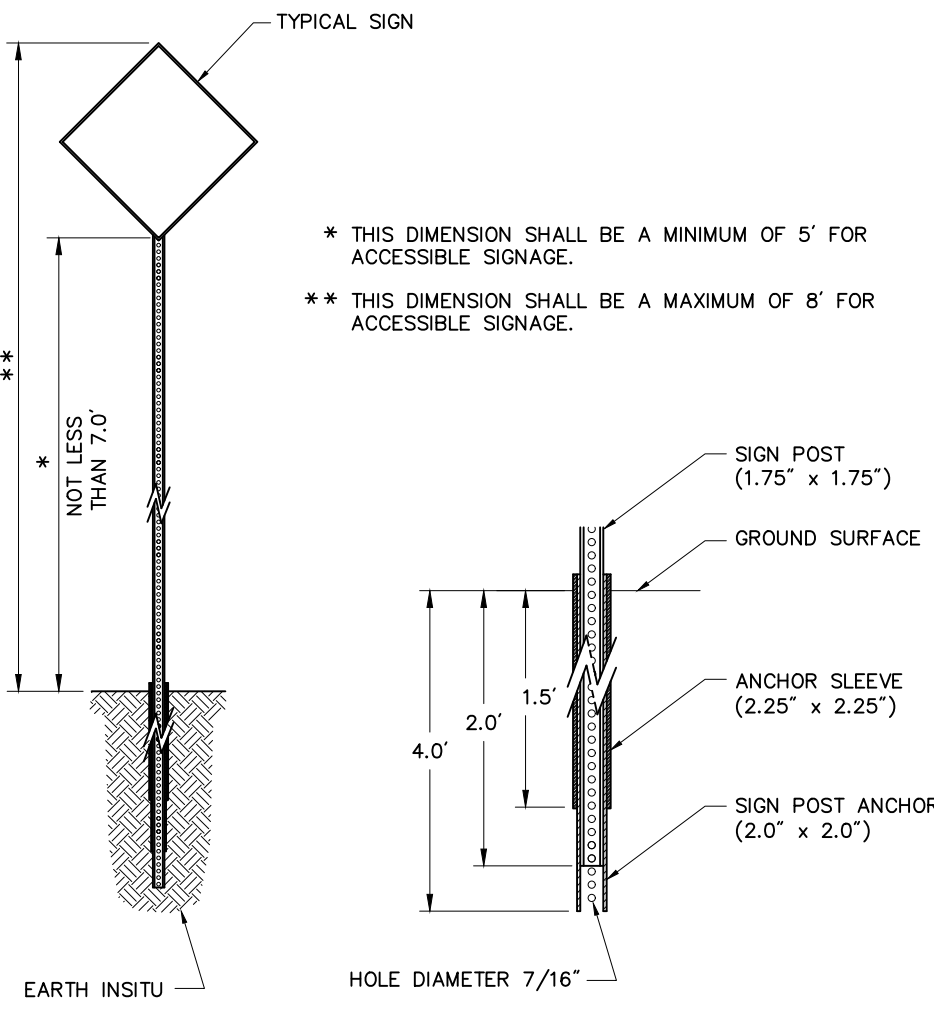
**Standard Duty Flexible Pavement**  
Note:  
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

**Bituminous Concrete Pavement Sections** 12/11  
N.T.S. Source: VHB LD\_430

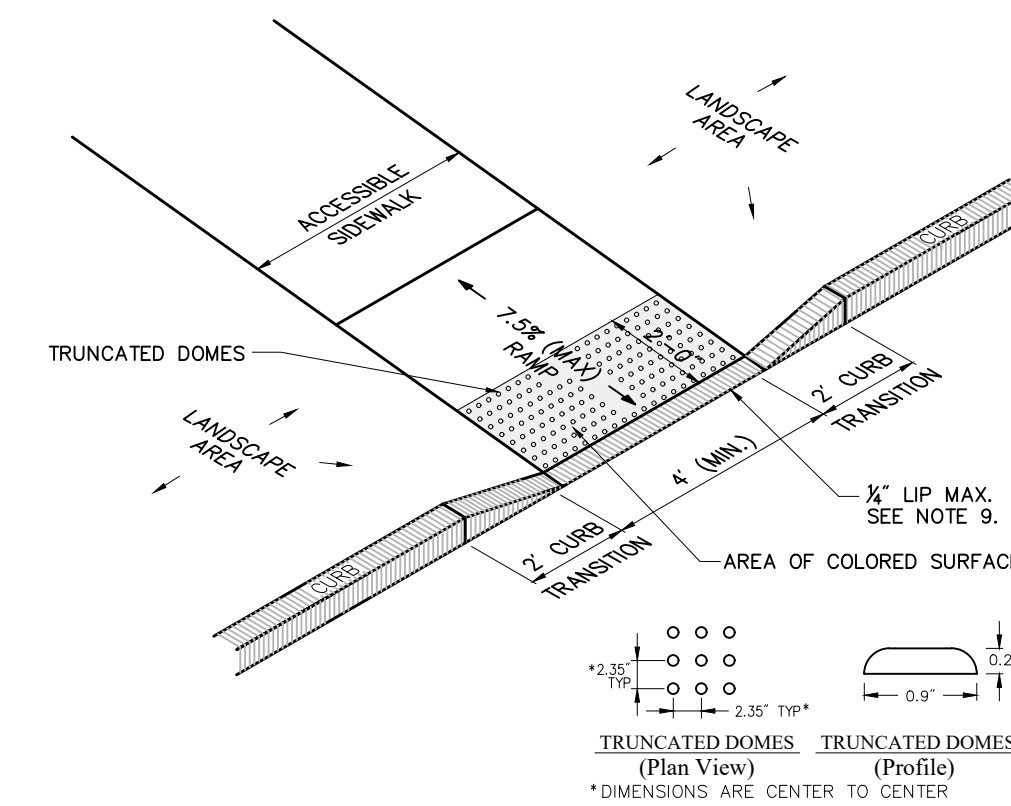


- \* THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
- \*\* THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

**Sign Post - Type 'A'** 4/12  
N.T.S. Source: VHB LD\_701

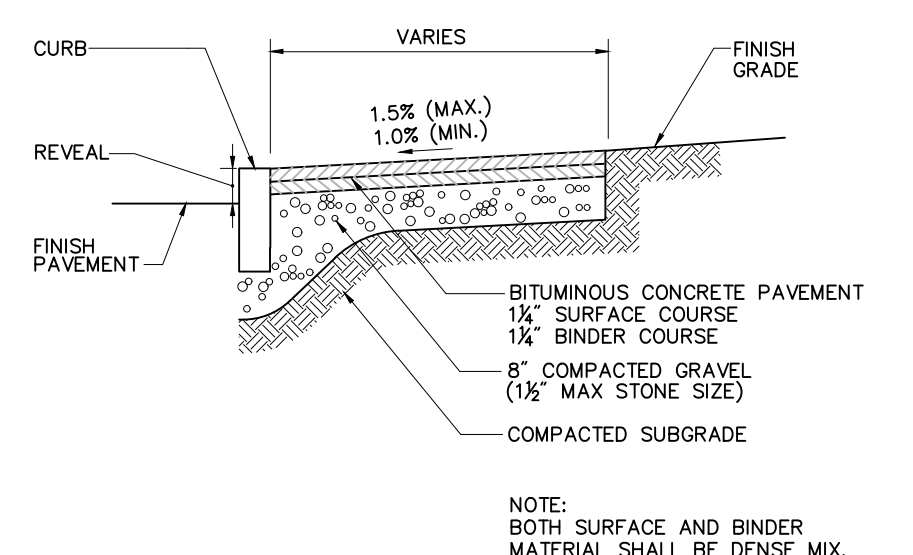


**Sign Post - Type 'B'** 12/12  
N.T.S. Source: VHB LD\_702

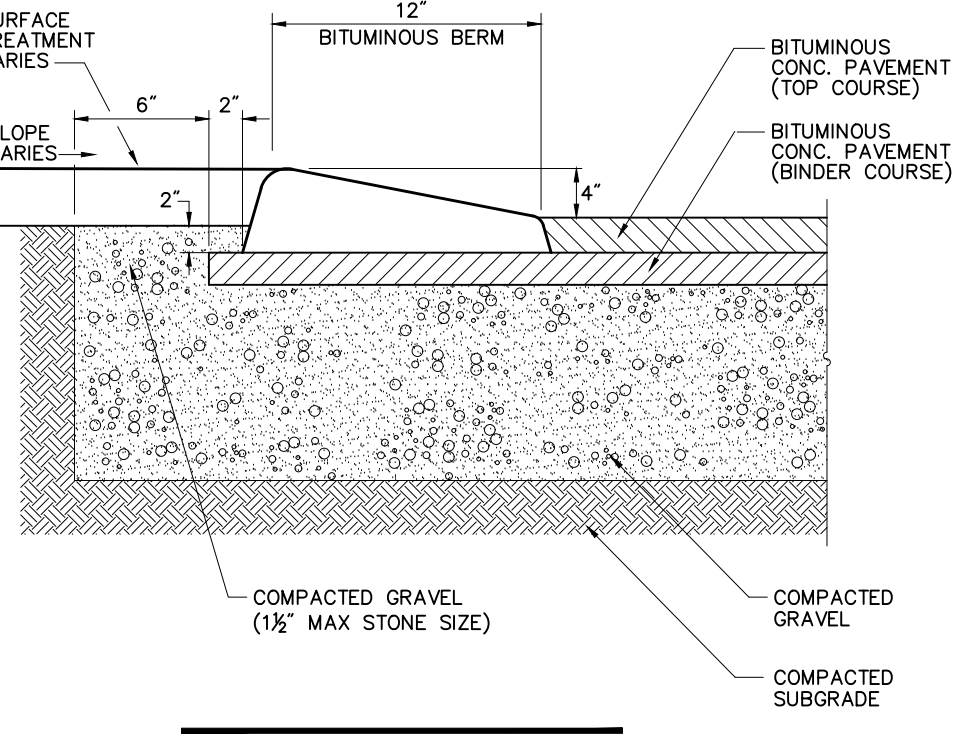


- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

**Accessible Curb Ramp (ACR) Type 'M-D'** 11/10  
N.T.S. Source: VHB LD\_512



**Bituminous Concrete Sidewalk** 8/11  
N.T.S. Source: VHB LD\_422



**Bituminous Berm (BB)** 6/08  
N.T.S. Source: VHB LD\_407



**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

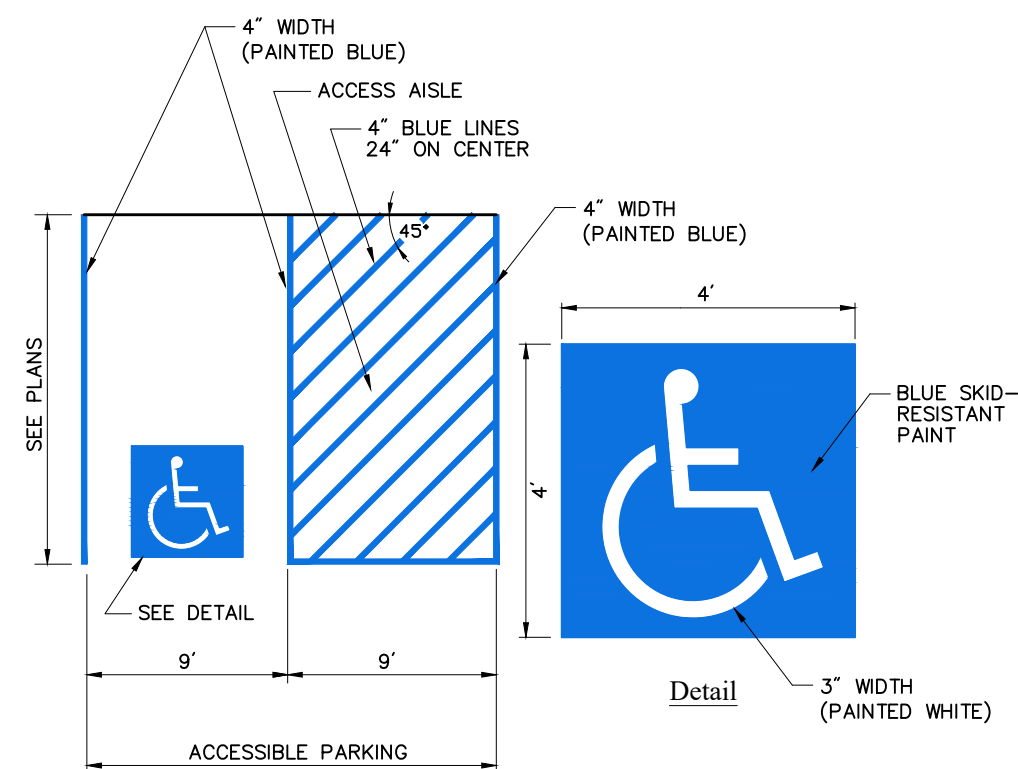
No.	Revision	Date	Appr.

Designed by: RLG Checked by: KFS  
Issued for: Local Approvals Date: April 26, 2017

**Site Details**

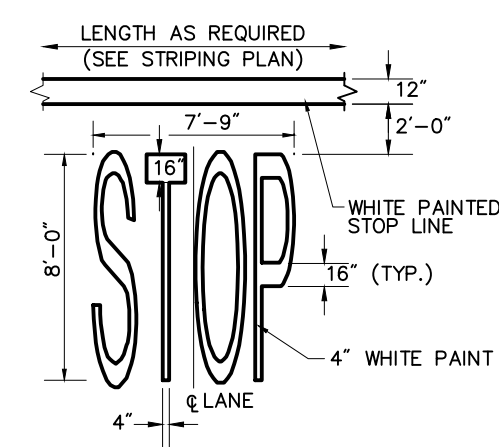
Drawing Number: C-6.1  
Sheet: 06 of 12  
Project Number: 13125.08  
Date: 4/26/2017



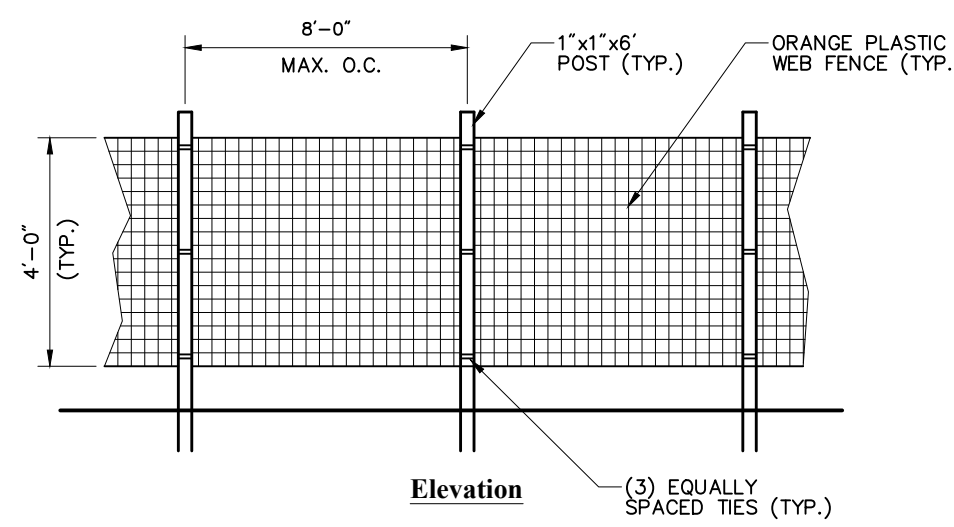
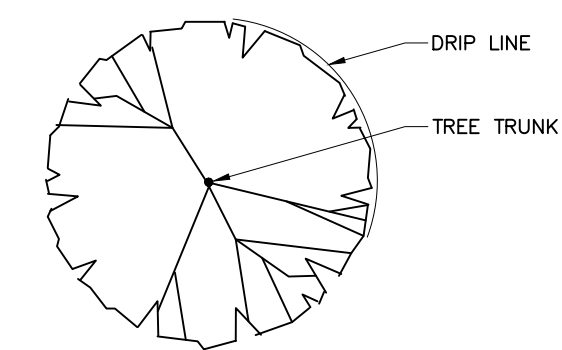
- Notes:**
1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
  2. 9' STALL WIDTH REFERS TO 9' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
  3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
  4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

**Accessible Parking Space** 12/14  
N.T.S. Source: VHB LD\_552b



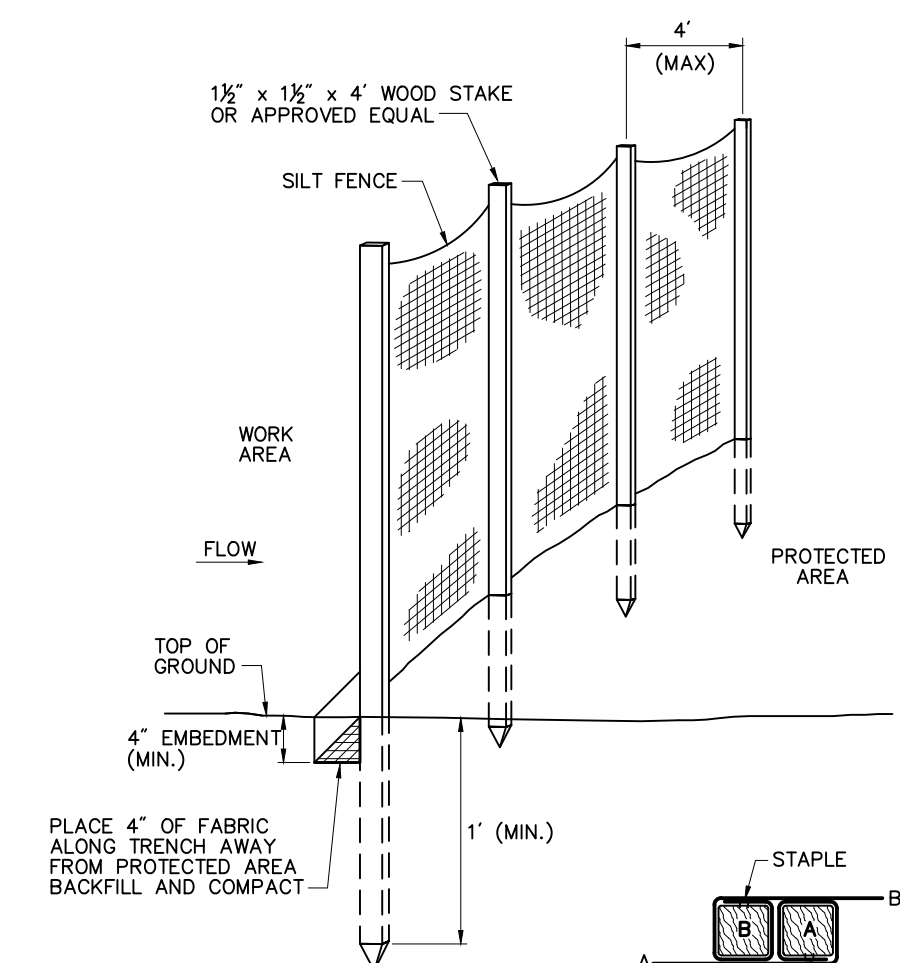
- Notes:**
1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

**Painted Pavement Markings - On Site** 6/08  
N.T.S. Source: VHB LD\_554

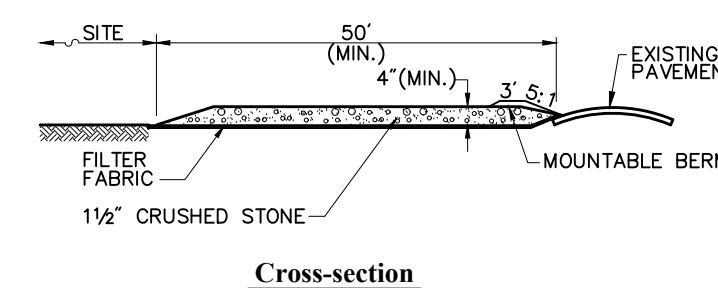
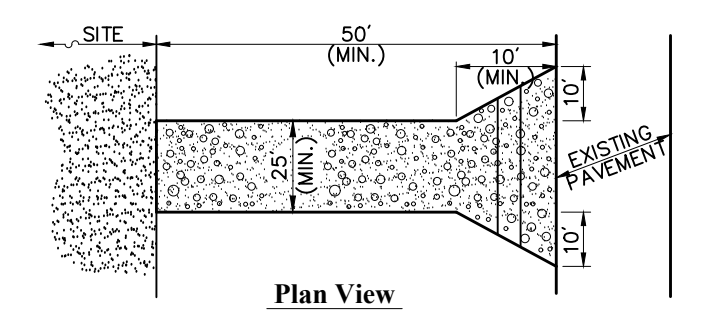


- Notes:**
1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

**Tree Protection Fence** 7/13  
N.T.S. Source: VHB LD\_610

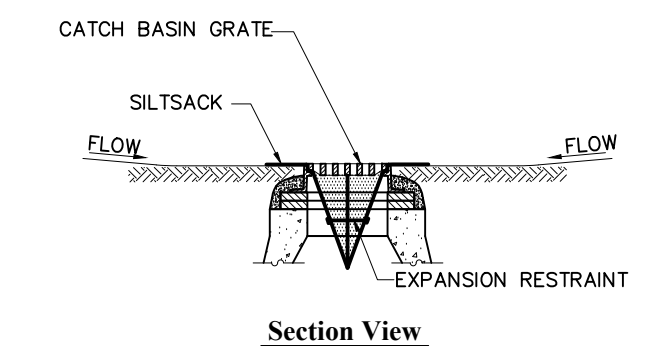
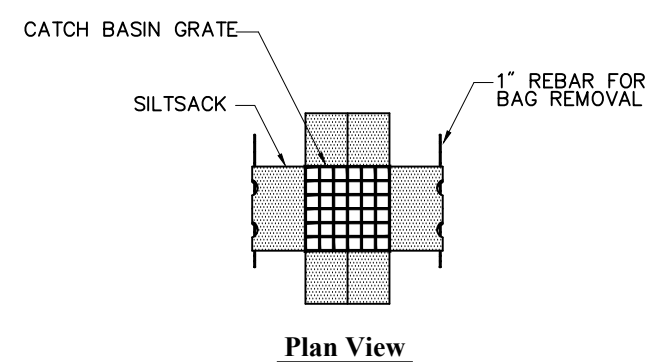


**Silt Fence Barrier** 6/08  
N.T.S. Source: VHB LD\_650



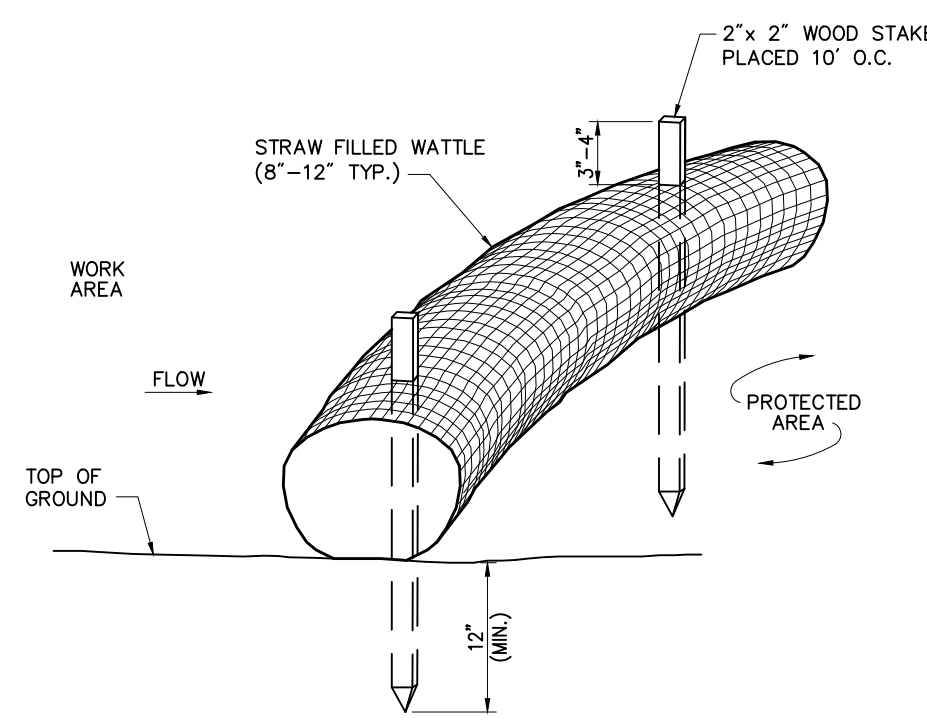
- Notes:**
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**Stabilized Construction Exit** 6/08  
N.T.S. Source: VHB LD\_682



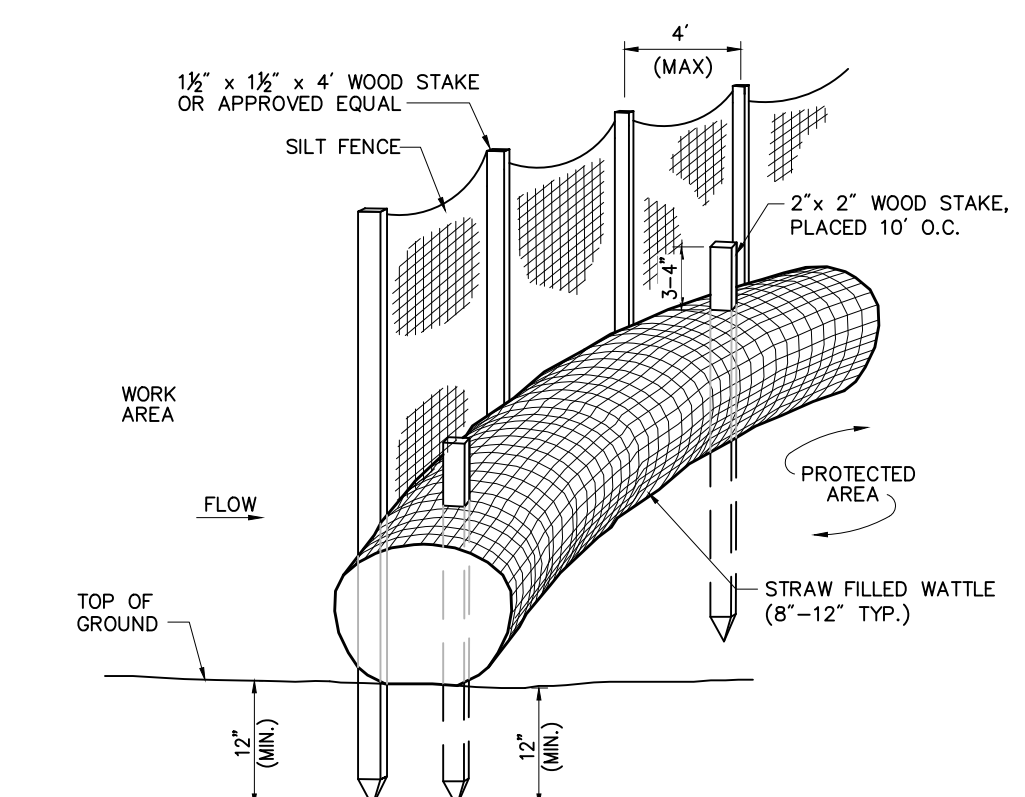
- Notes:**
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  2. GRATE TO BE PLACED OVER SILTSACK.
  3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**Siltsack Sediment Trap** 6/08  
N.T.S. Source: VHB LD\_674



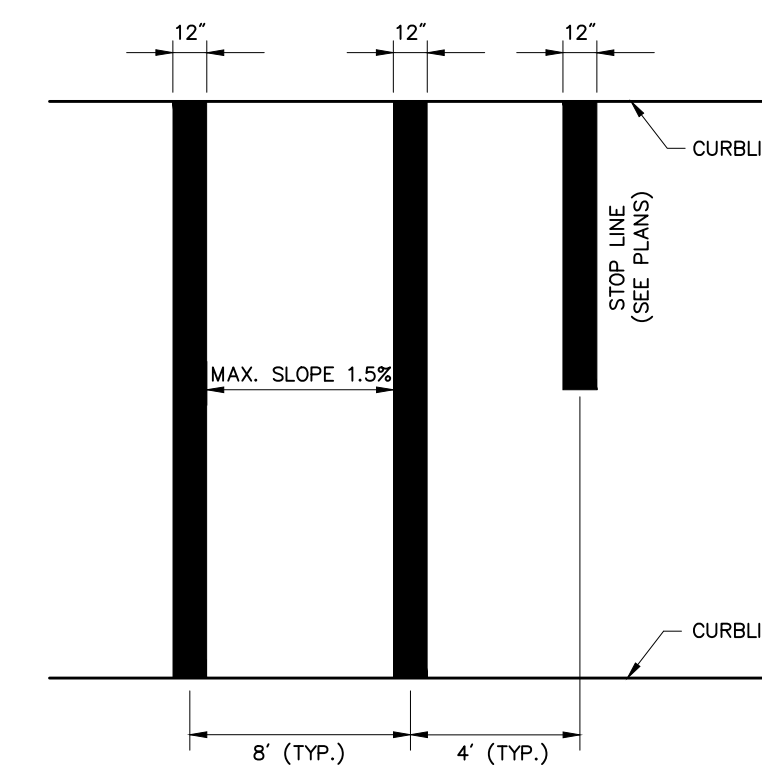
- Notes:**
1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
  2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
  3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
  5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

**Straw Wattle - Erosion Control Barrier** 8/12  
N.T.S. Source: VHB LD\_659



- Notes:**
1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
  2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
  3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
  5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

**Straw Wattle with Silt Fence - Erosion Control Barrier** 8/12  
N.T.S. Source: VHB LD\_659-A



- Notes:**
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
  2. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

**Crosswalk** 6/08  
N.T.S. Source: VHB LD\_553a



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	Appr.

Designed by: **RLG** Checked by: **KFS**  
Issued for: **Local Approvals** Date: **April 26, 2017**

**Site Details**



**C-6.2**

Sheet **07** of **12**

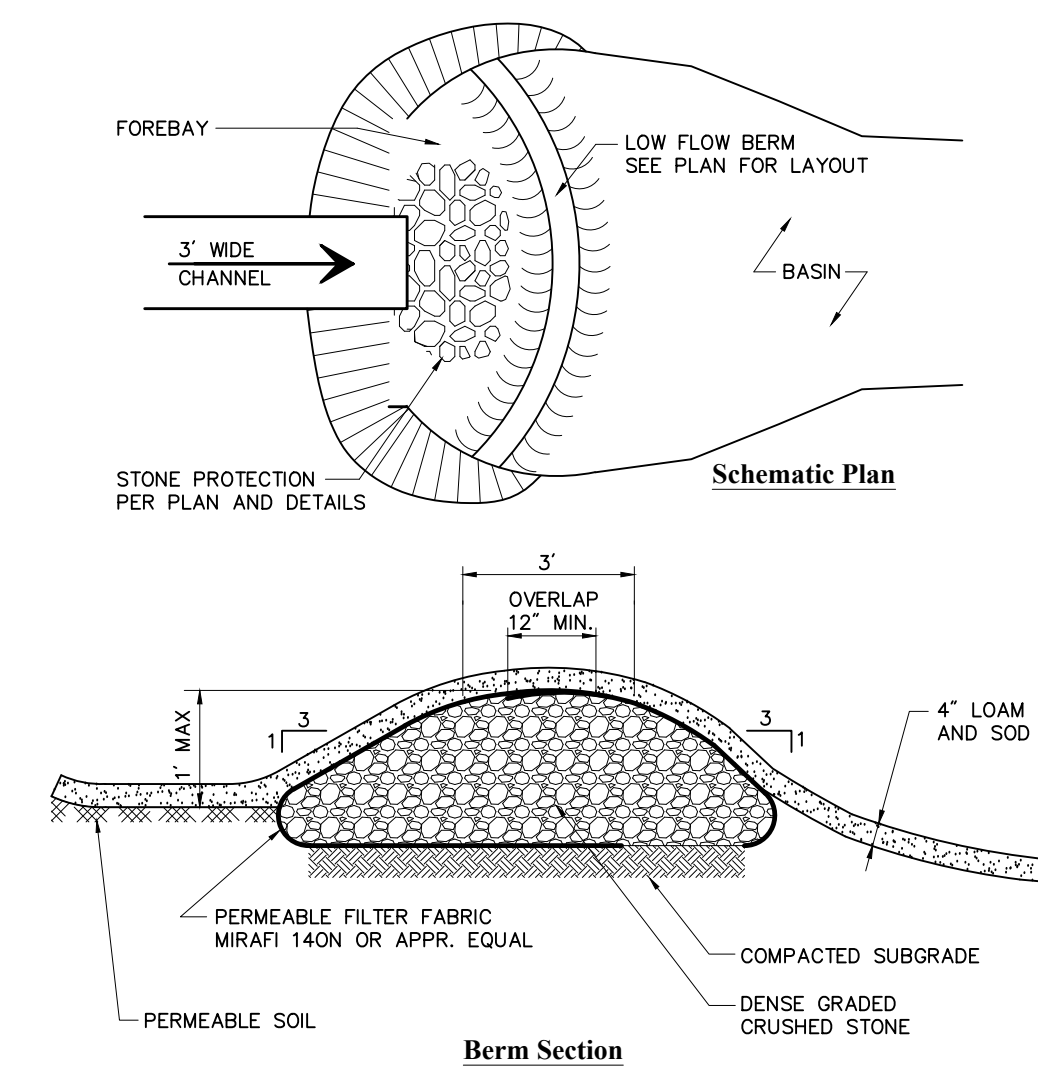
*Karen F. Staffier*  
4/26/2017

Project Number **13125.08**





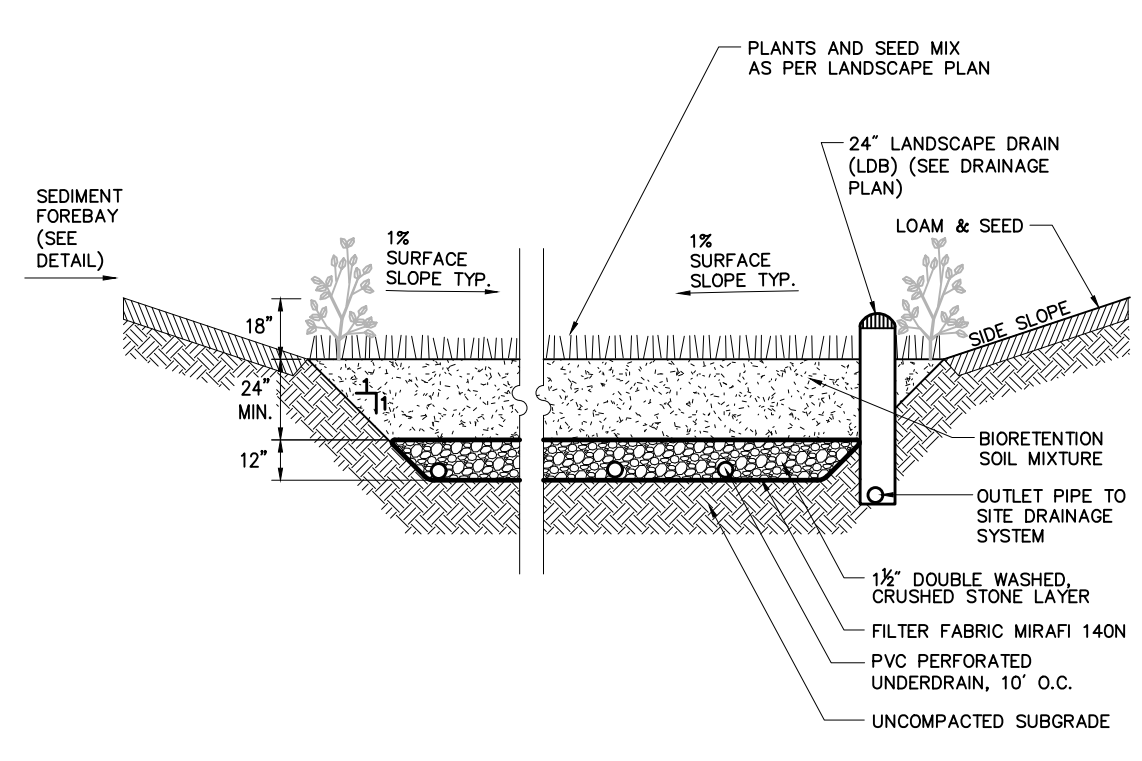
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



- Note**
- FOREBAY DESIGNED TO CAPTURE 0.1 INCHES OF RUNOFF FROM IMPERVIOUS SURFACES

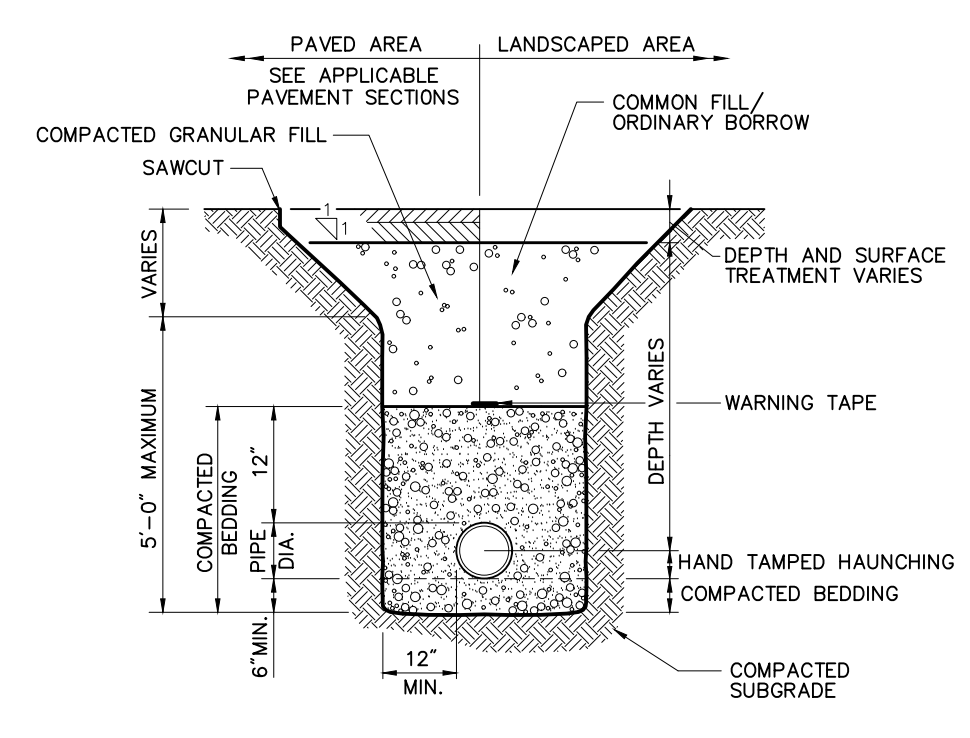
**Low Flow Sediment Forebay Berm** 6/08  
N.T.S. Source: VHB LD\_165

BIORETENTION AREA DEPTHS	BASIN 1	BASIN 2
TOP OF BASIN	150.5'	149.5'
LANDSCAPE DRAIN	150.0'	149.0'
BOTTOM OF BASIN	149.0'	148.0'



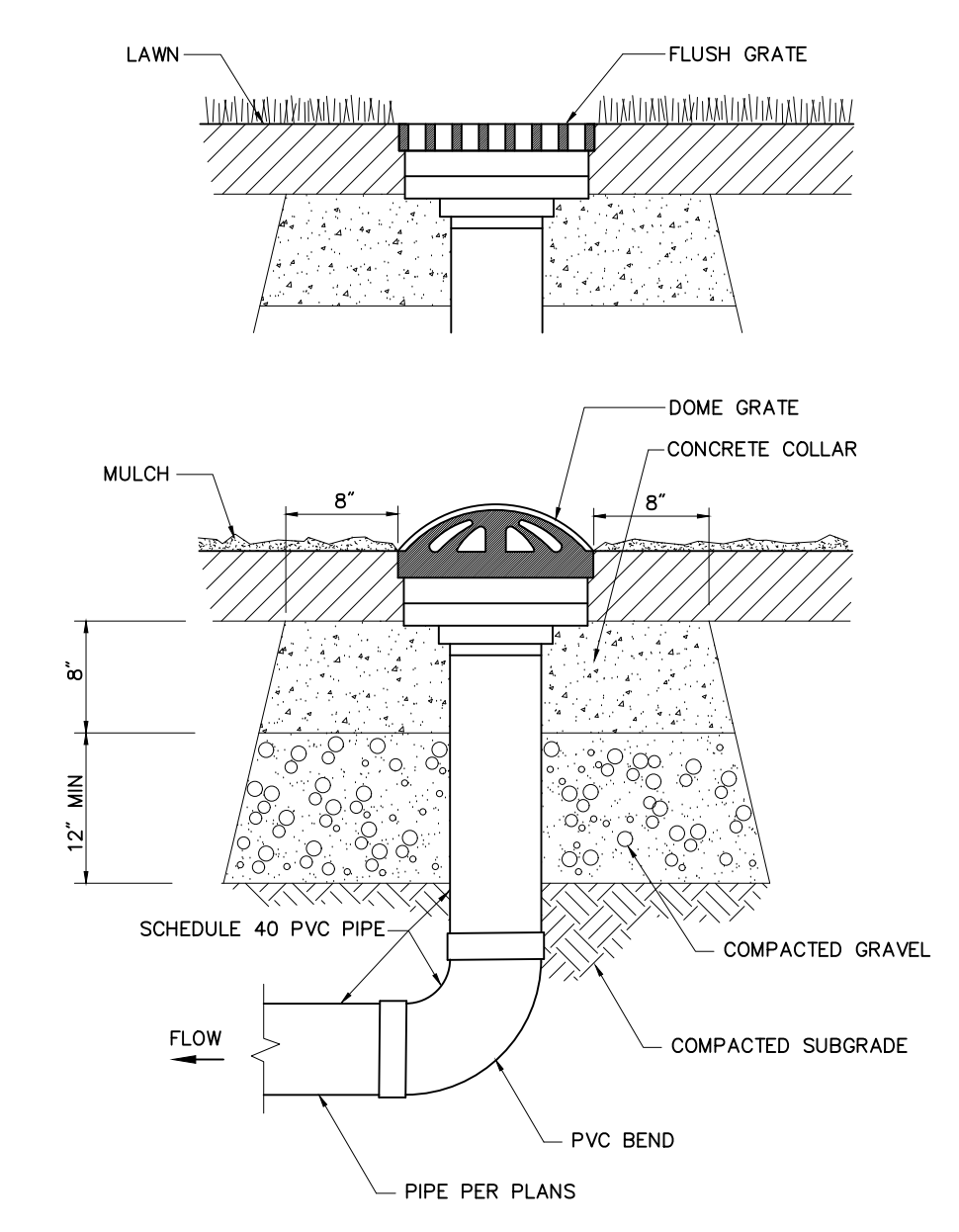
- Notes:**
- INSTALL UNDERDRAINS AT 10 FEET ON CENTER. CONNECT TO DRAINS PER PLAN.
  - SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

**Bioretention Basin** 6/08  
N.T.S. Source: VHB LD\_163

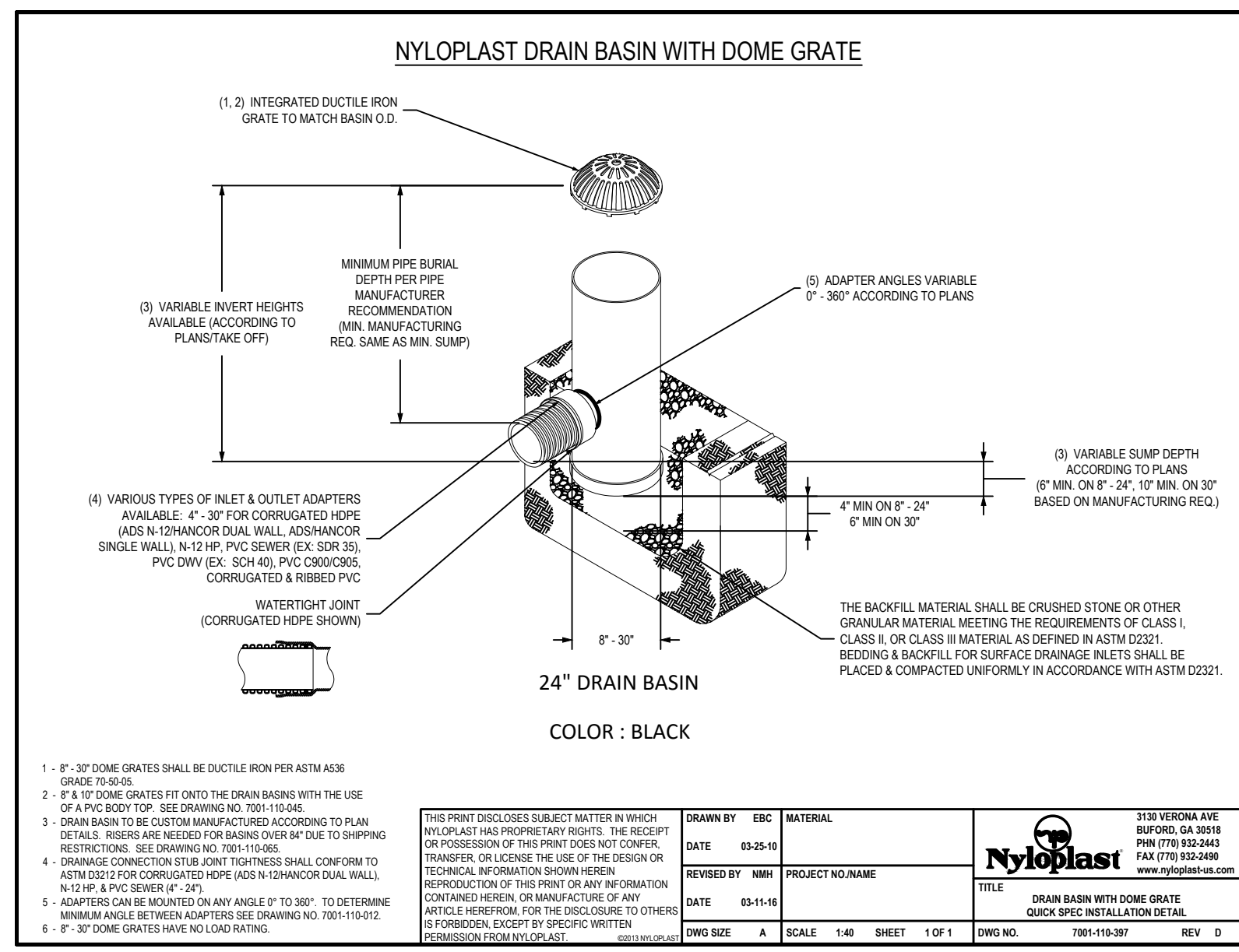


- Notes:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

**Utility Trench** 8/11  
N.T.S. Source: VHB LD\_300

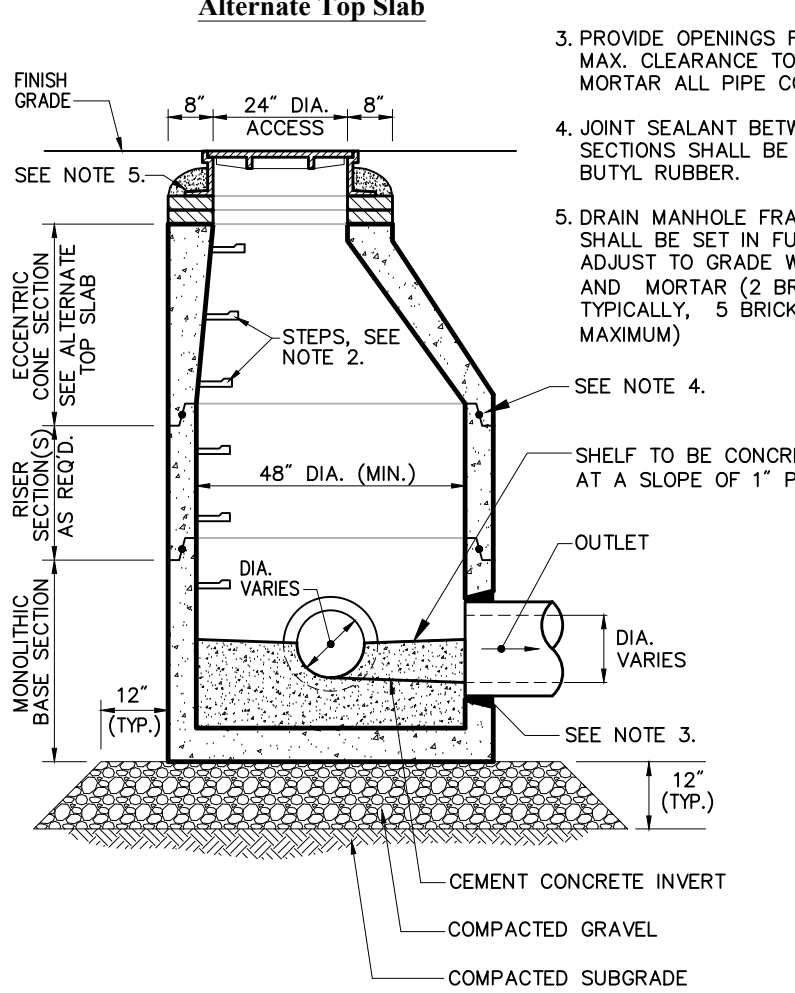
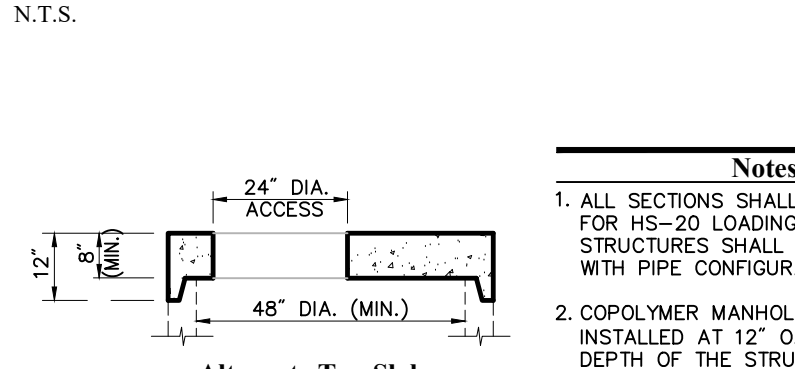


**Landscape Drain (LD)** 6/08  
N.T.S. Source: VHB REV LD\_193

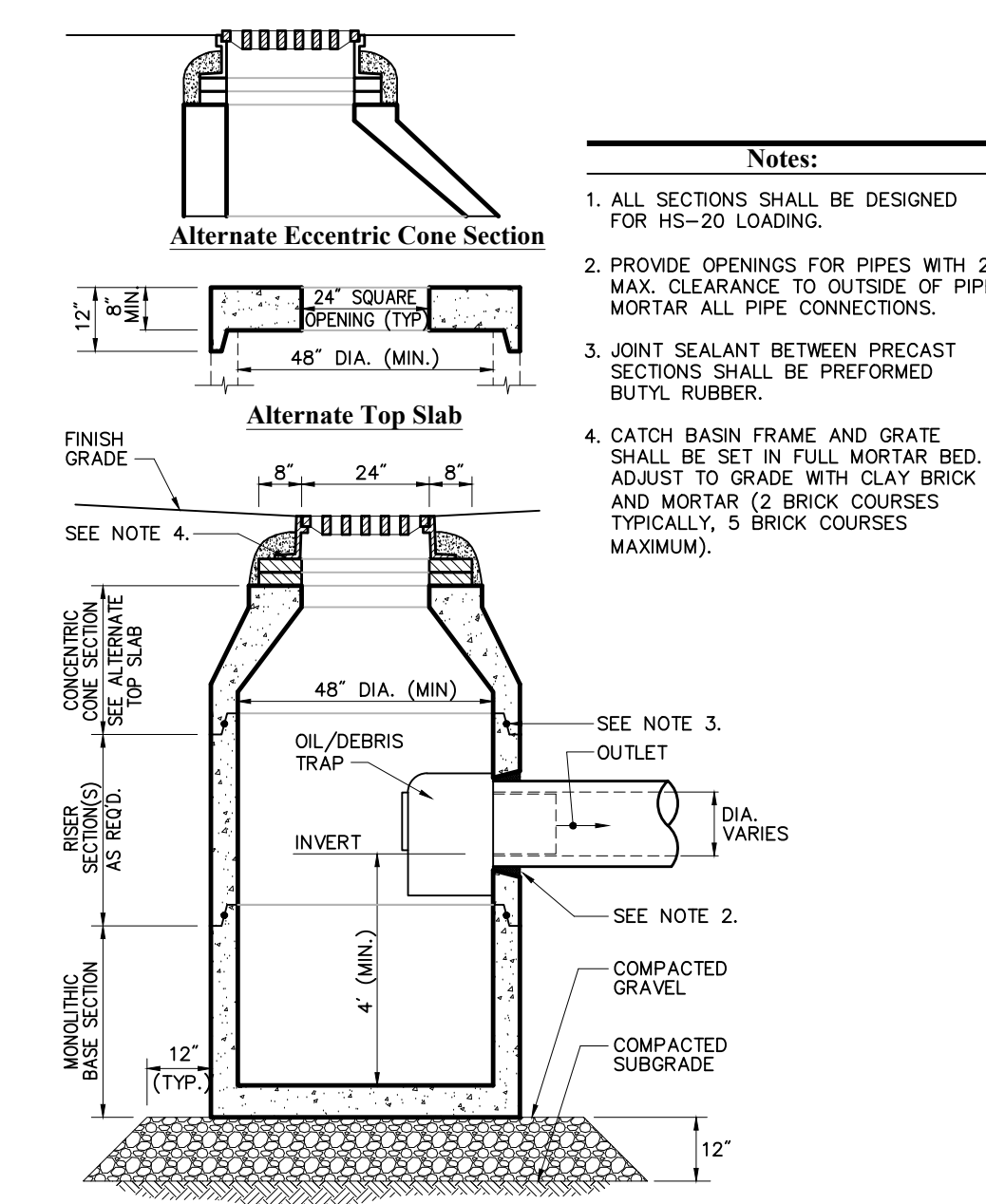


**NYLOPLAST DRAIN BASIN WITH DOME GRATE** 4/06  
N.T.S. Source: NYLOPLAST

**Landscape Drain (LDB) - Bioretention Area**

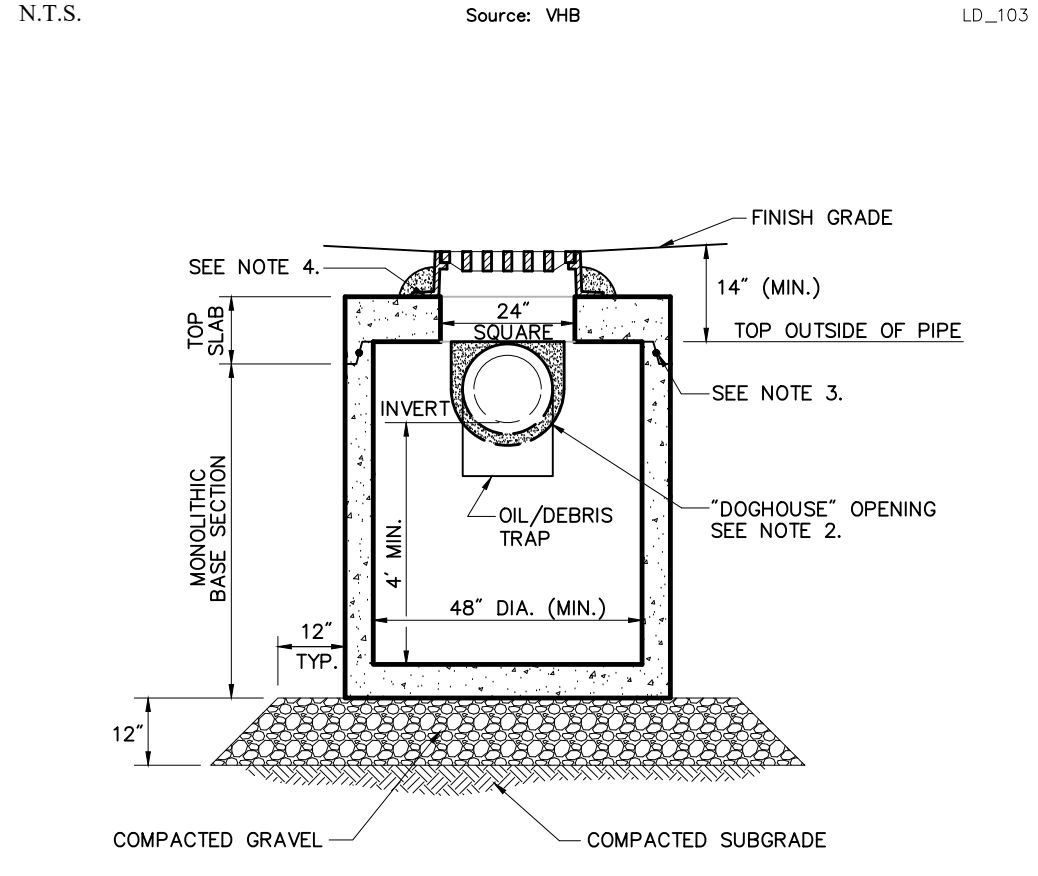


**Drain Manhole (DMH)** 4/11  
N.T.S. Source: VHB LD\_115



**Catch Basin (CB) With Oil/Debris Trap** 6/08  
N.T.S. Source: VHB LD\_101

**Double Grate Catch Basin (DCB) with Oil/Debris Trap**



- Notes:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  - CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

**Catch Basin (CB) Shallow Cover with Oil/Debris Trap** 6/08  
N.T.S. Source: VHB LD\_105

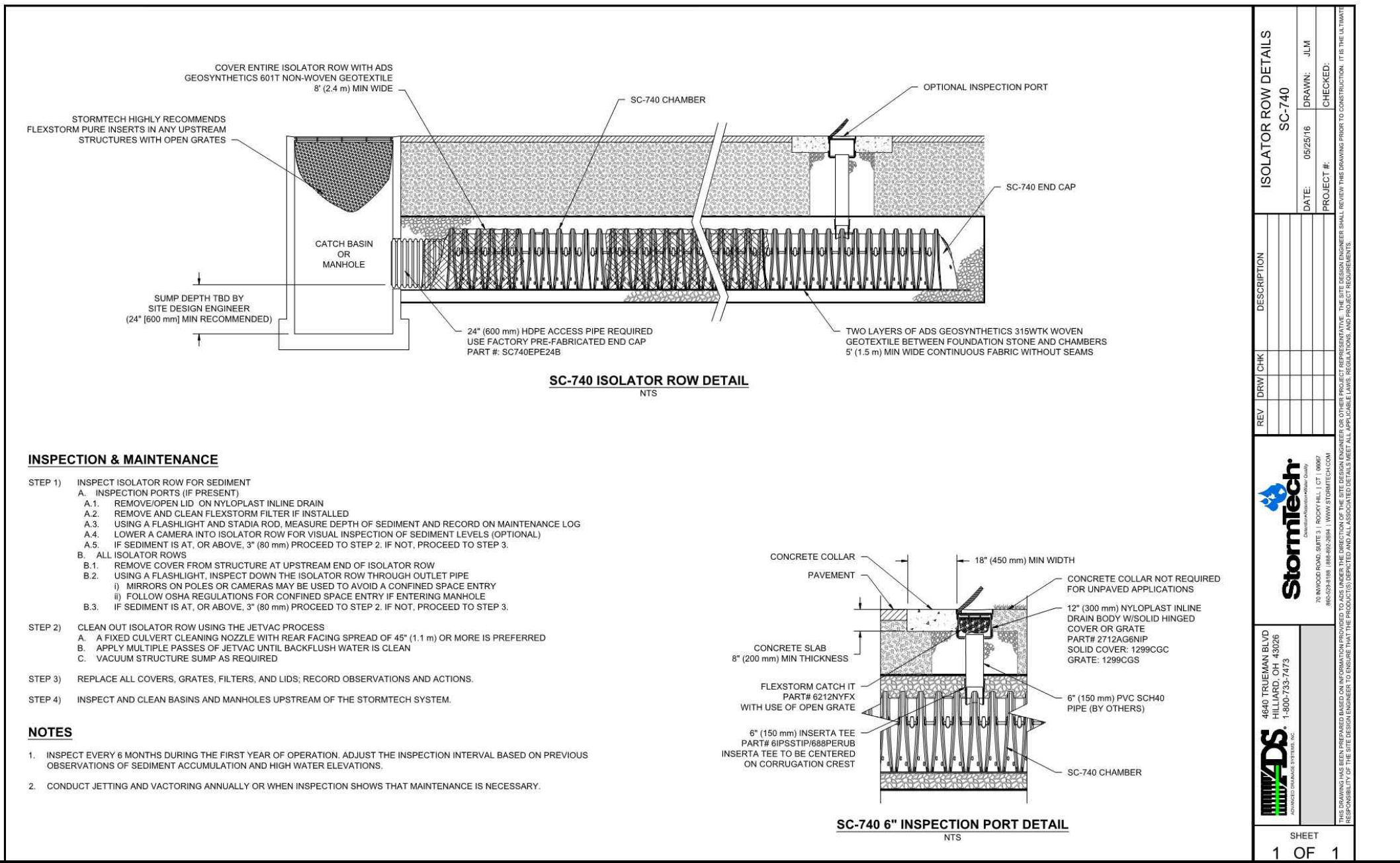
**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	Appr.

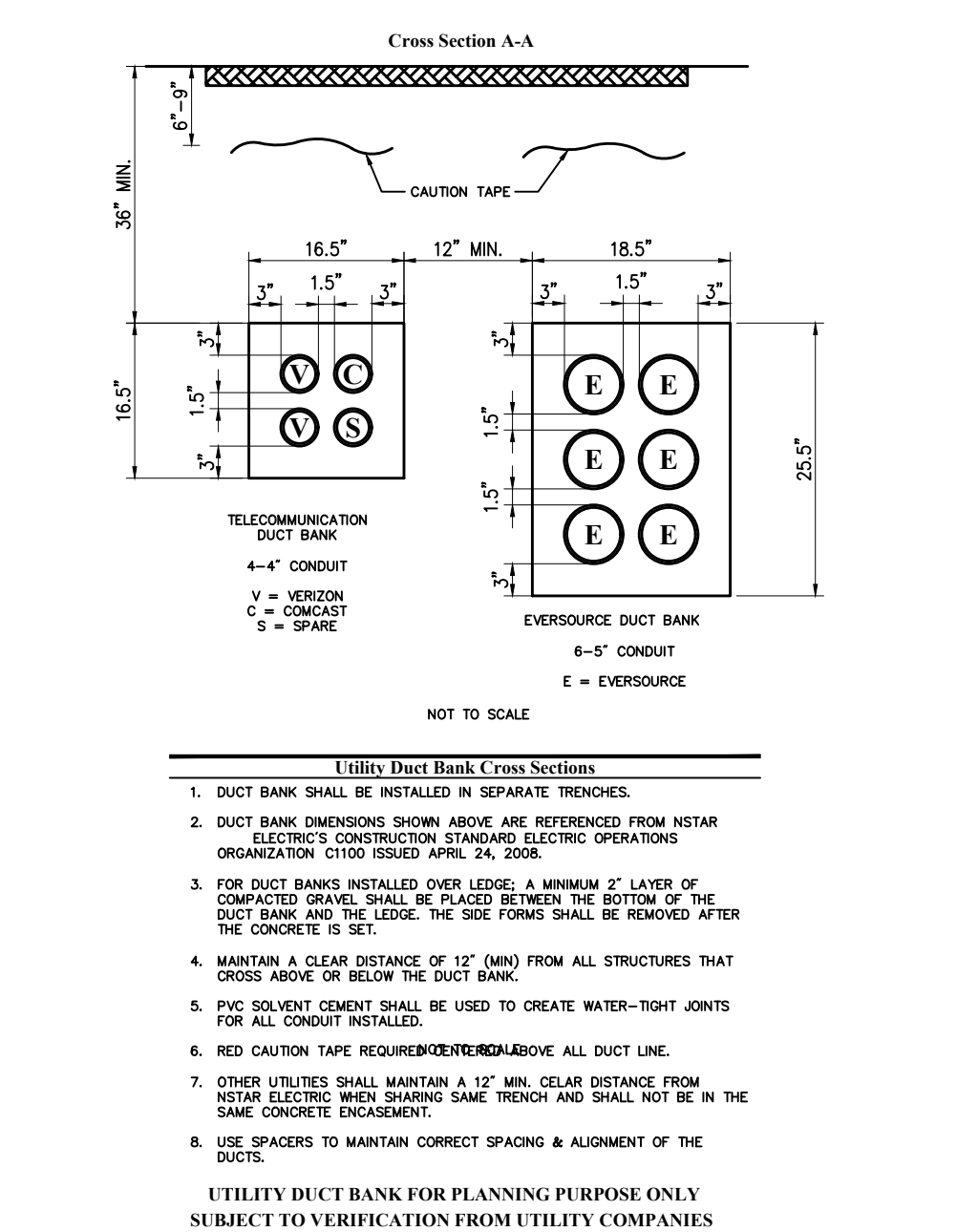
Designed by RLG Checked by KFS  
Issued for \_\_\_\_\_ Date \_\_\_\_\_  
Local Approvals April 26, 2017

**Site Details**

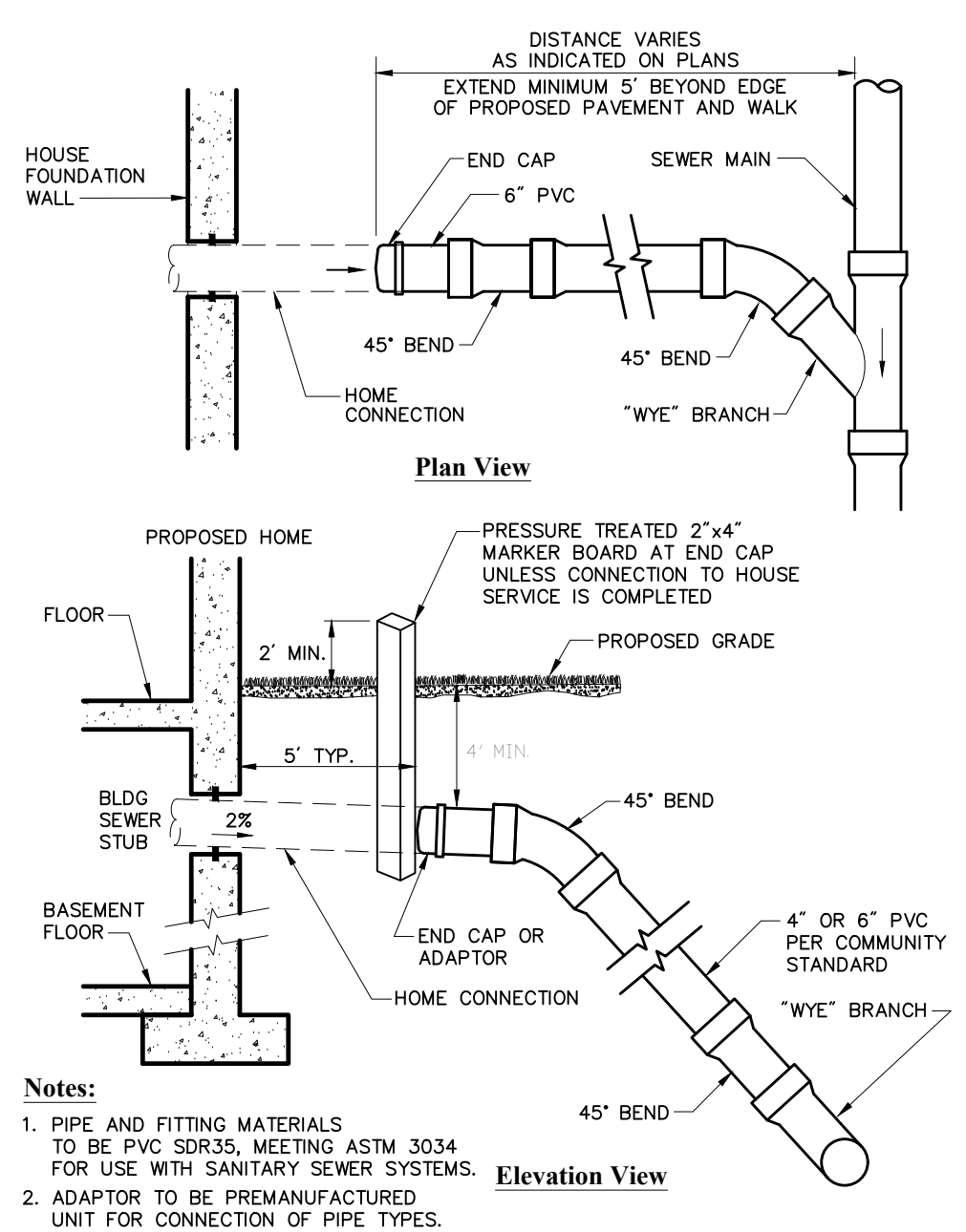
Drawing Number  
**C-6.3**  
Sheet 08 of 12  
Project Number  
13125.08  
KAREN F. STAFFIER  
CIVIL  
No. 45865  
REGISTERED PROFESSIONAL ENGINEER  
4/26/2017



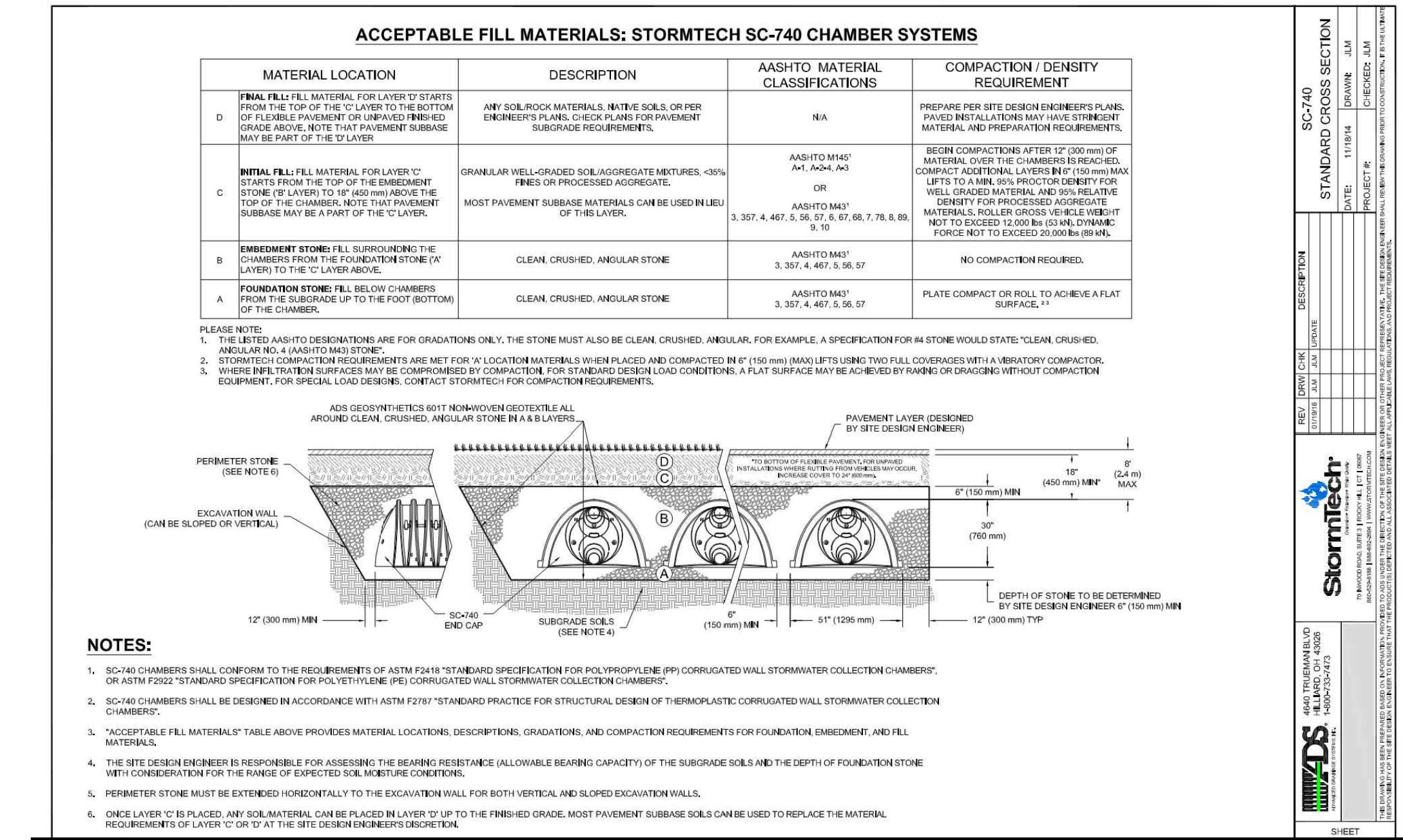
**Stormtech SC-740 Isolator Row Detail**  
N.T.S. Source: Stormtech



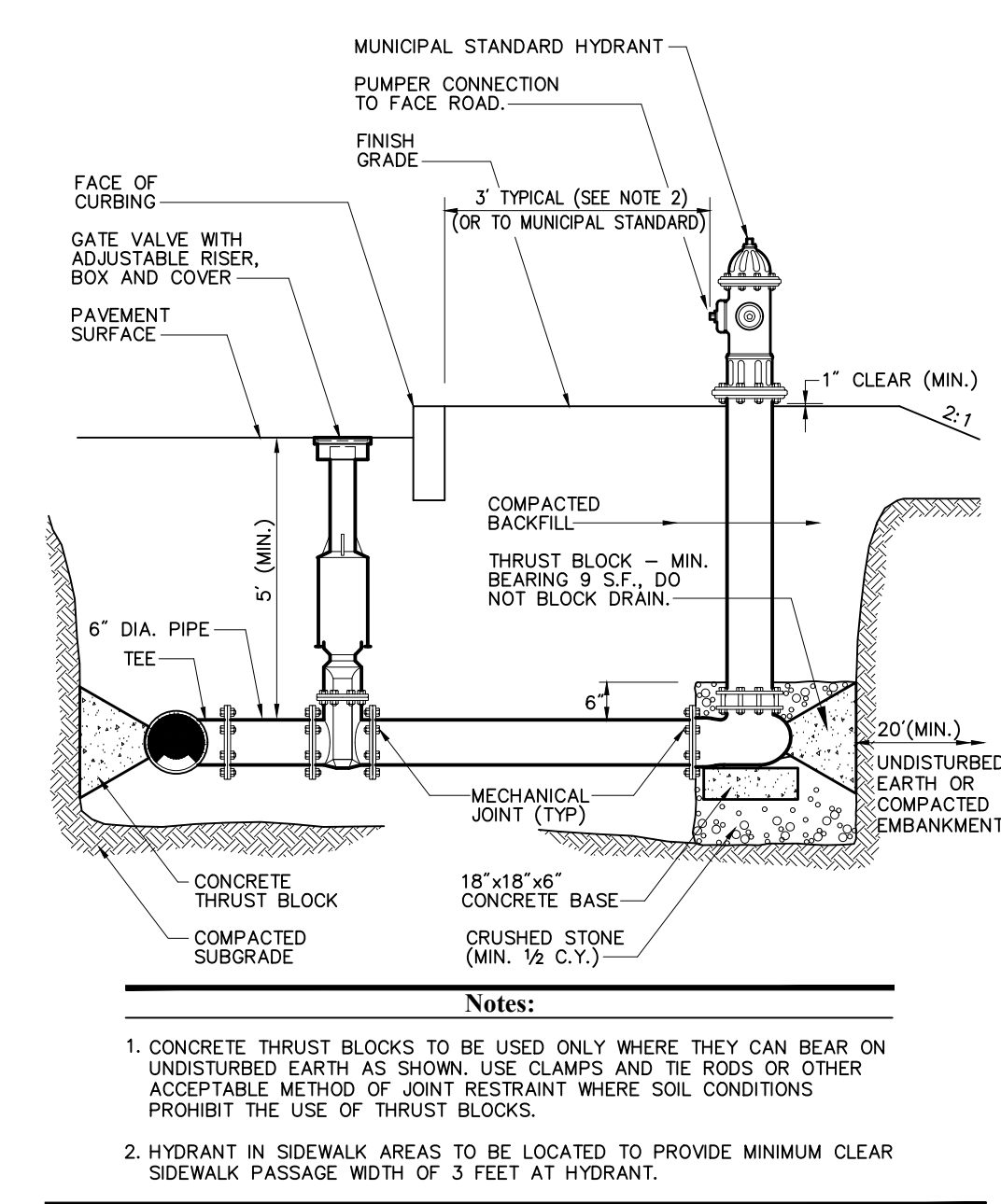
**Electric and Telecommunication Duct Bank**  
N.T.S. Source: VHB



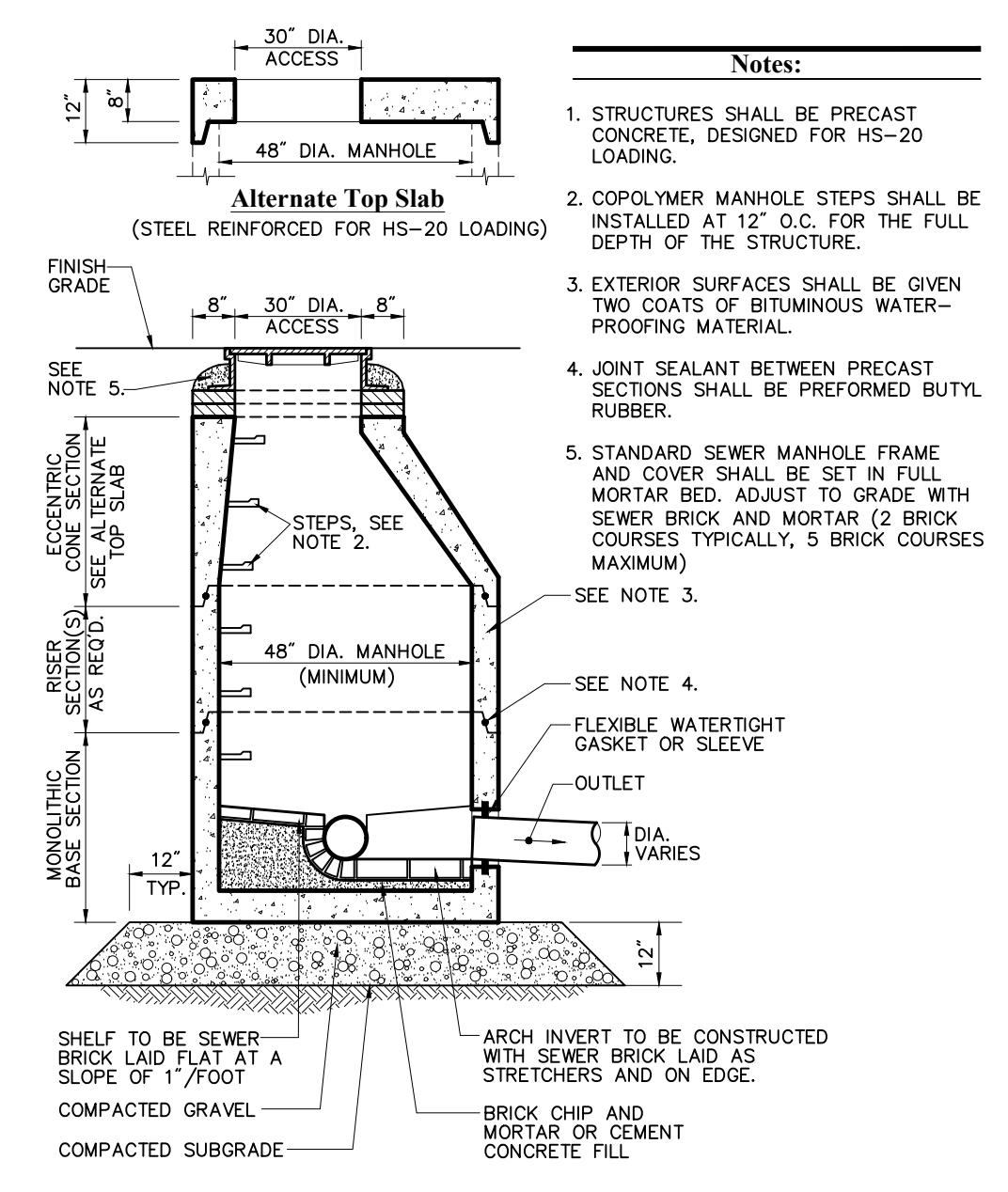
**Typical Wye and Chimney Detail (Residential)**  
N.T.S. Source: VHB



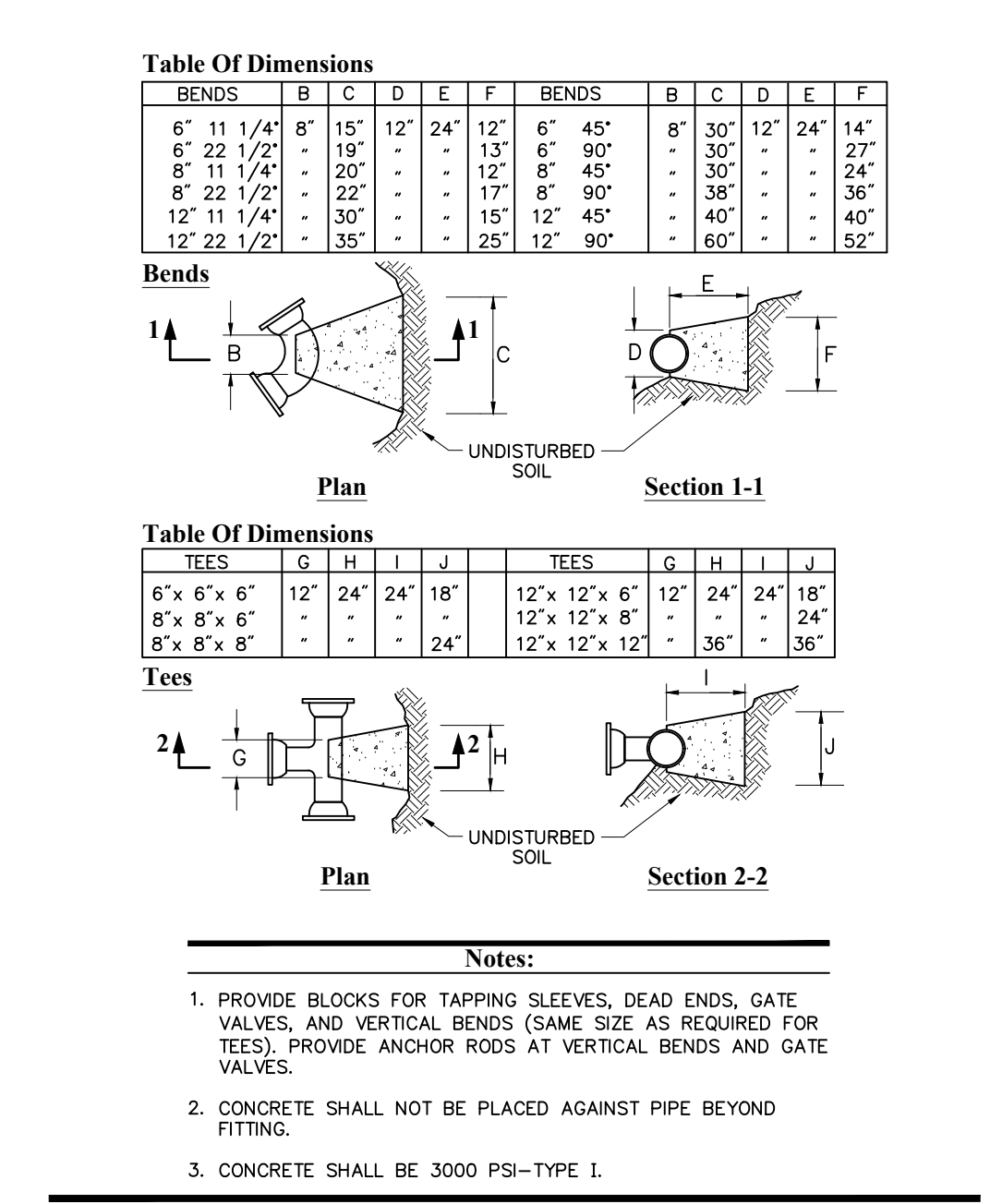
**Stormtech SC-740 Cross Section Detail**  
N.T.S. Source: Stormtech



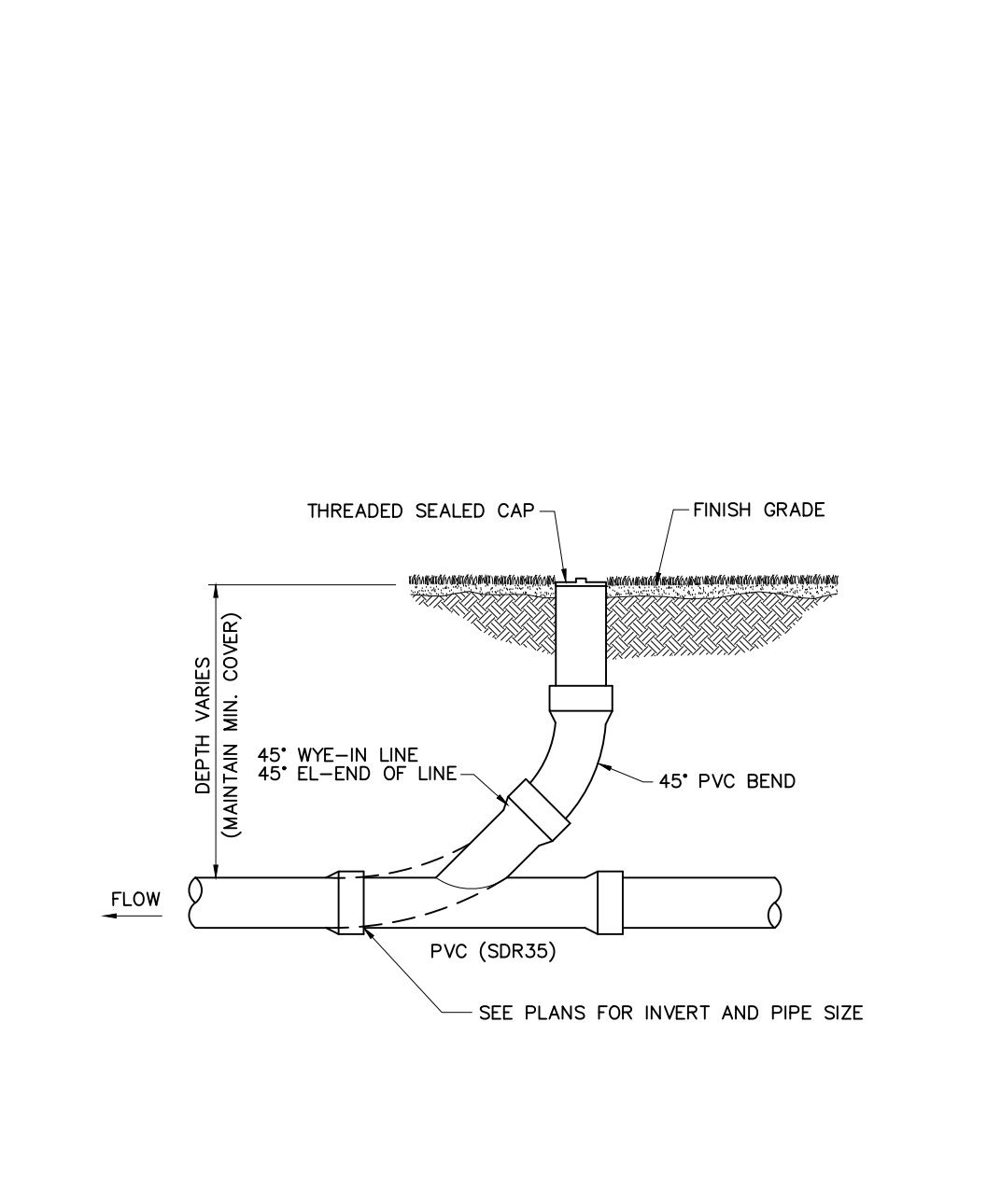
**Hydrant Construction**  
N.T.S. Source: VHB



**Sanitary Sewer Manhole (SMH)**  
N.T.S. Source: VHB



**Concrete Thrust Block**  
N.T.S. Source: VHB



**Cleanout - Landscape Area**  
N.T.S. Source: VHB



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	App'd.

Designed by: **RLG** Checked by: **KFS**  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Local Approvals** April 26, 2017

Drawing Title  
**Site Details**

Drawing Number  
**C-6.4**

Sheet of  
**09** of **12**

Project Number  
**13125.08**

Professional Engineer Seal:  
KAREN F. STAFFIER  
CIVIL  
No. 45885  
Professional Engineer

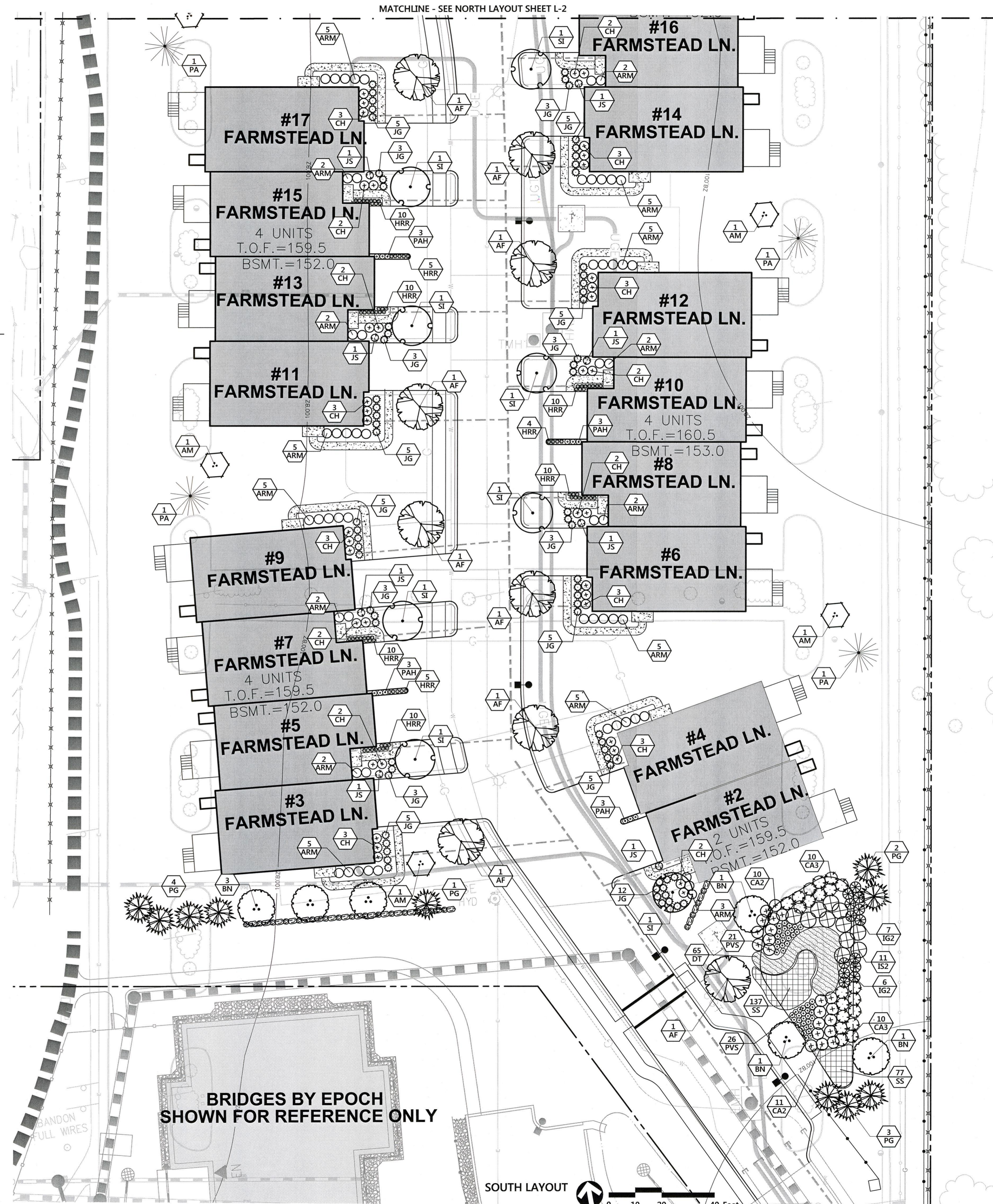
Signature:  
Karen Staffier  
4/26/2017

MATCHLINE - SEE NORTH LAYOUT SHEET L-2

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AF	15	Acer rubrum 'Frank Jr.'	Redpointe Maple	2 1/2 - 3" CAL.
BN	6	Betula nigra 'Heritage'	Heritage River Birch	10 - 12' HT., CLUMP
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PA	6	Picea abies	Norway Spruce	6 - 7' HT.
PG	10	Picea glauca	White Spruce	7 - 8' HT.
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AM	6	Amelanchier canadensis	Shadblow Serviceberry	8 - 10' HT.
SI	12	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2 - 2 1/2" CAL.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ARM	107	Azalea x Renee Michelle	Renee Michelle Azalea	18 - 24" HT.
CH	73	Clethra alnifolia 'Hummingbird'	'Hummingbird' Summersweet	2 - 2 1/2" HT.
IS2	16	Ilex verticillata 'Sparkleberry'	Sparkleberry Winterberry	3 - 4' HT.
JG	136	Juniperus communis 'Green Carpet'	Green Carpet Juniper	18 - 24" SPD
JS	10	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	4 - 5' HT.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PVS	47	Panicum virgatum 'Shenandoah'	Shenandoah Burgundy Switch Grass	#3 POT
PAH	55	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2 POT
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HRR	177	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	#1 POT
BIORETENTION	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AM2	2	Amelanchier canadensis	Shadblow Serviceberry	6-7' HT., MULTI
CA2	28	Clethra alnifolia	Summersweet Clethra	18 - 24" HT.
CA3	20	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	3 - 4' HT.
IG2	23	Ilex glabra	Inkberry	18 - 24" HT.
DT	94	Deschampsia cespitosa	Tufted Hair Grass	#1 POT
SS	433	Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem Grass	#1 POT

30" o.c.  
18" o.c.




NOTES:  
1. SEE SHEET L-3 FOR PLANTING NOTES.

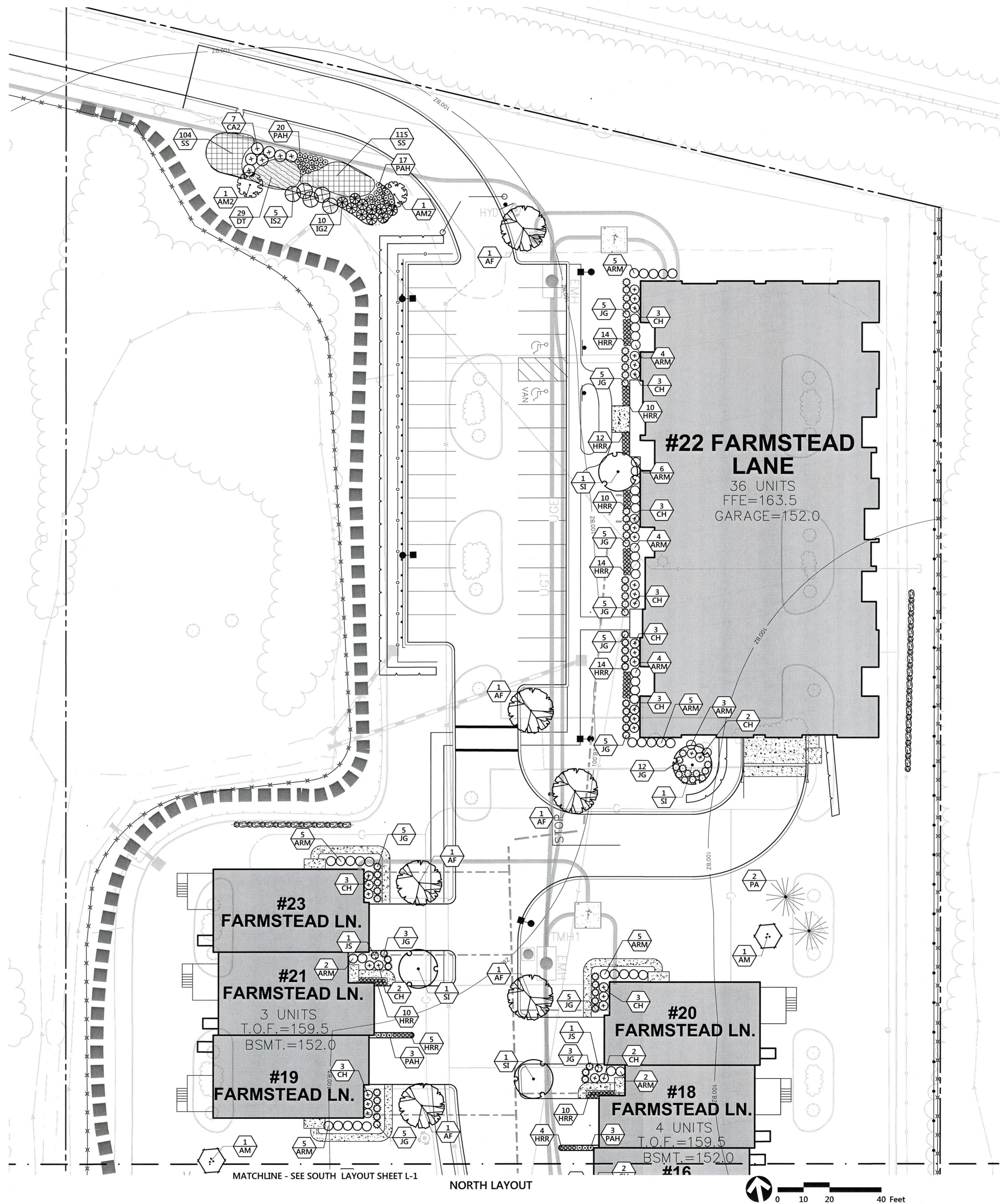
**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	Appr.

Designed by: RLG      Checked by: KFS  
Issued for:      Date: April 26, 2017  
**Local Approvals**

Drawing Title: **Planting Plan**  
Drawing Number: **L-1**  
Sheet 10 of 12  
Project Number: 13125.00





- NOTES:
- SEE SHEET L-1 FOR PLANT SCHEDULE.
  - SEE SHEET L-3 FOR PLANTING NOTES.

**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	Appr.

Designed by: RLG      Checked by: KFS  
Issued for: Local Approvals      Date: April 26, 2017

Drawing Title: **Planting Plan**  
Drawing Number: \_\_\_\_\_



**L-2**

Sheet 11 of 12

Project Number: 13125.00

Saved Wednesday, April 26, 2017 2:13:29 PM KLYNCH Plotted Wednesday, April 26, 2017 2:15:09 PM Lynch, Kathleen

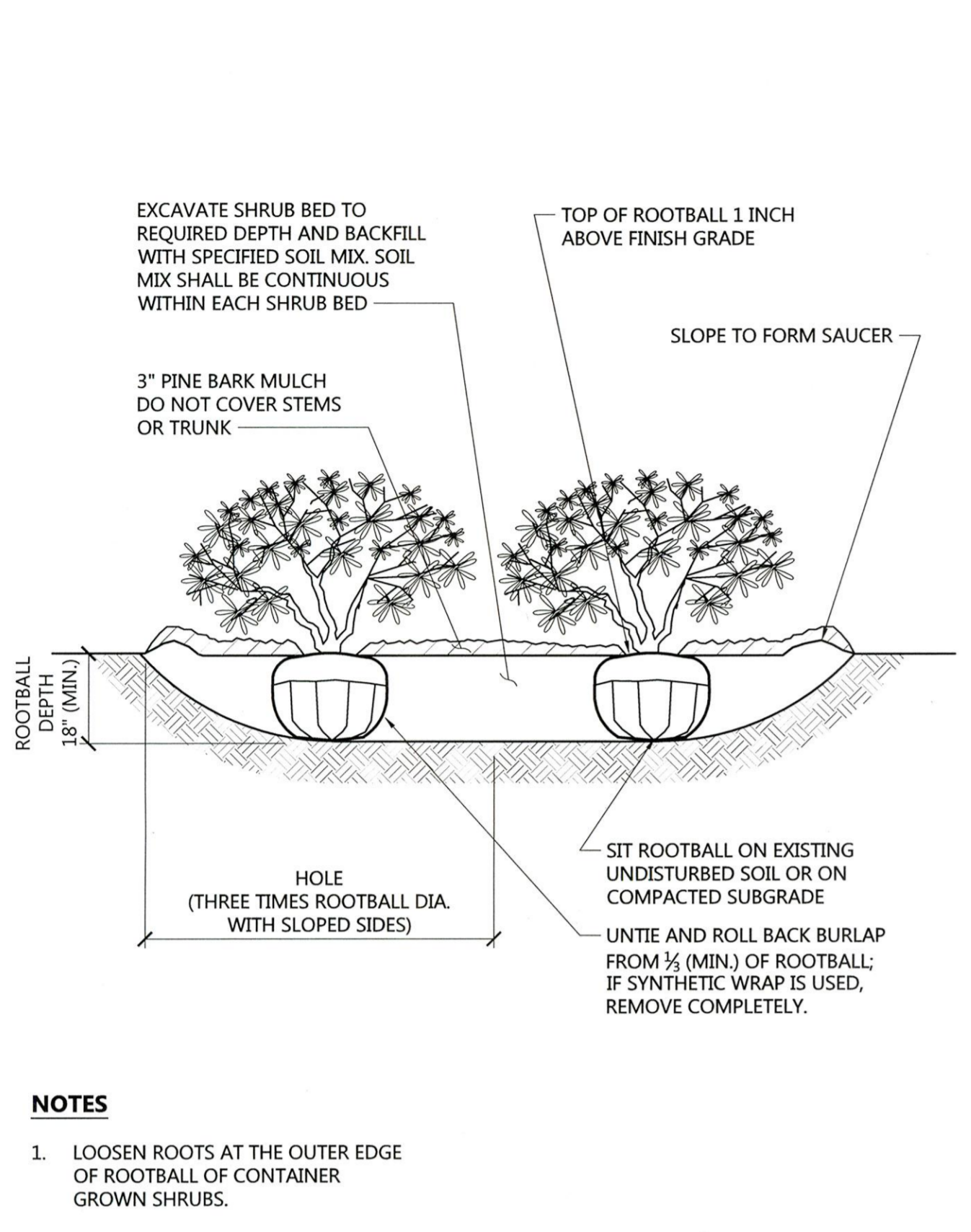
MATCHLINE - SEE SOUTH LAYOUT SHEET L-1

NORTH LAYOUT

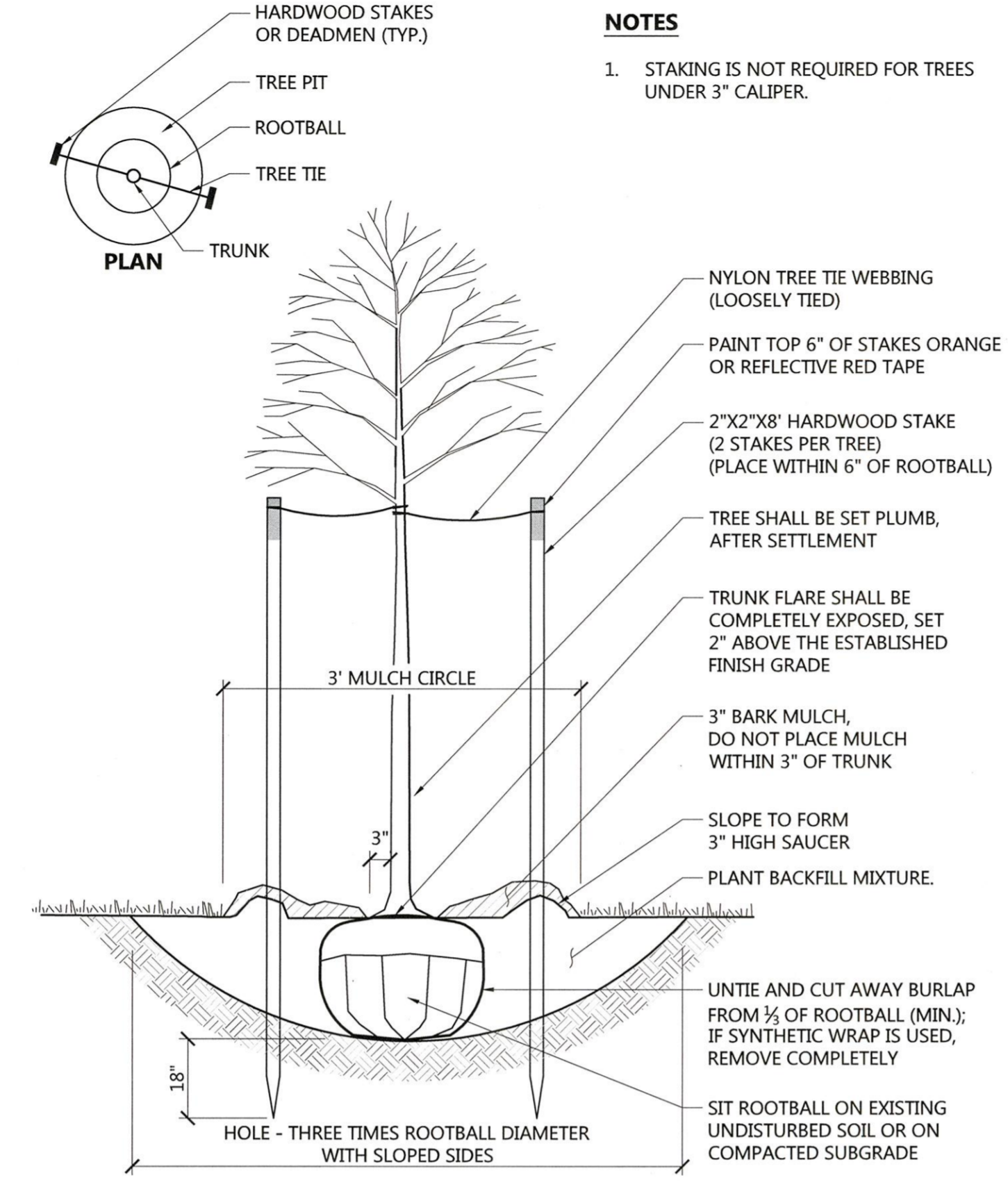




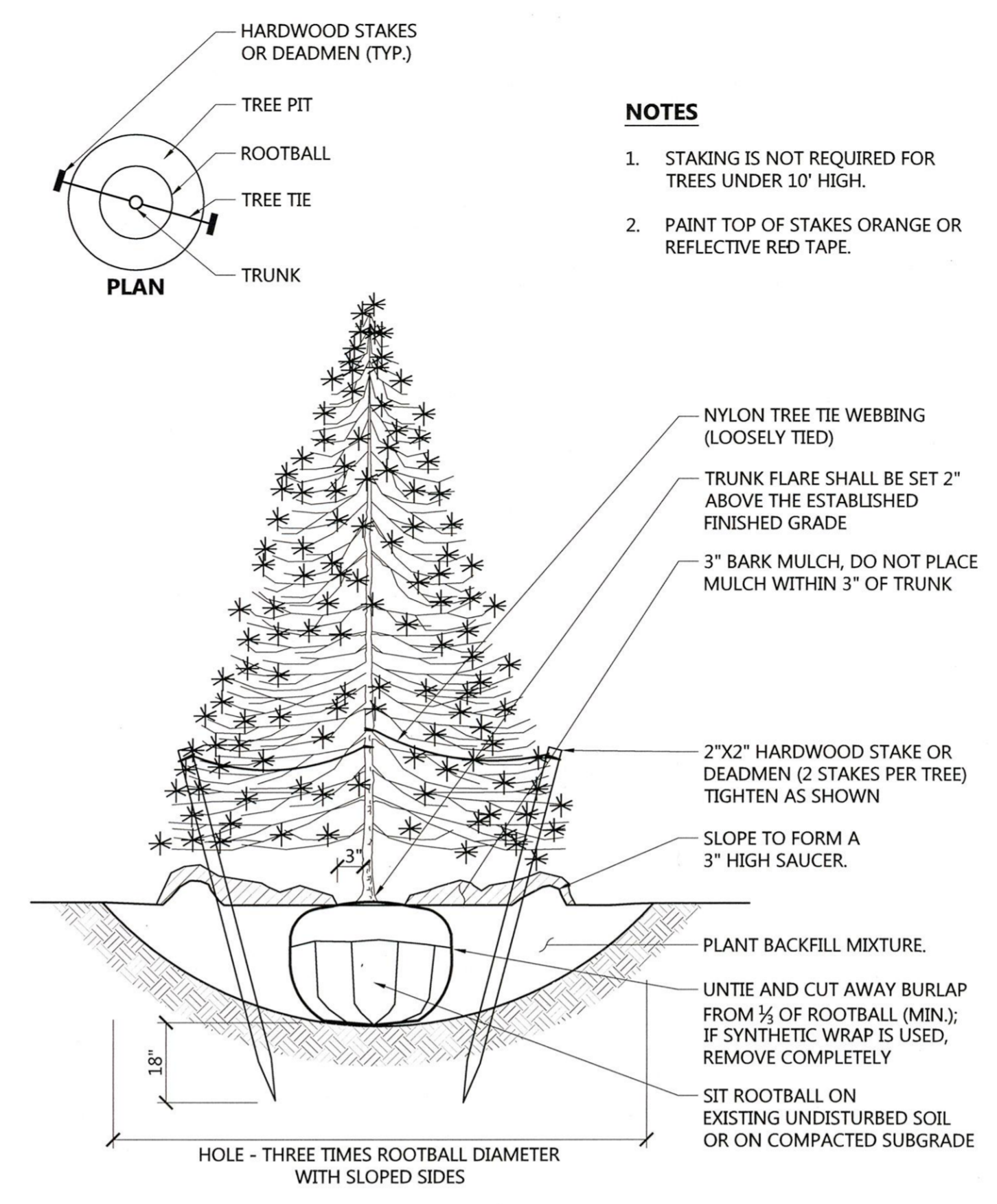
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



**Shrub Bed Planting** 1/16  
N.T.S. Source: VHB REV LD\_601



**Tree Planting (For Trees Under 4" Caliper)** 1/16  
N.T.S. Source: VHB LD\_602



**Evergreen Tree Planting** 1/16  
N.T.S. Source: VHB LD\_604

**Tree Protection**

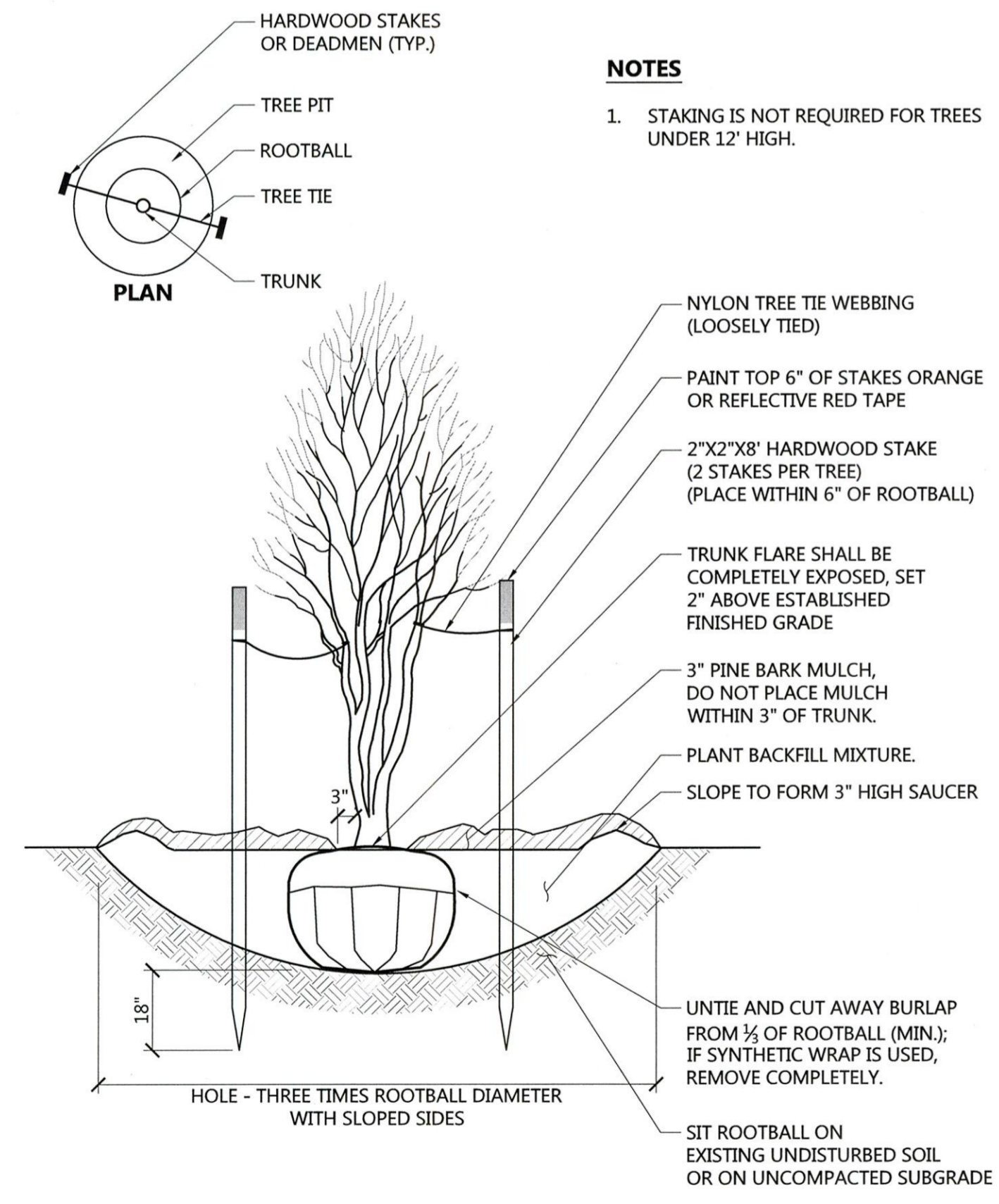
1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

**Planting Notes**

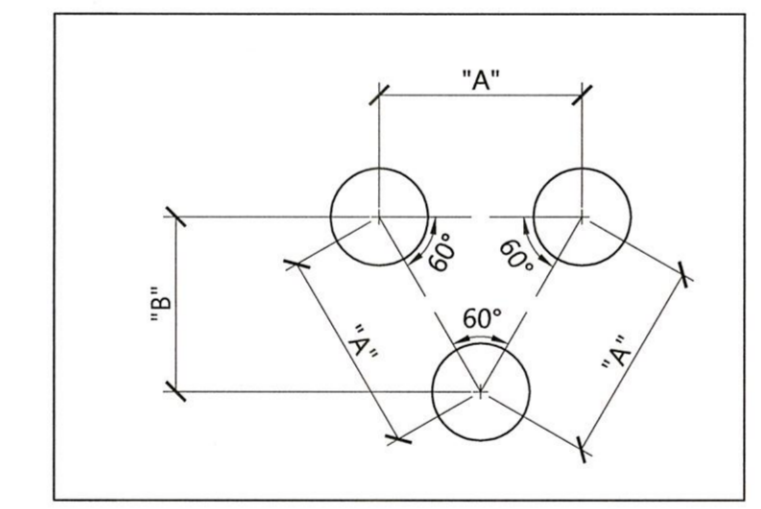
1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT A MINIMUM OF 30 DAYS PRIOR TO PLANTING, AND SHALL BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

**Plant Maintenance Notes**

1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
4. WATER SHALL BE PROVIDED AND APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS THROUGHOUT THE GUARANTEE PERIOD AND AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



**Multistem Tree Planting** 1/16  
N.T.S. Source: VHB LD\_606



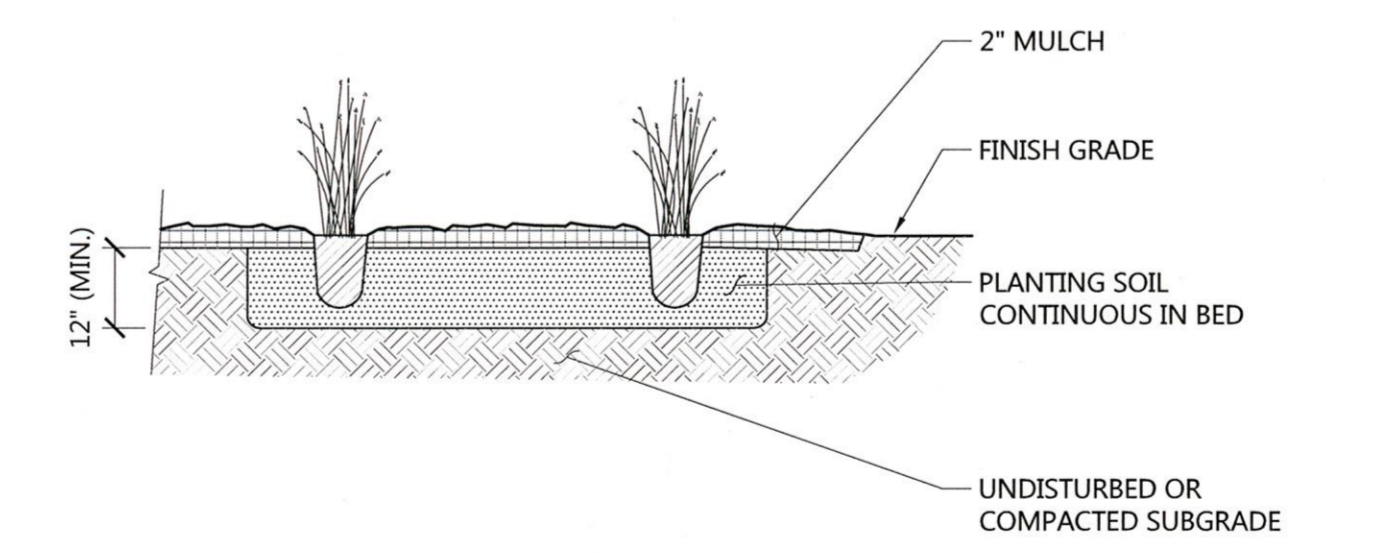
**PLANT SPACING**

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

**Ground Cover and Shrub Spacing Chart** 1/16  
N.T.S. Source: VHB LD\_618

**PLANT SPACING**

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.



**Perennial and Ornamental Grass Planting** 1/16  
N.T.S. Source: VHB LD\_618

**Highcrest at Meadow Walk**  
2-23 Farmstead Ln.  
Sudbury, MA

No.	Revision	Date	App'd.

Designed by: RLG      Checked by: KFS  
Issued for: Local Approvals      Date: April 26, 2017

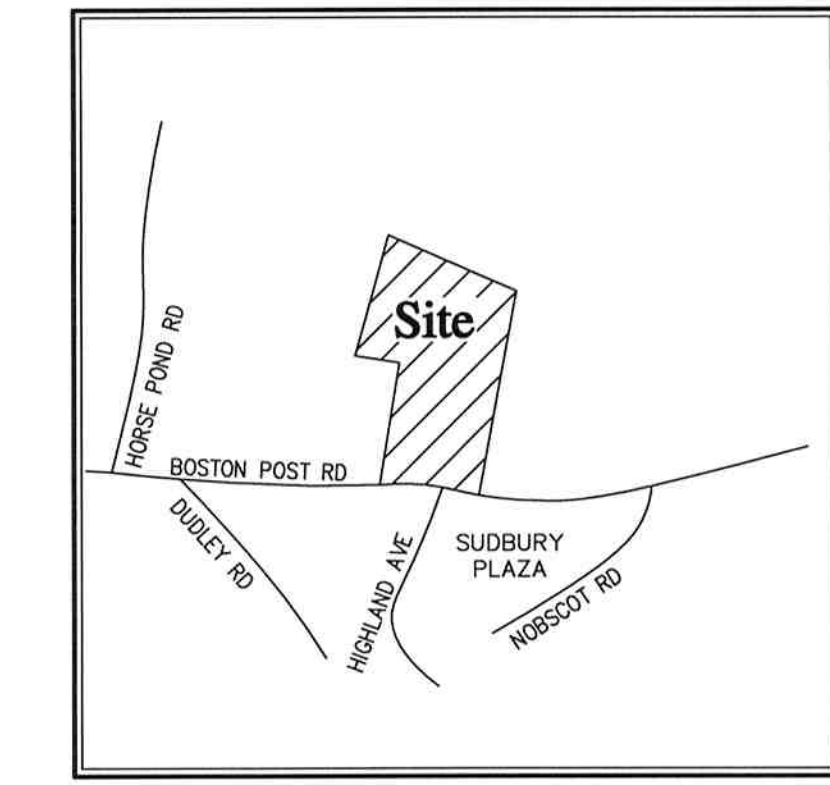
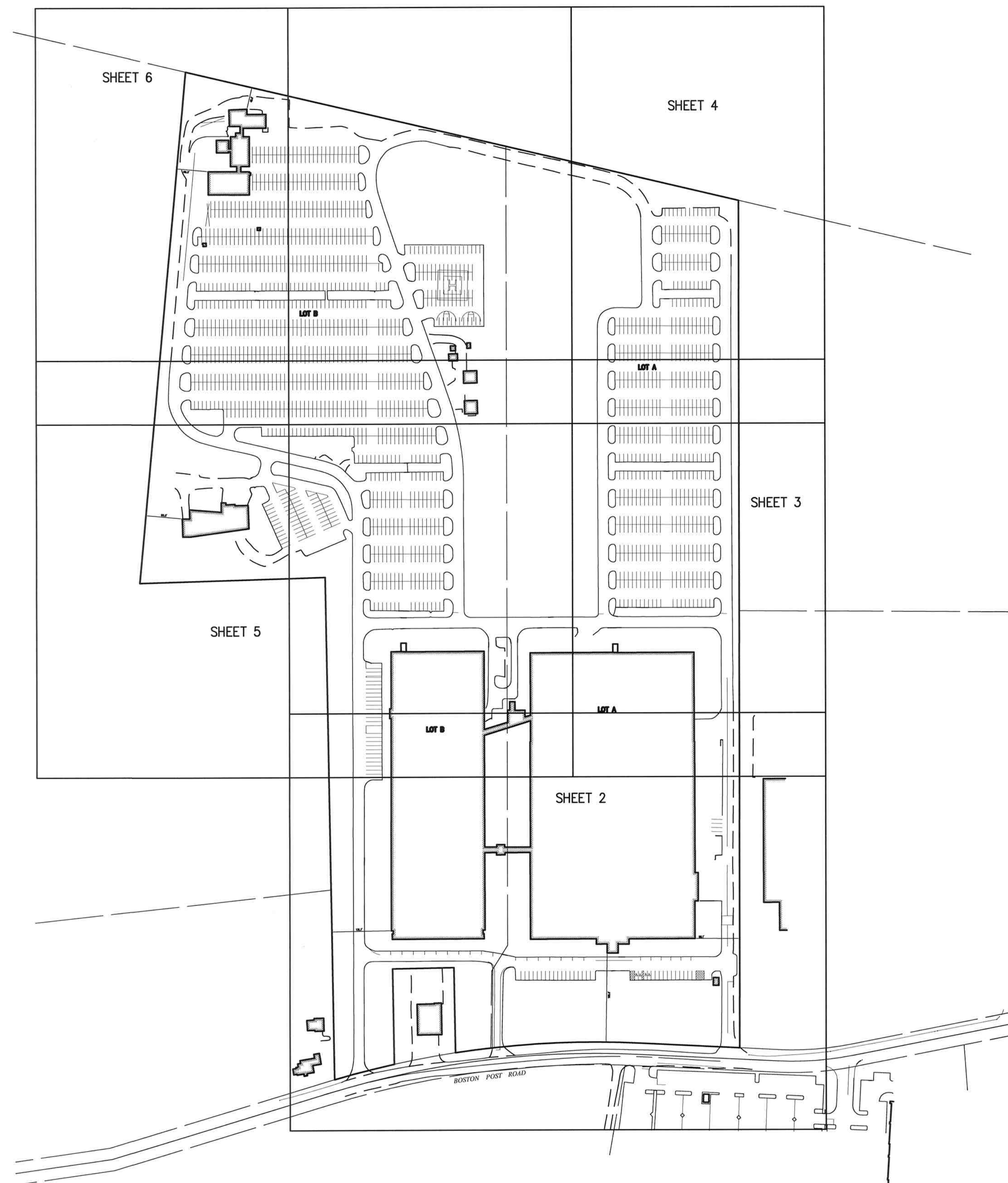
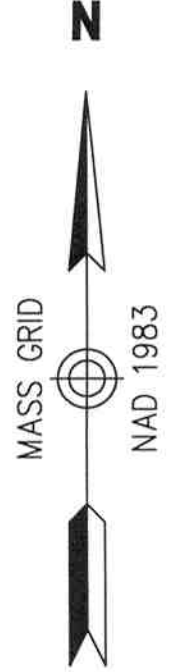
**Planting Details**

Drawing Number

**L-3**

Sheet 12 of 12

Project Number 13125.00



**Locus Map**  
(NOT TO SCALE)

**Legend**

- ① DRAIN MANHOLE
- CATCH BASIN
- ⑤ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- ⊖ WATER GATE
- ⊕ FIRE HYDRANT
- GAS GATE
- ◆ BOLLARD w/LIGHT
- STREET SIGN
- ☆ LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- ⬇ FLOOD LIGHT
- ⊕ WELL
- MARSH
- ⊕ F.F.E. = 45.27'
- FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS CURB
- BITUMINOUS BERM
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100'±Z 100-FT BUFFER ZONE
- 100'±BFI-100 LIMIT OF BANK
- WFI-100 VEGETATED WETLAND BOUNDARY

**General Notes**

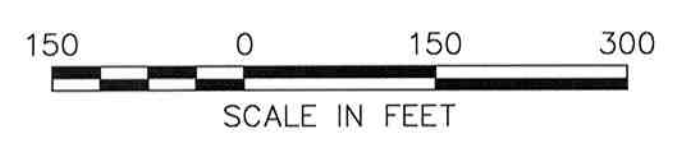
- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE, 2015 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON APRIL 25, 2015 AND AUGMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN MAY/JUNE, 2015.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0506F, EFFECTIVE DATE JULY 7, 2014.
- 6) THE MAJORITY OF THE LOT LIES WITHIN THE LIMITED INDUSTRIAL DISTRICT (LID) AS SHOWN ON THE "ZONING DISTRICT MAP OF SUDBURY, MASSACHUSETTS", DATED JANUARY 5, 2009. A SMALL PORTION OF THE SOUTHWEST CORNER OF THE SITE (SEE BELTRAN BLDG.) LIES IN THE RESIDENTIAL A-1 DISTRICT (RES A-1). DIMENSIONAL REQUIREMENTS FOR A (LID) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	EXISTING
MINIMUM LOT AREA	100,000 S.F.	2,156,154 S.F.
MINIMUM FRONTAGE	50 FEET	135.80 FEET
MINIMUM FRONT YARD SETBACK	125 FEET	195.9 FEET
MINIMUM SIDE YARD SETBACK	50 FEET	69.3 FEET
MINIMUM REAR YARD SETBACK	50 FEET	48.6 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	33.4 FT. (MAIN BLDG) 44 FT. (BELTRAN BLDG.)

- 7) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 8) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND FIELD SURVEYED BY VHB, INC. IN OCTOBER, 2015.

**Record Owner**

RAYTHEON COMPANY  
528 BOSTON POST ROAD  
SUDBURY, MASS.  
  
PARCEL I - LOT A  
BOOK 13723, PAGE 417  
MAP K7, LOT 11  
  
PARCEL II - LOT B  
BOOK 51383, PAGE 258  
MAP K7, LOT 13



**#526-528**

**Boston Post Road  
Sudbury, Massachusetts**

No.	Revision	Date	Appr.
3.	UPDATED FIELD DATA	11/16/16	RJB
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB
Designed by		Checked by	
Issued for		Date	

January 6, 2016

Drawing Title  
**Existing Conditions  
Plan of Land**  
Drawing Number



**Sv-1**

Sheet 1 of 6

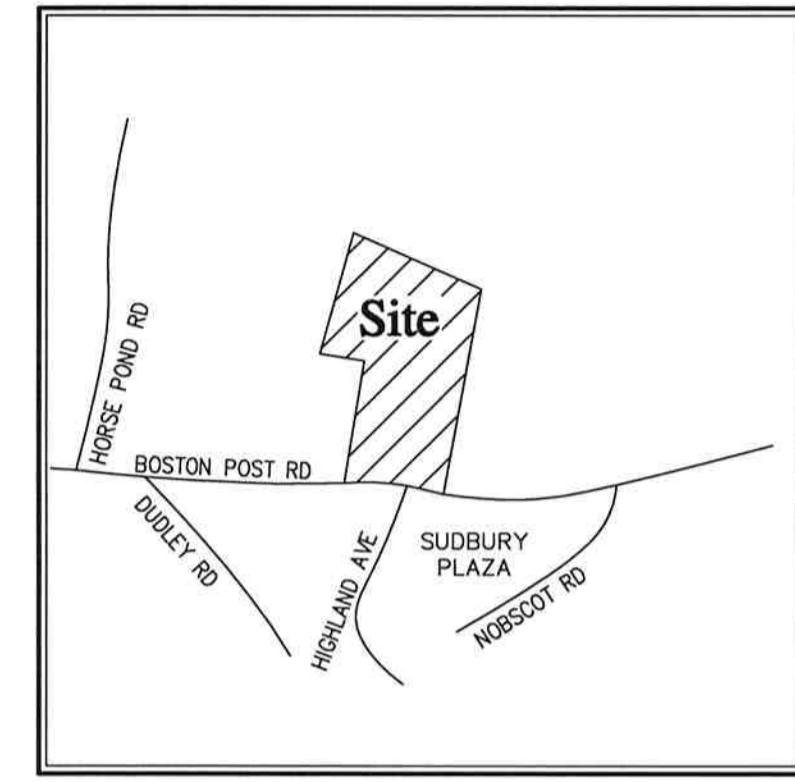
Project Number  
13125.00



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- F.F.E.=45.27 FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- UNDERGROUND ELECTRIC TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100' BUFFER ZONE
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY



Locus Map  
(NOT TO SCALE)

MATCH LINE SEE SHEET 3

FOOTPRINT AREA=230,200± S.F.

BUILDING #1  
1 STORY BRICK

BLDG. HT.=19.5'

2 STORY  
BLDG. HT.=31'

#526 BOSTON POST ROAD

BUILDING HEIGHT=16.4'

N/F PARIS TRUST LLC  
MAP K7, LOT 18  
BOOK 44473,  
PAGE 394

BENCHMARK  
FIRE HYDRANT  
B.O.M.O.  
ELEV.=148.60'

#526-528  
Boston Post Road  
Sudbury, Massachusetts

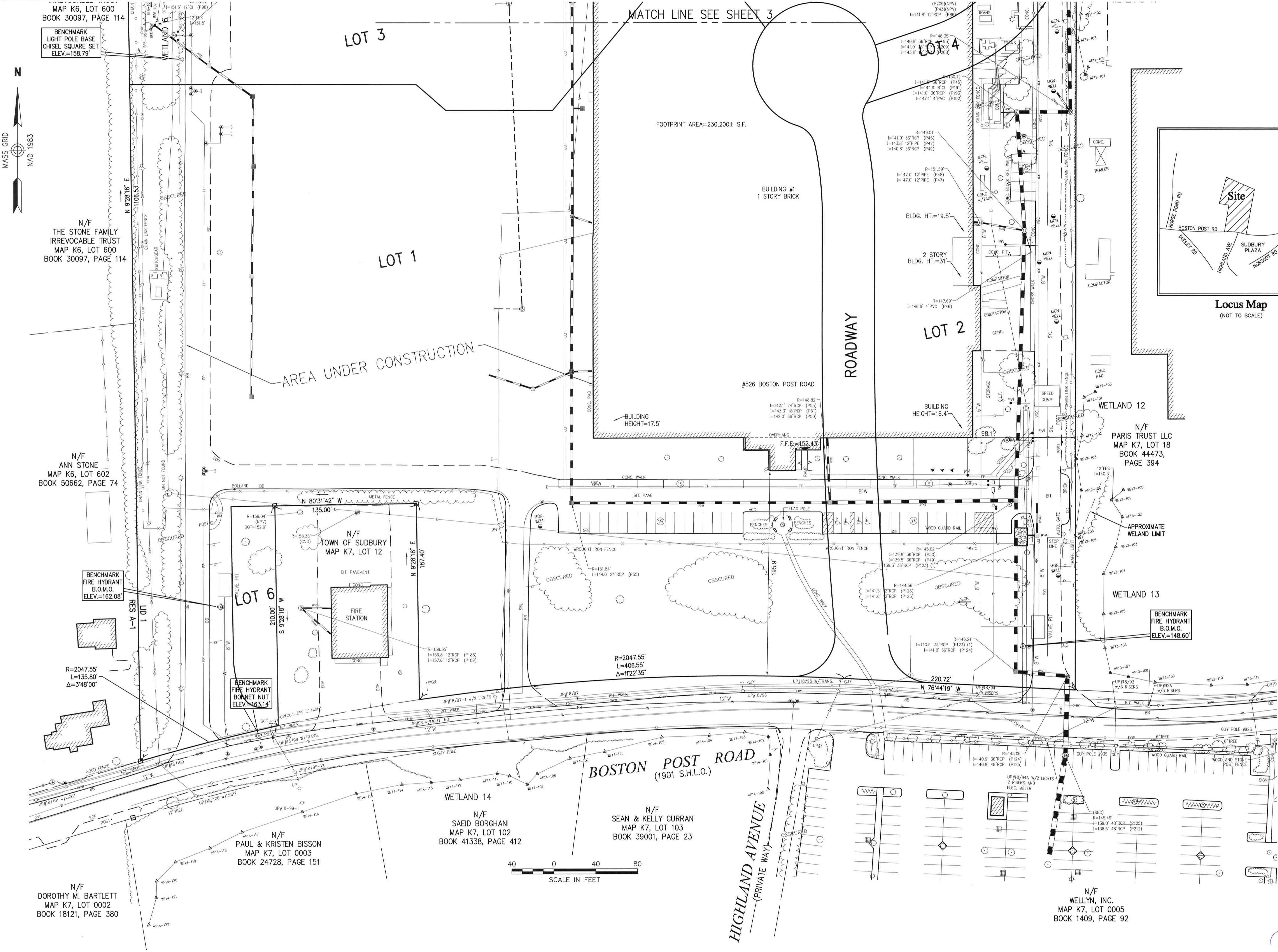
No.	Revision	Date	App'd.
3.	UPDATED FIELD DATA	11/16/16	RJB
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
 Issued for \_\_\_\_\_ Date \_\_\_\_\_  
 January 6, 2016

Existing Conditions  
Plan of Land



Sv-2



MAP K6, LOT 600  
BOOK 30097, PAGE 114

N/F THE STONE FAMILY  
IRREVOCABLE TRUST  
MAP K6, LOT 600  
BOOK 30097, PAGE 114

N/F ANN STONE  
MAP K6, LOT 602  
BOOK 50662, PAGE 74

BENCHMARK  
FIRE HYDRANT  
B.O.M.O.  
ELEV.=162.08'

BENCHMARK  
FIRE HYDRANT  
BONNET NUT  
ELEV.=163.14'

R=2047.55'  
L=135.80'  
Δ=3'48"00"

N/F DOROTHY M. BARTLETT  
MAP K7, LOT 0002  
BOOK 18121, PAGE 380

N/F PAUL & KRISTEN BISSON  
MAP K7, LOT 0003  
BOOK 24728, PAGE 151

N/F SAEID BORGHANI  
MAP K7, LOT 102  
BOOK 41338, PAGE 412

N/F SEAN & KELLY CURRAN  
MAP K7, LOT 103  
BOOK 39001, PAGE 23



HIGHLAND AVENUE  
(PRIVATE WAY)

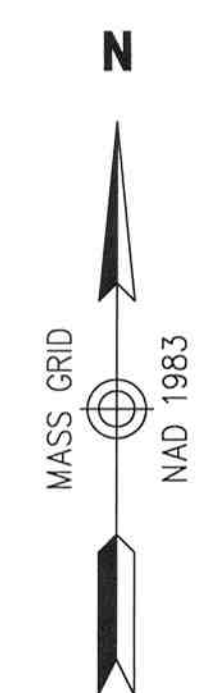
N/F WELLYN, INC.  
MAP K7, LOT 0005  
BOOK 1409, PAGE 92



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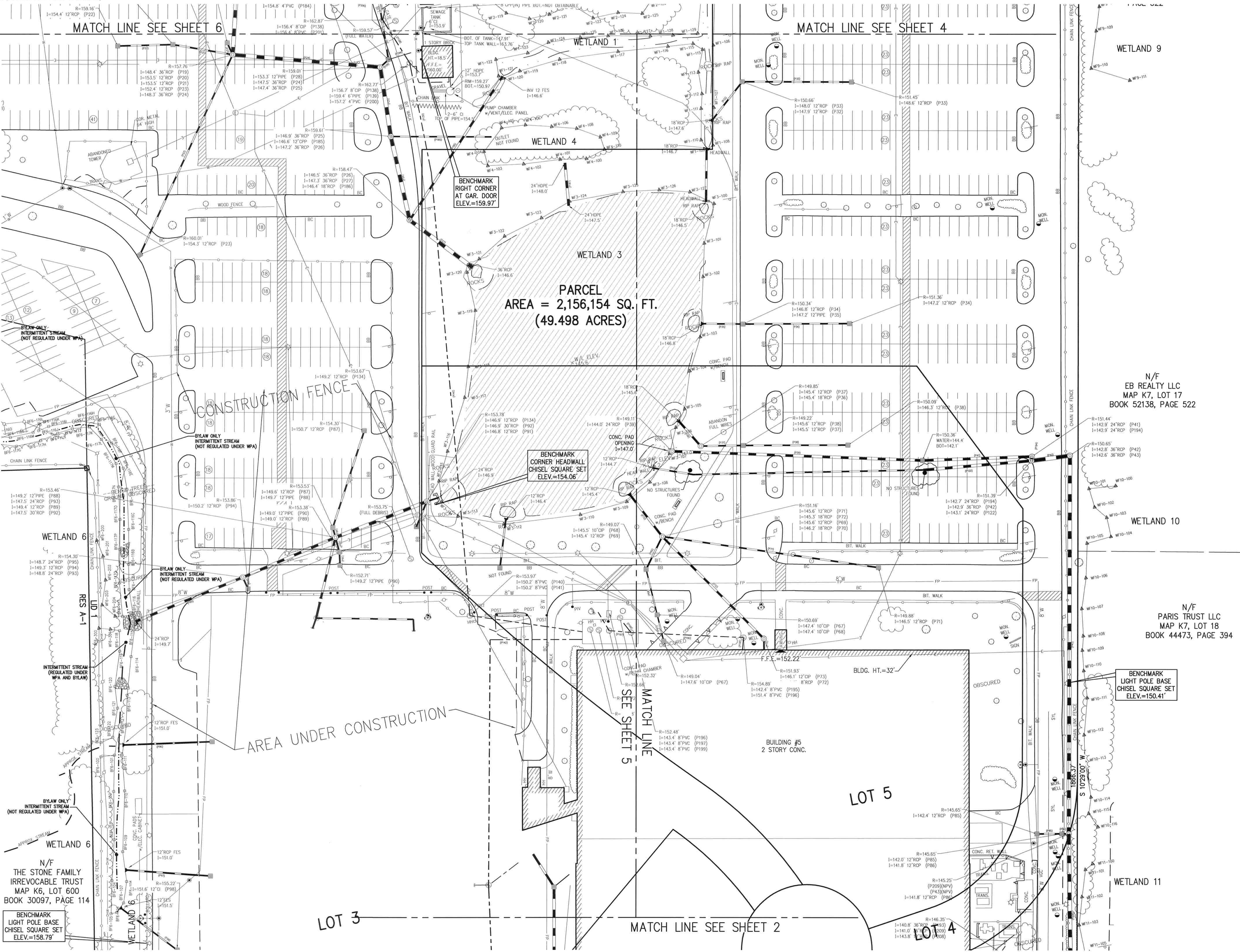
Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- ⑦ HAND HOLE
- ⑧ WATER GATE
- ⑨ FIRE HYDRANT
- ⑩ GAS GATE
- ⑪ BOLLARD w/LIGHT
- ⑫ STREET SIGN
- ⑬ LIGHT POLE
- ⑭ UTILITY POLE
- ⑮ GUY POLE
- ⑯ GUY WIRE
- ⑰ MONITORING WELL
- ⑱ FLOOD LIGHT
- ⑲ WELL
- ⑳ MARSH
- ⑳ F.F.E.=45.27
- ⑳ FINISHED FLOOR ELEVATION
- ⑳ CNO COULD NOT OPEN
- ⑳ NPV NO PIPES VISIBLE
- ⑳ DYL DOUBLE YELLOW LINE
- ⑳ DWL DASHED WHITE LINE
- ⑳ SYL SINGLE WHITE LINE
- ⑳ LSA LANDSCAPED AREA
- ⑳ EDGE OF PAVEMENT
- ⑳ CONCRETE CURB
- ⑳ VERTICAL GRANITE CURB
- ⑳ SLOPED GRANITE EDGE
- ⑳ BITUMINOUS BERM
- ⑳ BITUMINOUS CURB
- ⑳ GUARD RAIL
- ⑳ CHAIN LINK FENCE
- ⑳ DRAINAGE LINE
- ⑳ SEWER LINE
- ⑳ OVERHEAD WIRE
- ⑳ UNDERGROUND ELECTRIC
- ⑳ TELEPHONE LINE
- ⑳ GAS LINE
- ⑳ WATER LINE
- ⑳ STONE WALL
- ⑳ TREE LINE
- ⑳ 100' BZ
- ⑳ 100-FT BUFFER ZONE
- ⑳ LIMIT OF BANK
- ⑳ VEGETATED WETLAND BOUNDARY



MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 4



N/F THE STONE FAMILY IRREVOCABLE TRUST MAP K6, LOT 600 BOOK 30097, PAGE 114

BENCHMARK LIGHT POLE BASE CHISEL SQUARE SET ELEV.=158.79'

N/F EB REALTY LLC MAP K7, LOT 17 BOOK 52138, PAGE 522

N/F PARIS TRUST LLC MAP K7, LOT 18 BOOK 44473, PAGE 394

BENCHMARK LIGHT POLE BASE CHISEL SQUARE SET ELEV.=150.41'

MATCH LINE SEE SHEET 5

AREA UNDER CONSTRUCTION



MATCH LINE SEE SHEET 2

#526-528

Boston Post Road  
Sudbury, Massachusetts

No.	Revision	Date	Appr.
3.	UPDATED FIELD DATA	11/16/16	RJB
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: January 6, 2016

Existing Conditions  
Plan of Land

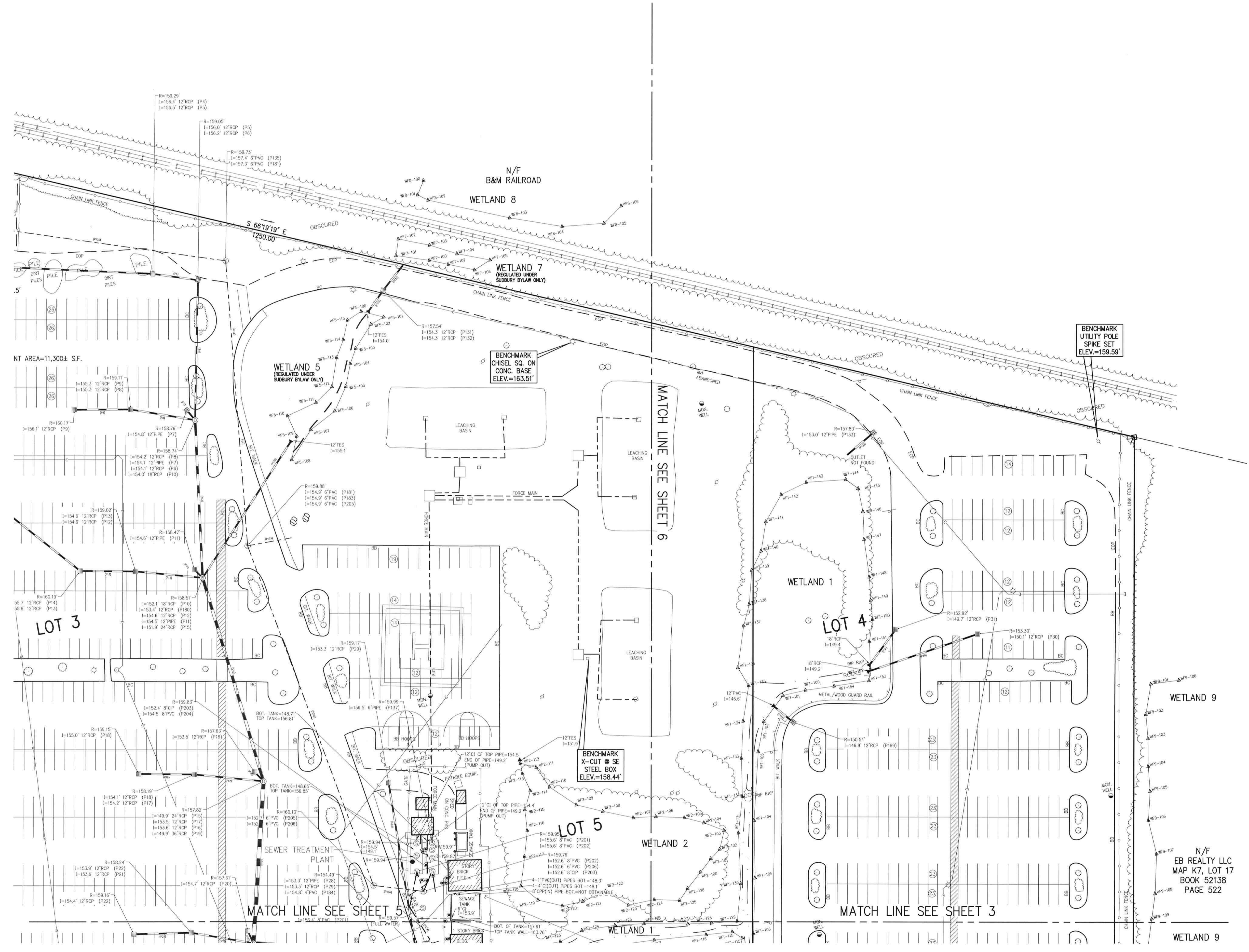
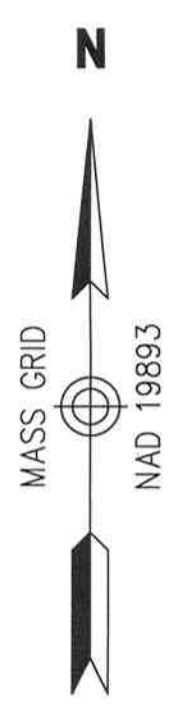


Sv-3





101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ BOLLARD w/LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ F.F.E.=45.27
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ CNO COULD NOT OPEN
- ⊙ NPV NO PIPES VISIBLE
- ⊙ DYL DOUBLE YELLOW LINE
- ⊙ DWL DASHED WHITE LINE
- ⊙ SYL SINGLE WHITE LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EDGE OF PAVEMENT
- ⊙ CONCRETE CURB
- ⊙ VERTICAL GRANITE CURB
- ⊙ SLOPED GRANITE EDGE
- ⊙ BITUMINOUS BERM
- ⊙ BITUMINOUS CURB
- ⊙ GUARD RAIL
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100-FT BUFFER ZONE
- ⊙ LIMIT OF BANK
- ⊙ VEGETATED WETLAND BOUNDARY

#526-528  
Boston Post Road  
Sudbury, Massachusetts

No.	Revision	Date	App'd
3.	UPDATED FIELD DATA	11/16/16	RJB
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
January 6, 2016

Existing Conditions  
Plan of Land

Drawing Title: Existing Conditions Plan of Land

Scale: 1" = 40'

Sheet 4 of 6

Project Number: 13125.00

Professional Seal: RUSSELL J. BOUSQUET, REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 35369

Signature: Russell J. Bousquet, 11/21/16

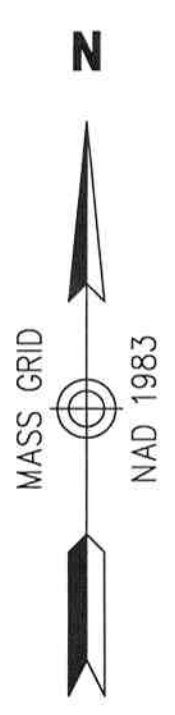
Printed Tuesday, November 22, 2016 10:20:35 AM Bousquet, Russell



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Watertown, MA 02471  
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**Legend**

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- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
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- ⊙ STREET SIGN
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- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
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- ⊙ CNO COULD NOT OPEN
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- ⊙ SYL SINGLE WHITE LINE
- ⊙ LSA LANDSCAPED AREA
- ⊙ EOP EDGE OF PAVEMENT
- ⊙ C/C CONCRETE CURB
- ⊙ W/C VERTICAL GRANITE CURB
- ⊙ S/C SLOPED GRANITE EDGE
- ⊙ BB BITUMINOUS BERM
- ⊙ BC BITUMINOUS CURB
- ⊙ GR GUARD RAIL
- ⊙ CLF CHAIN LINK FENCE
- ⊙ DL DRAINAGE LINE
- ⊙ S/L SEWER LINE
- ⊙ OHW OVERHEAD WIRE
- ⊙ E UNDERGROUND ELECTRIC
- ⊙ T TELEPHONE LINE
- ⊙ G GAS LINE
- ⊙ W WATER LINE
- ⊙ SW STONE WALL
- ⊙ TL TREE LINE
- ⊙ 100BZ 100-FT BUFFER ZONE
- ⊙ LBL LIMIT OF BANK
- ⊙ WT-100 VEGETATED WETLAND BOUNDARY



N/F THE STONE FAMILY IRREVOCABLE TRUST  
MAP K6, LOT 600  
BOOK 30097, PAGE 114

BENCHMARK  
44" OAK  
SPIKE SET  
ELEV.=166.68'

BENCHMARK  
RIGHT CORNER  
AT GAR. DOOR  
ELEV.=159.97'

PARCEL  
AREA = 2,156,154 SQ.  
(49.498 ACRES)

BENCHMARK  
CORNER HEADWALL  
CHISEL SQUARE SET  
ELEV.=154.06'

MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 3

MATCH LINE SEE SHEET 2



N/F THE STONE FAMILY IRREVOCABLE TRUST  
MAP K6, LOT 600  
BOOK 30097, PAGE 114

**#526-528**

Boston Post Road  
Sudbury, Massachusetts

No.	Revision	Date	App'd.
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1.	REVISED BUFFER LINE	1/25/16	RJB

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: January 6, 2016

**Existing Conditions  
Plan of Land**

Drawing Title: Existing Conditions Plan of Land  
Drawing Number: Sv-5  
Sheet 5 of 6  
Project Number: 13125.00

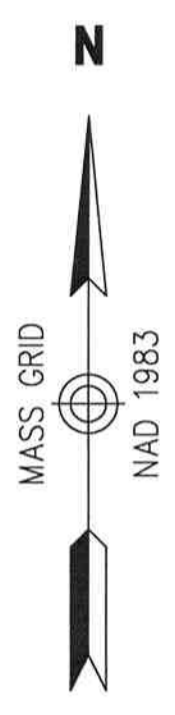
*Russell J. Hysell*  
1/12/16



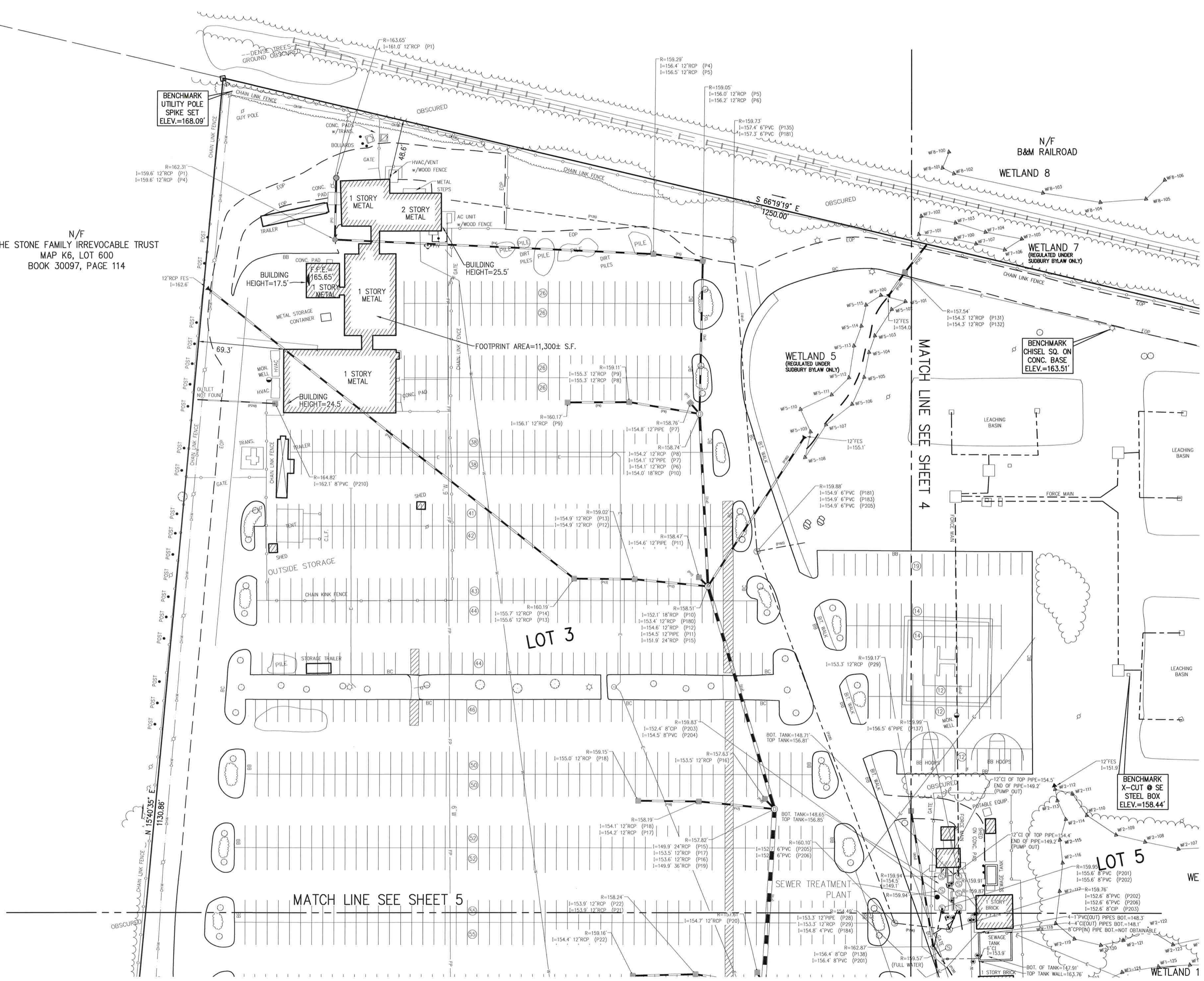
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Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
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- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- F.F.E. = 45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
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- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
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- GR GUARD RAIL
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- DRAINAGE LINE
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- WATER LINE
- STONE WALL
- TREE LINE
- 100' BUFFER ZONE
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY



N/F  
THE STONE FAMILY IRREVOCABLE TRUST  
MAP K6, LOT 600  
BOOK 30097, PAGE 114



#526-528  
Boston Post Road  
Sudbury, Massachusetts

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Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
January 6, 2016

Drawing Title  
**Existing Conditions  
Plan of Land**

Drawing Number



Sv-6

Sheet 6 of 6

Project Number  
13125.00