# Site Plans

Issued for Local Approvals

Date Issued April 26, 2017

Latest Issue April 26, 2017

# Highcrest at Meadow Walk

2-23 Farmstead Lane Sudbury, MA

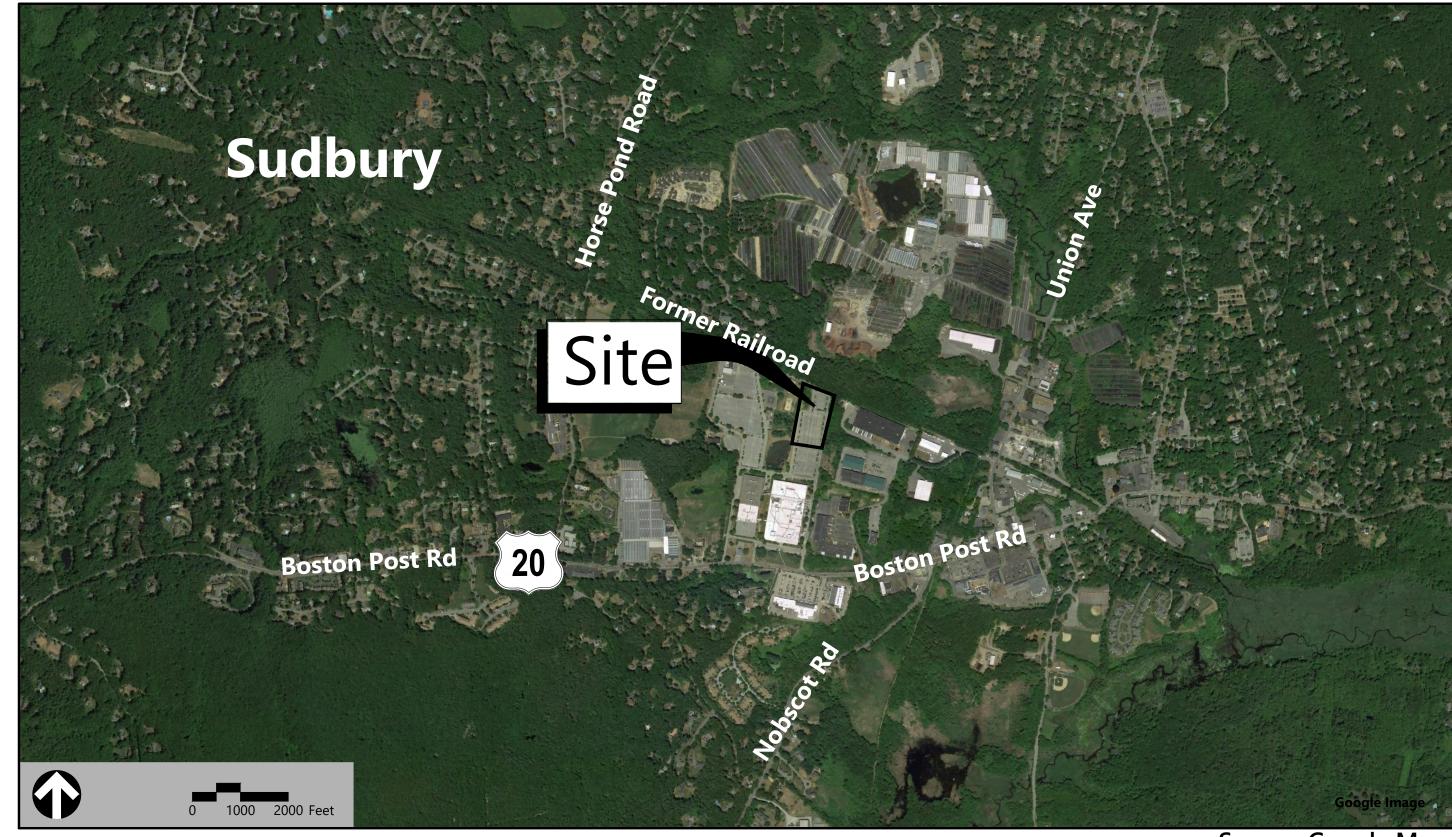
# Owner

BPR Sudbury Development LLC c/o National Development 2310 Washington Street Newton Lower Falls, MA 02462

# **Applicant**

Pulte Homes of New England LLC 115 Flanders Road, Suite 200 Westborough, MA 01581

Assessor's Map: K07-0011 and K07-0013



Source: Google Maps

Sheet Index			Reference Drawings		
No.	Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	April 26, 2017	Sv-1 - Sv-0	Existing Conditions Plan of Land	February 29, 2016
C-2	Overall Site Plan	April 26, 2017			
C-3	Layout and Materials Plan	April 26, 2017			
C-4	Grading, Drainage, and Erosion Control Plan	April 26, 2017			
C-5	Utility Plan	April 26, 2017			
C-6.1	Site Details	April 26, 2017			
C-6.2	Site Details	April 26, 2017			
C-6.3	Site Details	April 26, 2017			
C-6.4	Site Details	April 26, 2017			
L-1	Planting Plan	April 26, 2017			
L-2	Planting Plan	April 26, 2017			
L-3	Planting Notes and Details	April 26, 2017			



Surveyor
Wetlands Scientist
Site Civil Engineer
Transportation Engineer
Landscape Architect

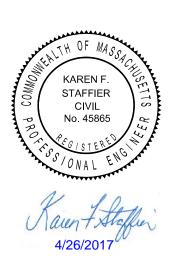
PO Box 9151

617.924.1770

Watertown, MA 02471

### **Geotechnical Engineer**

Ransom Consulting, Inc.
Pease International Tradeport
112 Corporate Drive
Portsmouth, NH
(603) 436-1490



			jena		
Exist.	Prop.		Exist.	Prop.	
		DDODEDTY LINE		State of the state	CONCRETE
		PROPERTY LINE		1.3 d. 45 to 5	HEAVY DUTY PAVEMENT
		PROJECT LIMIT LINE			BUILDINGS
		RIGHT-OF-WAY/PROPERTY LINE	NASATATA		
		EASEMENT			RIPRAP
		BUILDING SETBACK		%%%%	CONSTRUCTION EXIT
10+00	10+00	PARKING SETBACK	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
<del> </del>	<del></del>	BASELINE	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75 ×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
<del></del>		TOWN LINE	38.5 BW	$\Delta$	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
			<b>™</b> W	■ MW	
		WETLAND LINE WITH FLAG			MONITORING WELL
		FLOODPLAIN	———UD———	——UD——	UNDERDRAIN
———BLSF—		BORDERING LAND SUBJECT TO FLOODING	12"D	12″D─►	DRAIN
ВZ		WETLAND BUFFER ZONE	6"RD	6″RD—►	ROOF DRAIN
NDZ		NO DISTURB ZONE	12"S	1 <u>2"</u> S	SEWER
			FM	<u>FM</u>	FORCE MAIN
200'RA-	<del></del>	200' RIVERFRONT AREA	OHW	OHW	OVERHEAD WIRE
		GRAVEL ROAD	6"W	6"W	WATER
EOP	EOP	EDGE OF PAVEMENT	4"FP	——4"FP——	FIRE PROTECTION
BB	BB	BITUMINOUS BERM		2"DW	
BC	BC	BITUMINOUS CURB	3"G	——————————————————————————————————————	DOMESTIC WATER
CC	CC	CONCRETE CURB	5 6		GAS
	CG	CURB AND GUTTER	CTM	CTM	ELECTRIC
CC	ECC		STM	——STM——	STEAM
CC	MCC	EXTRUDED CONCRETE CURB			TELEPHONE
CC	PCC	MONOLITHIC CONCRETE CURB	——-FA——	——FA——	FIRE ALARM
SGE	SGE	PRECAST CONC. CURB	—— CATV——	—— CATV——	CABLE TV
VGC	VGC	SLOPED GRAN. EDGING		<b>=</b>	CATCH BASIN
VGC		VERT. GRAN. CURB			DOUBLE CATCH BASIN
		LIMIT OF CURB TYPE	<b></b>	<del></del>	GUTTER INLET
		SAWCUT		•	DRAIN MANHOLE
4111111			=TD=		TRENCH DRAIN
		BUILDING	ŗ	ľ	PLUG OR CAP
	EN	BUILDING ENTRANCE	CO	со	CLEANOUT
	<b>]</b> LD	LOADING DOCK	•	<b>•</b>	FLARED END SECTION
0	•	BOLLARD			
D	D	DUMPSTER PAD			HEADWALL
0	•	SIGN	S	•	SEWER MANHOLE
	-	DOUBLE SIGN	CS ●	CS ●	GUDD GTOD A DOV
			- WV	<u>w</u> v	CURB STOP & BOX
T T	<u></u>	STEEL GUARDRAIL	© Tev	● TCV	WATER VALVE & BOX
0 0		WOOD GUARDRAIL	TSV	TSV —◆►	TAPPING SLEEVE, VALVE & BOX
			_ ↔ _HYD	HYD	SIAMESE CONNECTION
	====	PATH	WM	<b>ॐ</b> WM	FIRE HYDRANT
	$\sim$	TREE LINE	⊡ PIV	⊡ PIV	WATER METER
× ×	<del>-xx-</del>	WIRE FENCE	•	•	POST INDICATOR VALVE
-oo	•	FENCE	(1)	<b>(W)</b>	WATER WELL
<del></del>	-	STOCKADE FENCE	GG ©	GG O	GAS GATE
000000	$\infty$	STONE WALL	GM	GM ⊡	GAS METER
		RETAINING WALL		EMH	
		STREAM / POND / WATER COURSE	E) EM	<b>●</b> EMIT EM	ELECTRIC MANHOLE
		DETENTION BASIN	. □	LW ⊡	ELECTRIC METER
- 0 - 0 - 0 - 0 - 0 - 0 - 0		HAY BALES	\$	*	LIGHT POLE
×	——×——	SILT FENCE	$\bigcirc$	● <sup>TMH</sup>	TELEPHONE MANHOLE
· c:::::> ·	· c:::::> ·	SILT SOCK / STRAW WATTLE	T	T	TRANSFORMER PAD
		, <u></u>	_	ш	INAINSI OINIVIEN FAU
4	<del></del>	MINOR CONTOUR	-0-	•	UTILITY POLE
— — 20 — —	20	MAJOR CONTOUR	0-	•-	GUY POLE
(10)	10	PARKING COUNT		Ţ	GUY WIRE & ANCHOR
	©10	COMPACT PARKING STALLS	HH ⊡	HH ⊡	HAND HOLE
DYL			PB ⊡	PB ⊡	PULL BOX
	DYL	DOUBLE YELLOW LINE			
SL	SL	STOP LINE	Mate	<u> hline </u>	MATCHLINE
		CROSSWALK			

ACCESSIBLE PARKING

VAN-ACCESSIBLE PARKING

Genera	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
	MAXIMUM
MAX	
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
СВ	CATCH BASIN
СМР	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
ОМН	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	
	CONDUIT
OIP	DUCTILE IRON PIPE
ES	FLARED END SECTION
-M	FORCE MAIN
-&G	FRAME AND GRATE
-&C	FRAME AND COVER
Gl	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
Н	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
l=	INVERT ELEVATION
LP	LIGHT POLE
√ES	METAL END SECTION
MES PIV	METAL END SECTION POST INDICATOR VALVE

PAVED WATER WAY

RIM ELEVATION

SEWER MANHOLI

UNDERGROUND

UTILITY POLE

POLYVINYLCHLORIDE PIPE

REINFORCED CONCRETE PIPE

TAPPING SLEEVE, VALVE AND BOX

#### Notes

#### 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.

- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCT IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE
- HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
  UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, UNLESS OTHERWISE SPECIFIED.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL COMPLY WITH THE RELEASE ABATEMENT MEASURES (RAM) PLAN TO BE PREPARED BY THE PROJECT LSP.

DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT

- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

#### Utilities

General

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- 2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
- A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
- B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
- A. WATER PIPES SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON (DI).
- B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
- C. STORM DRAINAGE PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE (HDPE)
- D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
- 11. PRIVATE UTILITY SIZING AND LOCATIONS ARE SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY.

#### **Layout and Materials**

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE BITUMINOUS CAPE COD BERM WITHIN THE SITE UNLESS OTHERWISE INDICATED ON
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

#### Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

#### **Erosion Control**

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO DREVEN FROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

#### **Existing Conditions Information**

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB..
  - A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB
  - B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: VHB SURVEY ON SEPTEMBER 15 AND 24, 2015.
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.
- 3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM RANSOM CONSULTING, INC..

#### Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



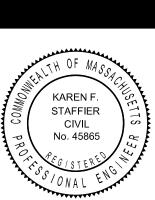
# Highcrest at Meadow Walk

2-23 Farmstead Ln. Sudbury, MA

Local Approvals

-	
-	
Designed by	Checked by
RIG	VEC .

Drawing Title	
Legend and	
General Notes	





April 26, 2017



Project Number 13125.08 

# Highcrest at Meadow Walk

2-23 Farmstead Ln. Sudbury, MA

		111111111111111111111111111111111111111

Designed by RLG	Checked by KFS
Issued for	Date
<b>Local Approvals</b>	April 26, 2017

Local Approvals







\\vhb\proj\Wat-LD\13125.08 Pulte Sudbury\cad\Id\Planset\Permitting Planset\13125.00\_Age Qualified Housing\_LM.dwg

PROPOSED WALKWAY (MATERIAL, LOCATION, & GRADING SUBJECT TO FINAL OPEN SPACE DESIGN BY OTHERS)

STONE RETAINING WALL (TYP)

**SOUTH LAYOUT** 



Watertown, MA 02471 617.924.1770 Parking Summary Chart

PO Box 9151

Description Required Provided Required Provided

TOTAL SPACES 9 x 18.5 9 x 18.5 162±i 157ii,iii

TOTAL SPACES 9 x 18.5 9 x 18.5 162±<sup>i</sup> 157<sup>ii,iii</sup>

PER MASTER DEVELOPMENT PLAN DATED 4/22/2016 (REV. 10/31/2016), 162 SPACES

WERE PROPOSED FOR DEVELOPMENT AREA C.

"THE NUMBER OF SPACES PROVIDED IS 157, WHICH IS 5 (FIVE) SPACES BELOW THE REQUIREMENT (3% REDUCTION).

<sup>iii</sup> Final distribution of accessible parking spaces and compliance with ADA/AAB REQUIREMENTS SUBJECT TO REFINEMENT IN CONJUNCTION WITH PREPARATION OF CONSTRUCTION DRAWINGS.

NOTES:

1. INTERNAL PROPERTY LINES ARE BASED ON THE APPROVED SUBDIVISION PLAN DATED JUNE 1, 2016 BY VHB

Sig	n Su	mmaı	ry
M.U.T.C.D.	Specif	ication	Doss
Number	Width	Height	Desc.
R1-1	30"	30"	STOP
R5-1	30"	30"	DO NOT ENTER
			RESERVED

# Highcrest at Meadow Walk

2-23 Farmstead Ln. Sudbury, MA

R7-8

esigned by RLG KFS

Issued for Date

Local Approvals April 26, 2017

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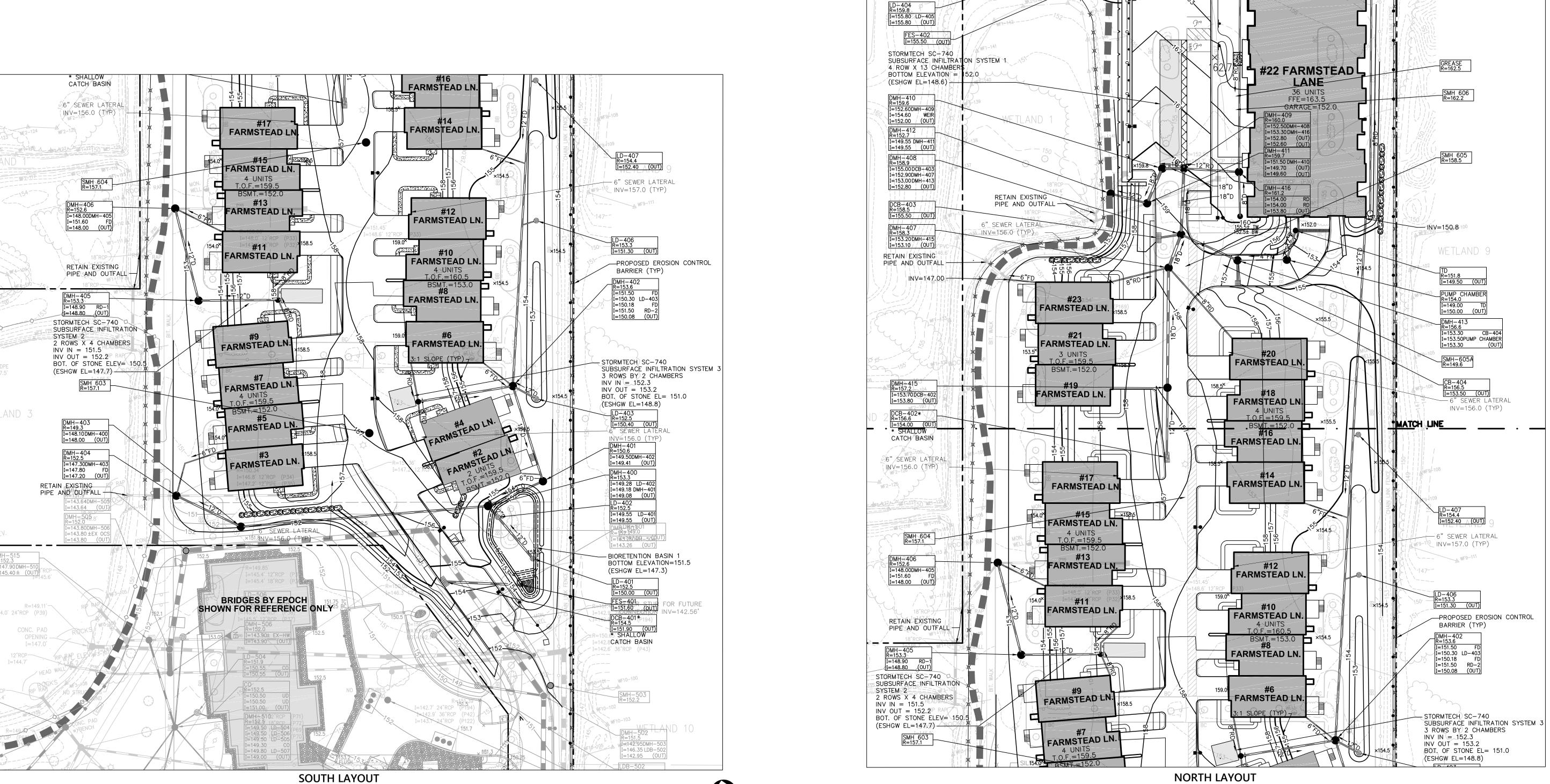
Project Number 13125.08

0 20 40 80 Feet

NORTH LAYOUT



BENCHMARK



BIORETENTION BASIN 2

BOTTOM EL=159.0 BERM EL=161.0 ESHGW EL=151.5

# Highcrest at Meadow Walk

2-23 Farmstead Ln. Sudbury, MA

No. Revision Date Appvd.

RLG KFS

Issued for Date

Local Approvals April 26, 2017

Local Approv

provals April 26, 2

Grading, Drainage, and Erosion Control Plan

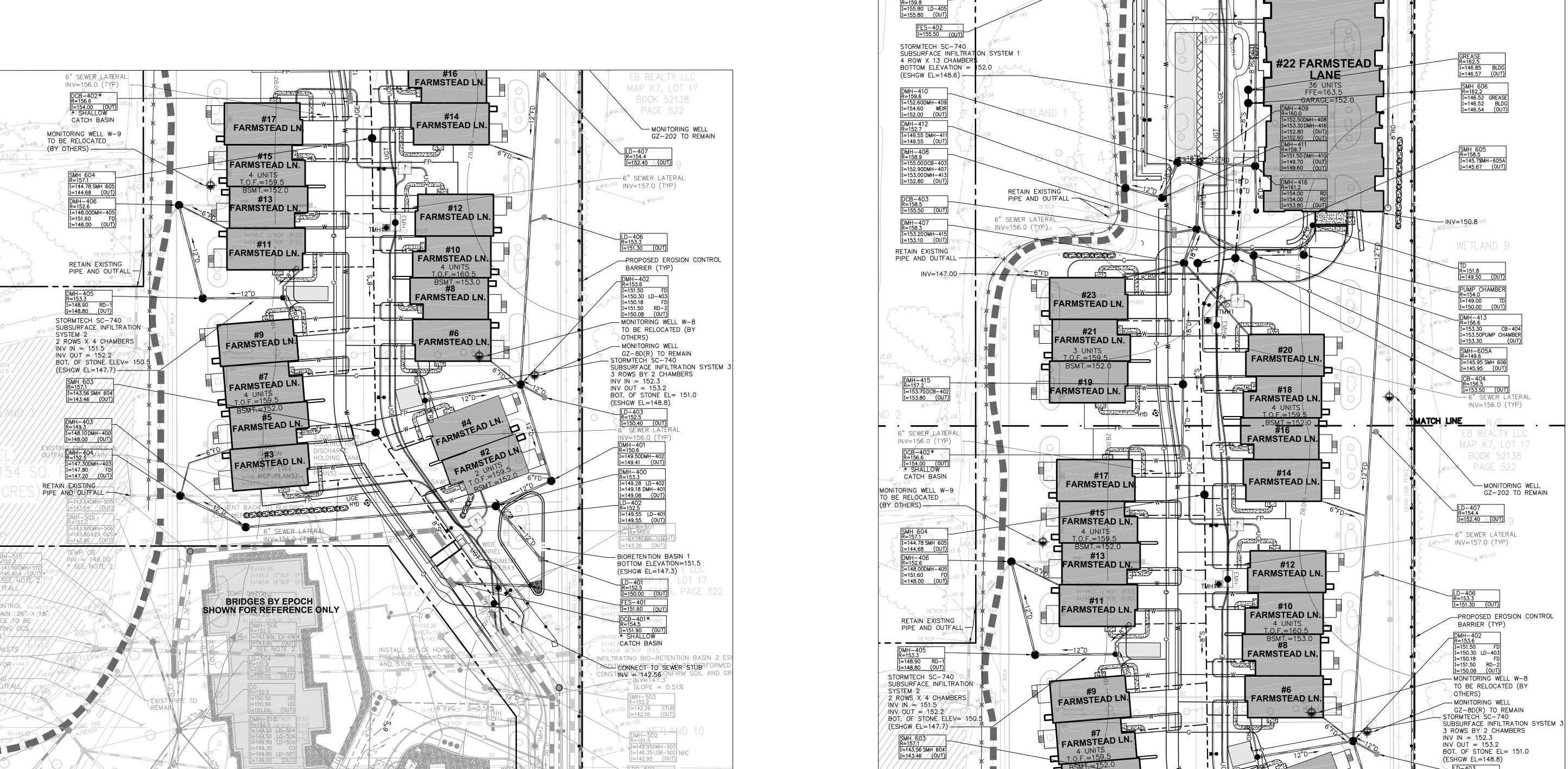


C-4





0 20 40 80 Feet





NOTES:

1. SIZE AND LOCATION OF DOMESTIC
WATER FEEDS, FIRE PROTECTION CONNECTIONS, SEWER LATERAL, AND OTHER UTILITIES SUBJECT TO FINALIZATION.

# Highcrest at **Meadow Walk**

2-23 Farmstead Ln. Sudbury, MA

No.	Revision	Date	Appvd
Design	ned by	Checked by	

RLG **Local Approvals** 

April 26, 2017







13125.08

**SOUTH LAYOUT** 



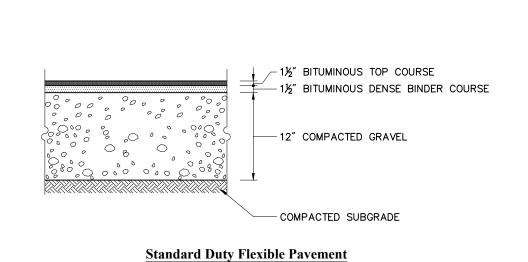
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.

- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN
- ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' imes 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'A-D' N.T.S. LD\_500 Source: VHB



PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Source: VHB

VARIES

1.5% (MAX.) 1.0% (MIN.)

BITUMINOUS CONCRETE PAVEMENT

1/4" SURFACE COURSE 1¼" BINDER COURSE

— 8" COMPACTED GRAVEL (1½" MAX STONE SIZE)

- COMPACTED SUBGRADE

NOTE: BOTH SURFACE AND BINDER

MATERIAL SHALL BE DENSE MIX.

8/11

LD\_422

LD\_430

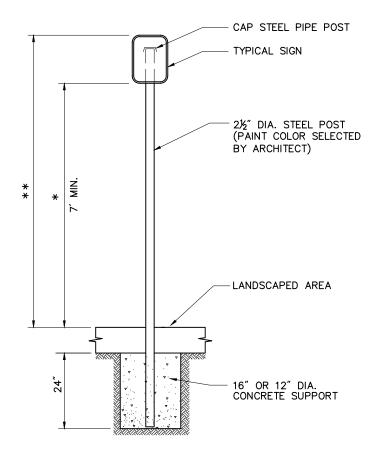
**Bituminous Concrete Pavement Sections** 

N.T.S.

CURB-

REVEAL-

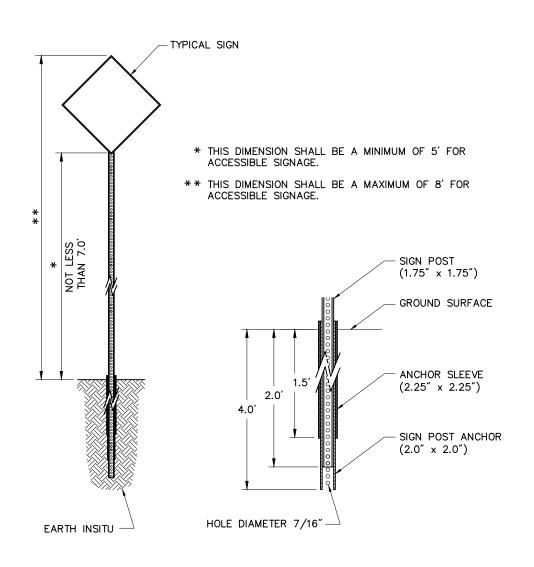
FINISH PAVEMENT —



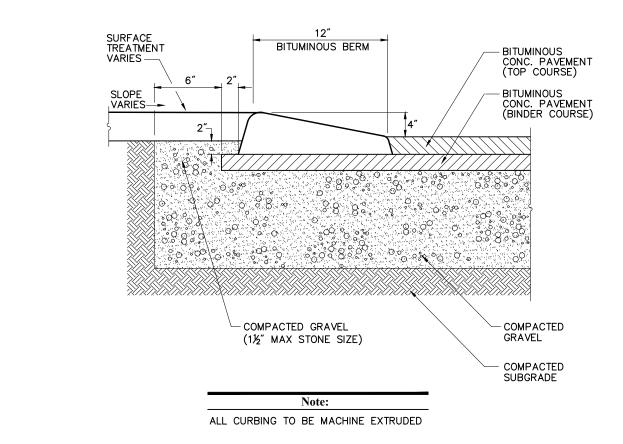
\* THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.

\*\* THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

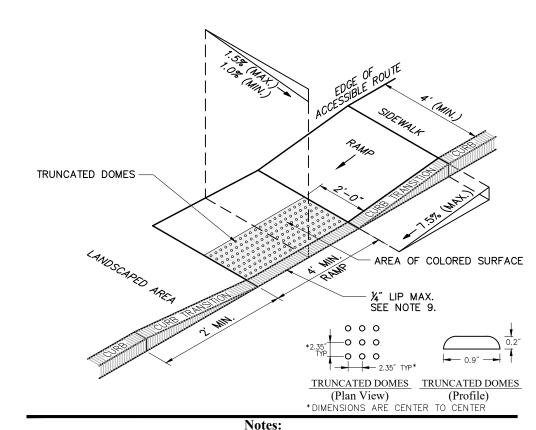
Sign Post - Type 'A' N.T.S. Source: VHB



Sign Post - Type 'B' N.T.S. Source: VHB LD\_702



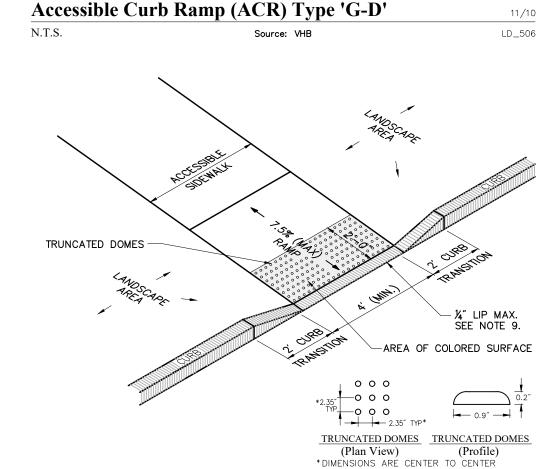
**Bituminous Berm (BB)** 6/08 LD\_407 Source: VHB



1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).

- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'  $\times$  5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
- 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.



Notes:

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%. 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'  $\times$  5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'M-D' N.T.S. Source: VHB

# Highcrest at **Meadow Walk**

2-23 Farmstead Ln. Sudbury, MA

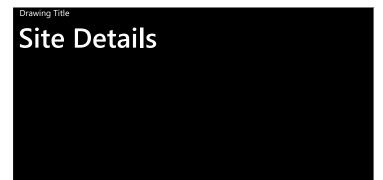
101 Walnut Street

Watertown, MA 02471

PO Box 9151

617.924.1770

KFS RLG April 26, 2017 **Local Approvals** 





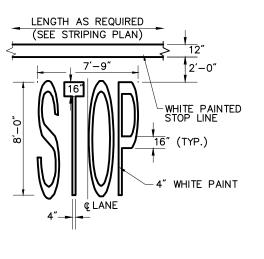


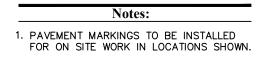
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**Bituminous Concrete Sidewalk** N.T.S. Source: VHB

- 1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
- 9' STALL WIDTH REFERS TO 9' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
- ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
- 4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

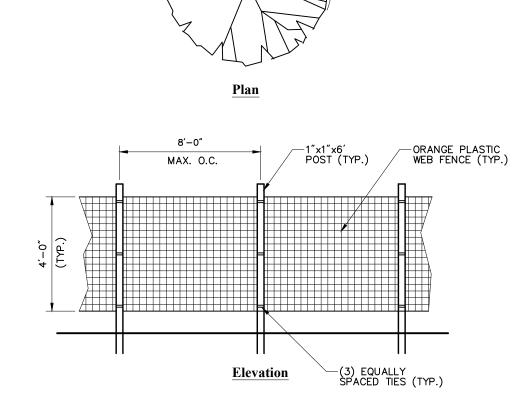
Accessible Par	king Space	12/14
N.T.S.	Source: VHB	LD_552b





Painted Pavement Markings - On Site

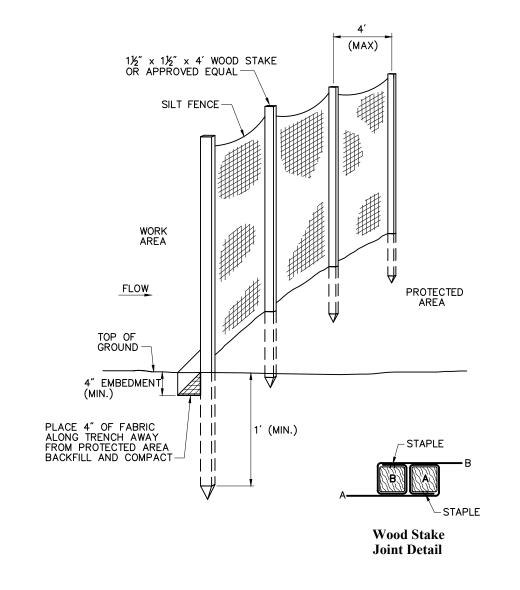
N.T.S. Source: VHB LD\_554



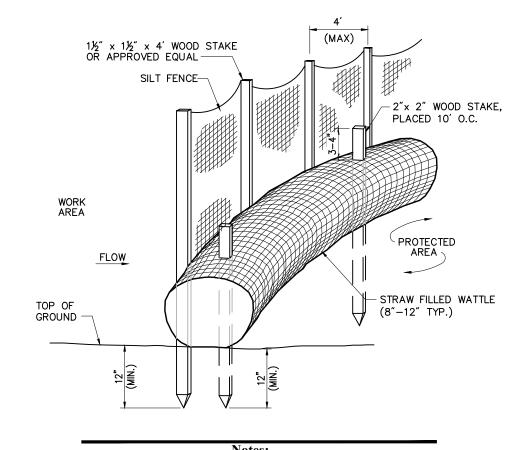
Notes:

1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

Tree Protection Fence7/13N.T.S.Source: VHBLD\_610



Silt Fence Barrier6/08N.T.S.Source: VHBLD\_650



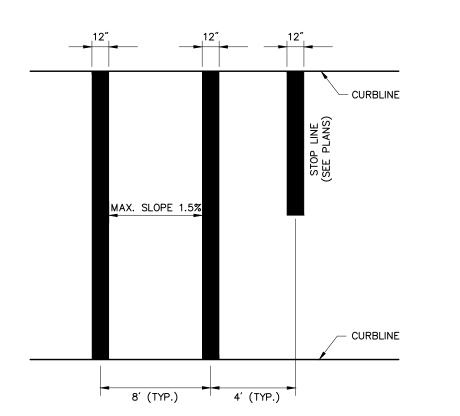
- STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER
- OR APPROVED EQUAL.

  2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
- STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- 4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS
- DIRECTED OTHERWISE BY ENGINEER.

  5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Straw Wattle with Silt Fence - Erosion Control Barrier

N.T.S. Source: VHB LD\_659-A

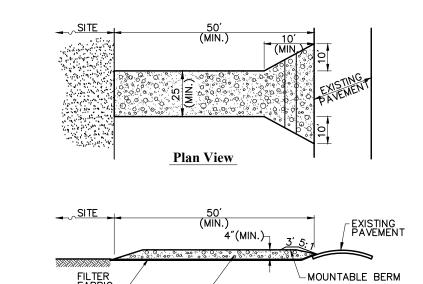


Notes:

1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO — 6 INCH LINES) WILL BE ACCEPTED.

2. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Crosswalk		6/08
N.T.S.	Source: VHB	LD_553s



Notes:

1. ENTRANCE WIDTH SHALL BE A TWENTY—FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS

**Cross-section** 

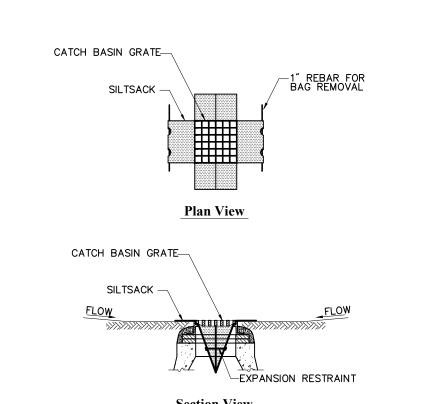
11/2" CRUSHED STONE-

WHERE INGRESS OR EGRESS OCCURS.

2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS—OF—WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE

3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit		6/08
N.T.S.	Source: VHB	LD 682



Notes:

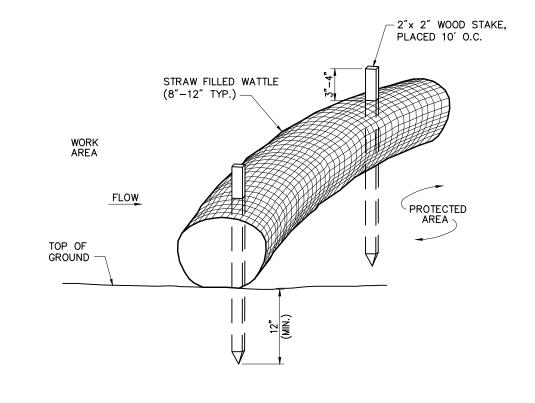
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN

**Section View** 

2. GRATE TO BE PLACED OVER SILTSACK.

3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsack Sediment Trap		6/08
N.T.S.	Source: VHB	LD_674



1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.

- 2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
- 3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
- 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Straw Wattle - Erosion Control Barrier		8/12
N.T.S.	Source: VHB	LD_659



2-23 Farmstead Ln. Sudbury, MA

Designed by RLG	Checked by KFS

101 Walnut Street

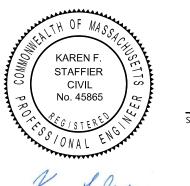
Watertown, MA 02471

PO Box 9151

617.924.1770

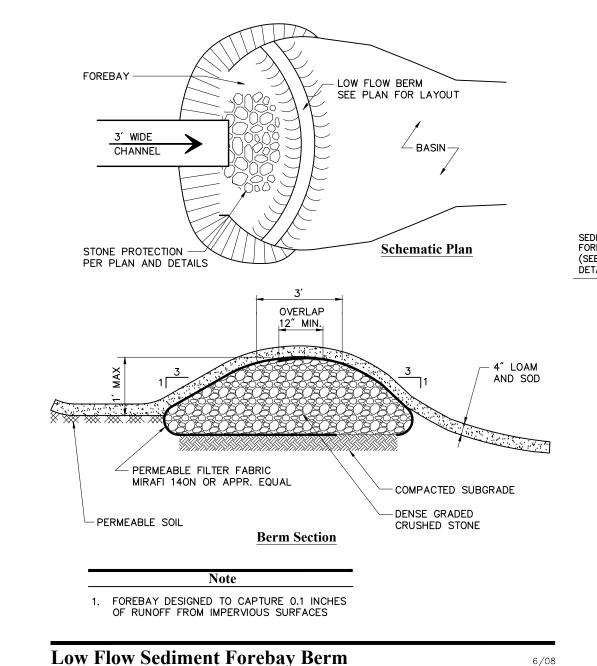
Issued for	Date
<b>Local Approvals</b>	April 26, 2017
Drawing Title	









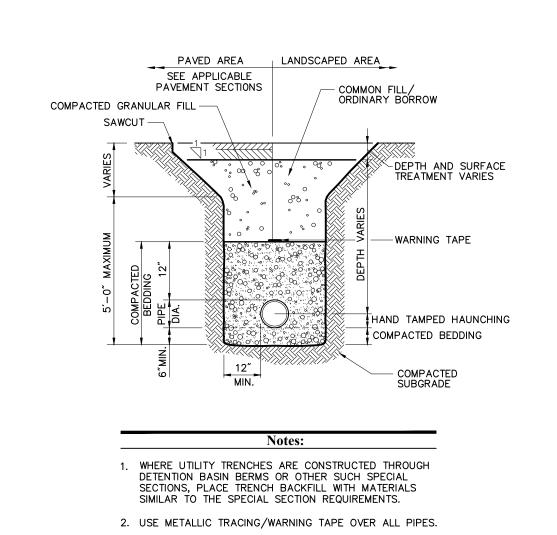


LD\_165

BASIN 1 BASIN 2 TOP OF BASIN 150.5' 149.5 LANDSCAPE DRAIN 150.0' 149.0' BOTTOM OF BASIN 149.0' 148.0' - PLANTS AND SEED MIX AS PER LANDSCAPE PLAN 24" LANDSCAPE DRAIN (LDB) (SEE DRAINAGE SEDIMENT FOREBAY (SEE DETAIL) SURFACE SLOPE TYP. OUTLET PIPE TO SITE DRAINAGE - FILTER FABRIC MIRAFI 140N - PVC PERFORATED UNDERDRAIN, 10' O.C. UNCOMPACTED SUBGRADE INSTALL UNDERDRAINS AT 10 FEET ON CENTER. CONNECT TO DRAINS PER PLAN. 2. SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

BIORETENTION AREA DEPTHS

**Bioretention Basin** N.T.S. Source: VHB LD\_353



Source: VHB

**Utility Trench** 

MULCH —

N.T.S.

NYLOPLAST DRAIN BASIN WITH DOME GRATE (1, 2) INTEGRATED DUCTILE IRON GRATE TO MATCH BASIN O.D. MINIMUM PIPE BURIAL (5) ADAPTER ANGLES VARIABLE MANUFACTURER (3) VARIABLE INVERT HEIGHTS (MIN. MANUFACTURING PLANS/TAKE OFF) RÈQ. SAME AS MIN. SUMP) ACCORDING TO PLANS (6" MIN. ON 8" - 24", 10" MIN. ON 30" (4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS BASED ON MANUFACTURING REQ. (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR PVC DWV (EX: SCH 40), PVC C900/C905. THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, (CORRUGATED HDPE SHOWN) CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321.
 BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE 8" - 30" PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D232 24" DRAIN BASIN COLOR: BLACK . - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 1 - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 8" & 10" DOME GRATES FIT ONTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-15 HJB SIMC SEMEG (4" - 24"). PRINT DISCLOSES SUBJECT MATTER IN WHICH PLAST HAS PROPRIETARY RIGHTS. THE RECEIPT DSSESSION OF THIS PRINT DOES NOT CONFER, BUFORD, GA 30518 POSSESSION OF HIS PRINT DOES NOT CONFER, MISFER, OR LICENSE THE USE OF THE DESIGN OR CHNICAL INFORMATION SHOWN HEREIN PRODUCTION OF THIS PRINT OR ANY INFORMATION YTAINED HEREIN, OR MANUFACTURE OF AMY ITCLE HEREFROM, FOR THE DISCLOSURE TO OTHERS REVISED BY NMH PROJECT NO./NAME AS IN USZ12 POR CORROGATED HIDPE (AUS n-12/HANCOR DUAL WALL),

1-12 HP, & PVC SEWER (4"-24").

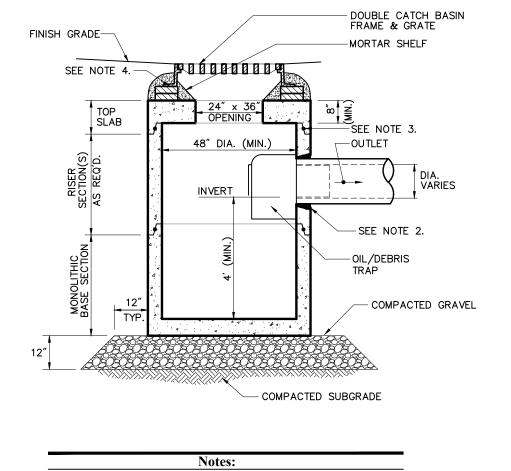
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0" TO 360". TO DETERMINE
MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

6 - 8" - 30" DOME GRATES HAVE NO LOAD RATING. DRAIN BASIN WITH DOME GRATE BIDDEN, EXCEPT BY SPECIFIC WRITTEN DWG SIZE A SCALE 1:40 SHEET 1 OF 1 DWG NO. 7001-110-397 REV D

Source: NYLOPLAST

LD\_115

N.T.S.



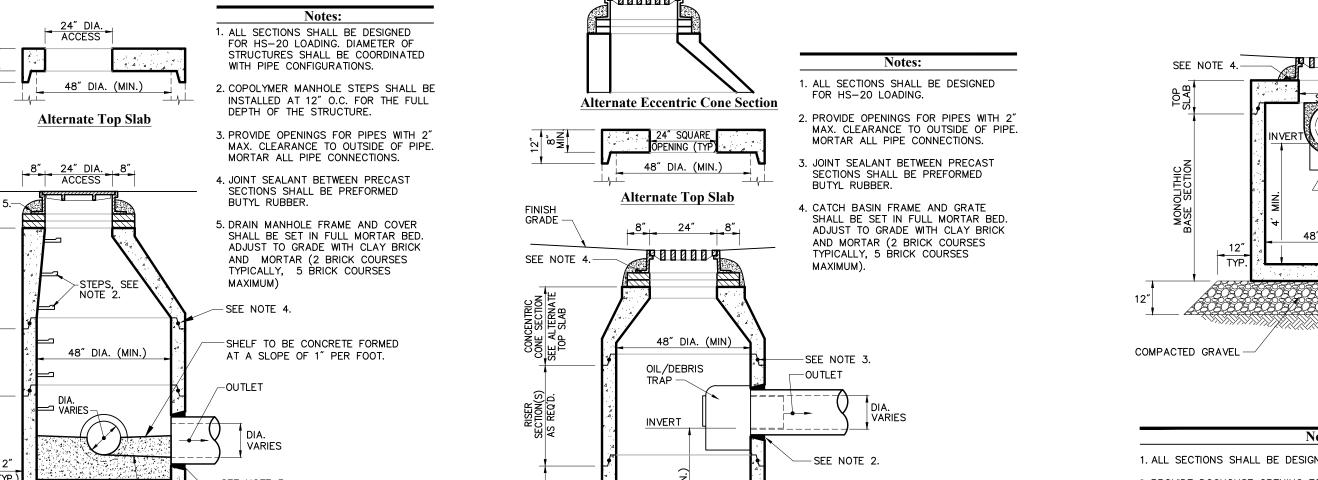
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.

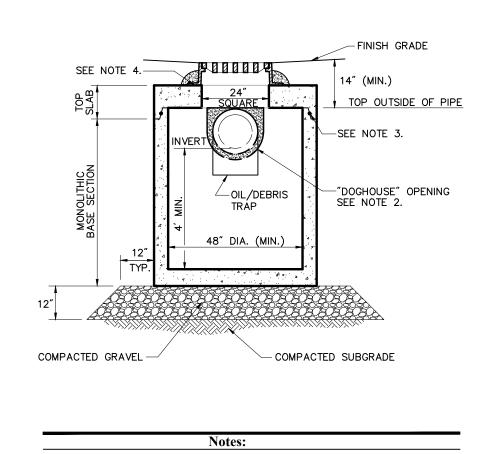
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL 4. DOUBLE CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL

(2 BRICKS TYPICALLY, 5 BRICK COURSES MAXIMUM)

Double Grate Catch Basin (DCB) with Oil/Debris Trap 6/08 N.T.S. Source: VHB

MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR



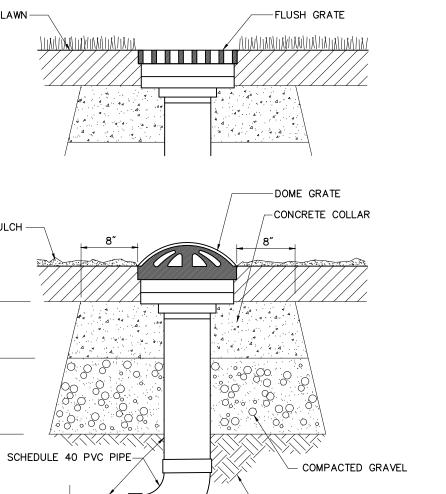


1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. 2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT). 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL

4. CATCH BASIN FRAME AND GRATE (4"DEPTH) SHALL BE SET IN FULL MORTAR

Catch Basin (CB) Shallow Cover with Oil/Debris Trap 6/08 N.T.S. LD\_105

5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



- COMPACTED SUBGRADE

LD\_300

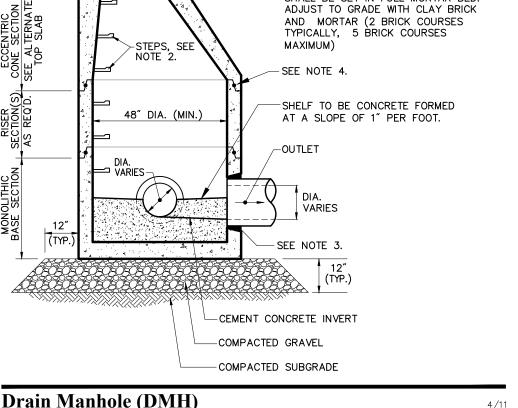
N.T.S.

SEE NOTE 5.-

N.T.S.

- PIPE PER PLANS **Landscape Drain (LD)** 6/08 REV LD\_193 Source: VHB

- PVC BEND



Source: VHB

Landscape Drain (LDB) - Bioretention Area

- COMPACTED SUBGRADE Catch Basin (CB) With Oil/Debris Trap 6/08 N.T.S. LD\_101

- COMPACTED GRAVEL



2-23 Farmstead Ln. Sudbury, MA

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Issued for	Date
Designed by RLG	Checked by KFS
-	

101 Walnut Street

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Project Number 13125.08

Stormtech SC-740 Isolator Row Detail N.T.S.

> Cross Section A-A \*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\* 1.5" 3" 1.5 3" 4-4" CONDUIT V = VERIZON C = COMCAST S = SPARE EVERSOURCE DUCT BANK 6-5" CONDUIT E = EVERSOURCE NOT TO SCALE

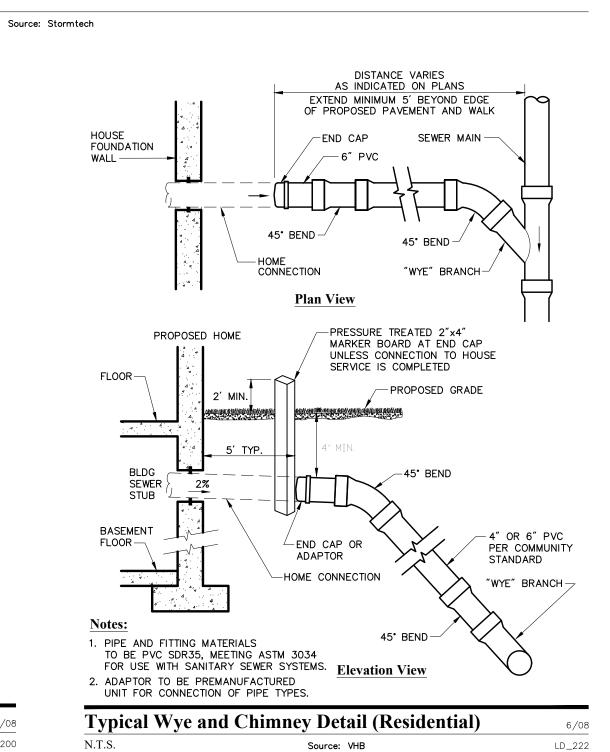
1. DUCT BANK SHALL BE INSTALLED IN SEPARATE TRENCHES DUCT BANK DIMENSIONS SHOWN ABOVE ARE REFERENCED FROM NSTAR ELECTRIC'S CONSTRUCTION STANDARD ELECTRIC OPERATIONS ORGANIZATION C1100 ISSUED APRIL 24, 2008.

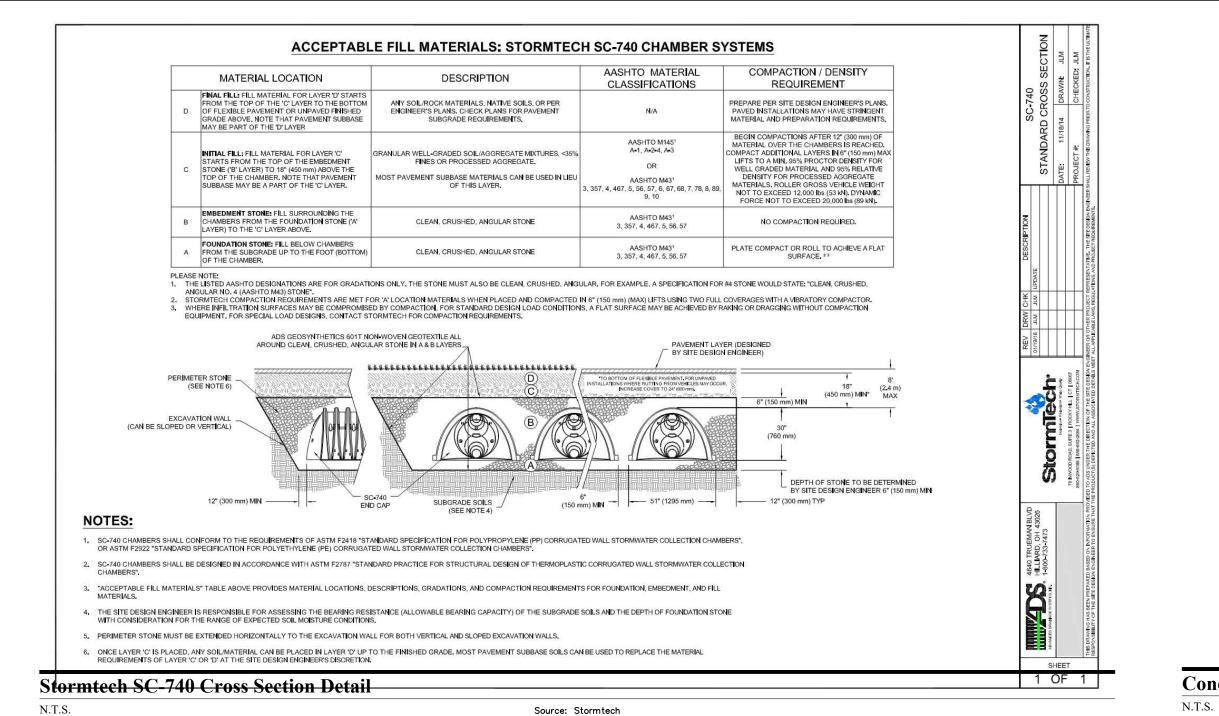
 FOR DUCT BANKS INSTALLED OVER LEDGE; A MINIMUM 2" LAYER OF COMPACTED GRAVEL SHALL BE PLACED BETWEEN THE BOTTOM OF THE DUCT BANK AND THE LEDGE. THE SIDE FORMS SHALL BE REMOVED AFTER THE CONCRETE IS SET. MAINTAIN A CLEAR DISTANCE OF 12" (MIN) FROM ALL STRUCTURES THAT CROSS ABOVE OR BELOW THE DUCT BANK. PVC SOLVENT CEMENT SHALL BE USED TO CREATE WATER—TIGHT JOINTS FOR ALL CONDUIT INSTALLED.

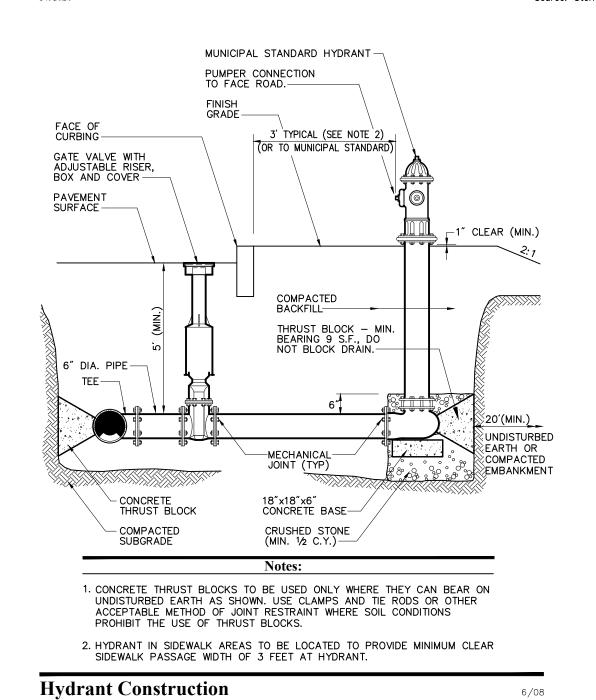
6. RED CAUTION TAPE REQUIREDIOTENTERSOALABOVE ALL DUCT LINE. OTHER UTILITIES SHALL MAINTAIN A 12" MIN. CELAR DISTANCE FROM NSTAR ELECTRIC WHEN SHARING SAME TRENCH AND SHALL NOT BE IN THE SAME CONCRETE ENCASEMENT.

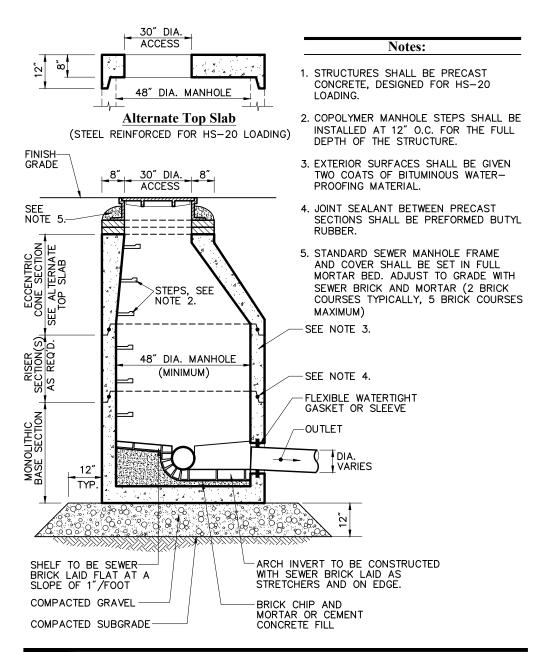
8. USE SPACERS TO MAINTAIN CORRECT SPACING & ALIGNMENT OF THE

UTILITY DUCT BANK FOR PLANNING PURPOSE ONLY SUBJECT TO VERIFICATION FROM UTILITY COMPANIES **Electric and Telecommunication Duct Bank** REV 6/08 N.T.S. LD\_200







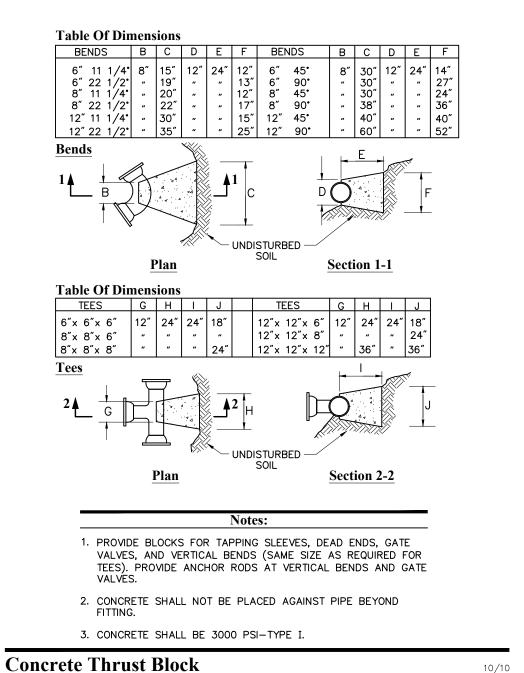


**Sanitary Sewer Manhole (SMH)** 

N.T.S.

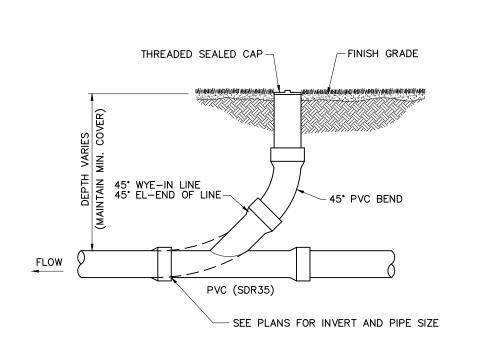
Source: VHB

N.T.S.



Source: VHB

LD\_260



**Cleanout - Landscape Area** N.T.S. Source: VHB



2-23 Farmstead Ln. Sudbury, MA

Designed by	Checked by
RLG	KFS

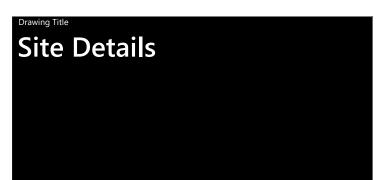
101 Walnut Street

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April 26, 2017 Local Approvals





Naven + Stoffen 4/26/2017<sup>0</sup>

13125.08

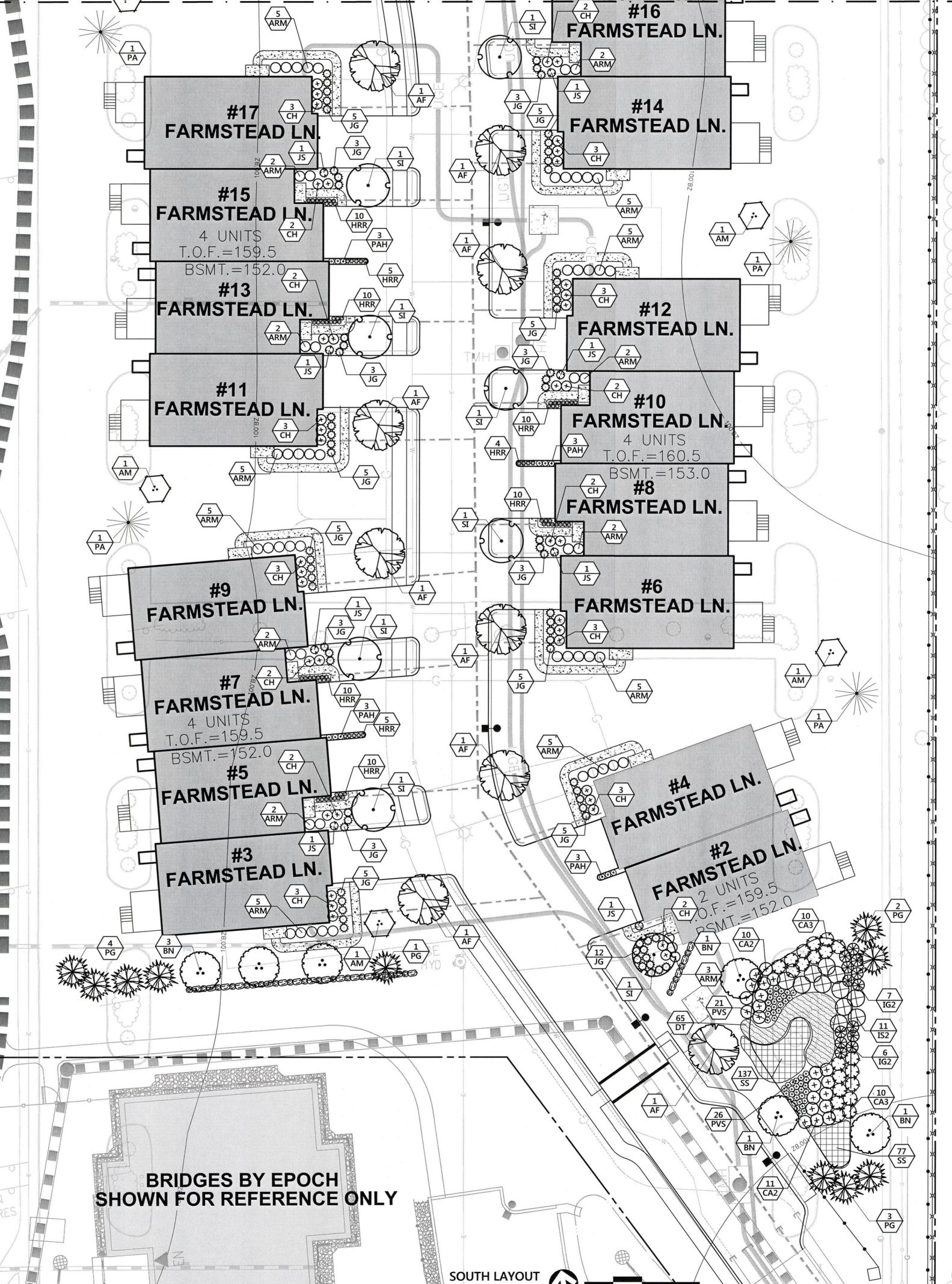
6/08 LD\_200

LD\_250



#### PLANT SCHEDULE

QTY 15 BOTANICAL NAME Acer rubrum `Frank J <u>SIZE</u> 2 1/2 - 3" CAL. 10 - 12` HT., CLUMP **COMMON NAME DECIDUOUS TREES** Acer rubrum 'Frank Jr.' Redpointe Maple 6 Betula nigra `Heritage` Heritage River Birch <u>SIZE</u> 6 - 7` HT. QTY BOTANICAL NAME **EVERGREEN TREES COMMON NAME** Picea abies **Norway Spruce** 7 - 8` HT. White Spruce 10 Picea glauca QTY BOTANICAL NAME SIZE 8 - 10` HT. **COMMON NAME FLOWERING TREES** Shadblow Serviceberry 6 Amelanchier canadensis Ivory Silk Japanese Tree Lilac 2 - 2 1/2" CAL. 12 Syringa reticulata `Ivory Silk` SIZE 18 - 24" HT. **COMMON NAME** Azalea x Renee Michelle Renee Michelle Azalea 73 Clethra alnifolia `Hummingbird` 'Hummingbird' Summersweet 2 - 2 1/2` HT. 16 Ilex verticillata 'Sparkleberry' **Sparkleberry Winterberry** 3 - 4` HT. 136 Juniperus communis 'Green Carpet' 18 - 24" SPD **Green Carpet Juniper** 10 Juniperus scopulorum 'Skyrocket' 4 - 5` HT. Skyrocket Juniper ORNAMENTAL GRASSES QTY BOTANICAL NAME Panicum virgatum `S Shenandoah Burgundy Switch Grass #3 POT Panicum virgatum `Shenandoah` 55 Pennisetum alopecuroides 'Hameln' **Hameln Dwarf Fountain Grass** #2 POT PERENNIALS HRR SIZE #1 POT **COMMON NAME** 177 Hemerocallis x 'Rosy Returns' **Rosy Returns Daylily** QTY BOTANICAL NAME SIZE 6-7` HT., MULΤΙ **BIORETENTION COMMON NAME Shadblow Serviceberry** Amelanchier canadensis 18 - 24" HT. Clethra alnifolia **Summersweet Clethra Arctic Fire Dogwood** 3 - 4` HT. Cornus sericea 'Arctic Fire' 18 - 24" HT. #1 POT Deschampsia cespitosa **Tufted Hair Grass** 



NOTES: SEE SHEET L-3 FOR PLANTING NOTES.

# Highcrest at Meadow Walk

2-23 Farmstead Ln. Sudbury, MA

Pesigned by RLG

**Local Approvals** April 26, 2017





Project Number 13125.00



#### NOTES:

1. SEE SHEET L-1 FOR PLANT SCHEDULE.

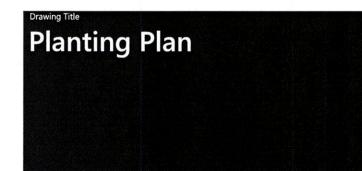
2. SEE SHEET L-3 FOR PLANTING NOTES.

# Highcrest at Meadow Walk

2-23 Farmstead Ln. Sudbury, MA

Checked by KFS April 26, 2017

**Local Approvals** 





Project Number 13125.00

#### NOTES 1. LOOSEN ROOTS AT THE OUTER EDGE

OF ROOTBALL OF CONTAINER

GROWN SHRUBS.

HARDWOOD STAKES

OR DEADMEN (TYP.)

TREE PIT

- ROOTBALL

**Shrub Bed Planting** 1/16 LD\_601 Source: VHB

STAKING IS NOT REQUIRED FOR TREES

NYLON TREE TIE WEBBING

OR REFLECTIVE RED TAPE

TRUNK FLARE SHALL BE COMPLETELY EXPOSED, SET 2" ABOVE ESTABLISHED FINISHED GRADE

3" PINE BARK MULCH, DO NOT PLACE MULCH WITHIN 3" OF TRUNK.

- PLANT BACKFILL MIXTURE.

SLOPE TO FORM 3" HIGH SAUCER

UNTIE AND CUT AWAY BURLAP

FROM 1/3 OF ROOTBALL (MIN.); IF SYNTHETIC WRAP IS USED,

EXISTING UNDISTURBED SOIL OR ON UNCOMPACTED SUBGRADE

REMOVE COMPLETELY.

SIT ROOTBALL ON

(2 STAKES PER TREE)

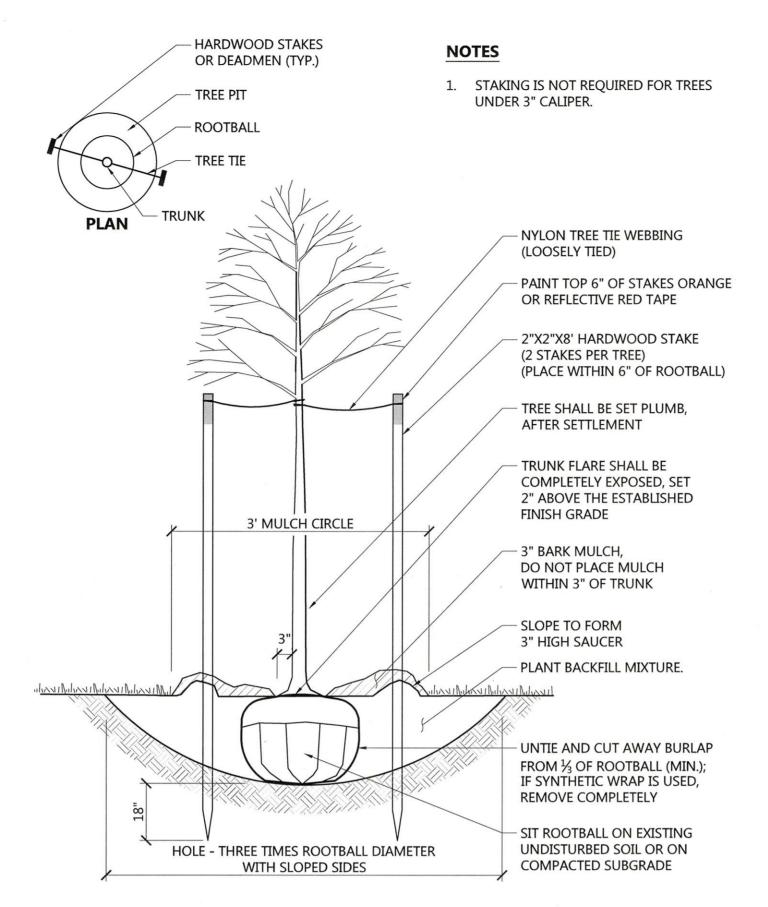
2"X2"X8' HARDWOOD STAKE

- PAINT TOP 6" OF STAKES ORANGE

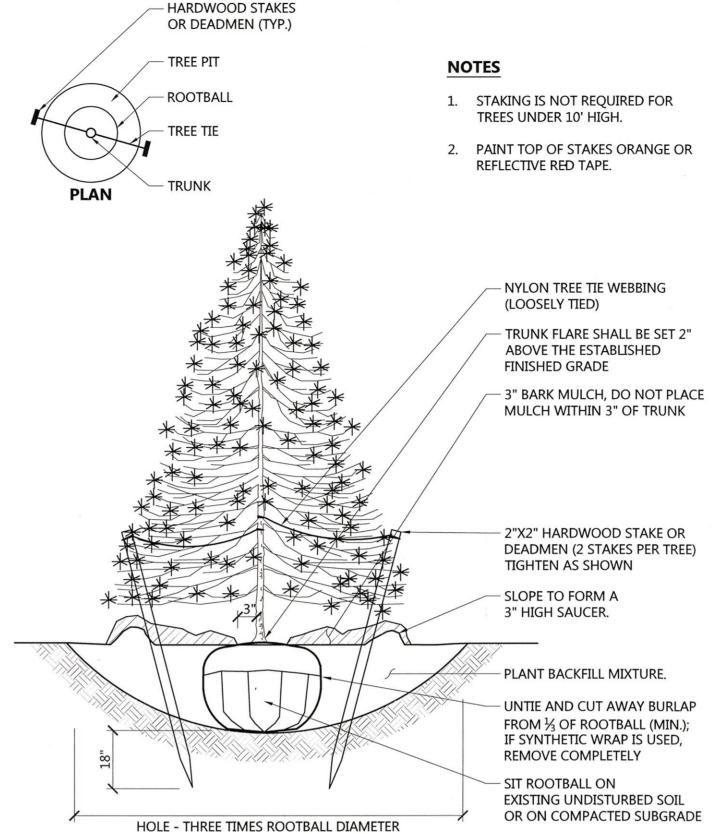
(PLACE WITHIN 6" OF ROOTBALL)

(LOOSELY TIED)

UNDER 12' HIGH.

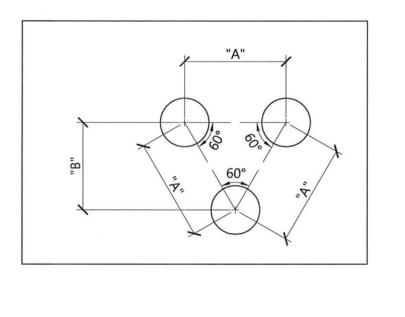


<b>Tree Planting</b>	(For Trees Under 4" Caliper)	1/16
N.T.S.	Source: VHB	LD_602



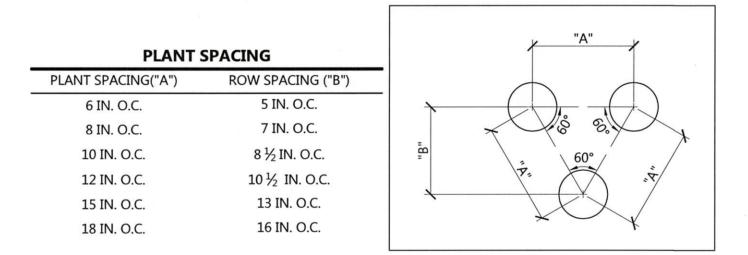
<b>Evergreen Tree Planting</b>		1/16
N.T.S.	Source: VHB	LD_604

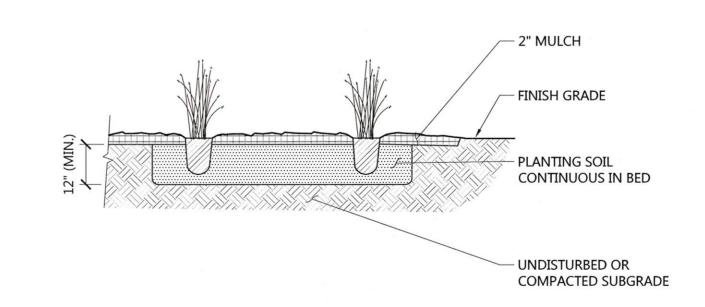
WITH SLOPED SIDES



PLANT SPACING			
PLANT SPACING("A")	ROW SPACING ("B")		
6 IN. O.C.	5 IN. O.C.		
8 IN. O.C.	7 IN. O.C.		
10 IN. O.C.	8 ½ IN. O.C.		
12 IN. O.C.	10 ½ IN. O.C.		
15 IN. O.C.	13 IN. O.C.		
18 IN. O.C.	16 IN. O.C.		
24 IN. O.C.	21 IN. O.C.		
30 IN. O.C.	26 IN. O.C.		
36 IN. O.C.	30 IN. O.C.		
48 IN. O.C.	42 IN. O.C.		
54 IN. O.C.	48 IN. O.C.		
60 IN. O.C.	54 IN. O.C.		

<b>Ground Cover and Shrub Spacing Chart</b>		1/16
N.T.S.	Source: VHB	LD_616





Perennia	<b>Perennial and Ornamental Grass Planting</b>	
N.T.S.	Source: VHB	LD_618

#### **Tree Protection**

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF
- 2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- 3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

#### **Planting Notes**

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.

SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.

- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT A MINIMUM OF 30 DAYS PRIOR TO PLANTING, AND SHALL BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

#### **Plant Maintenance Notes**

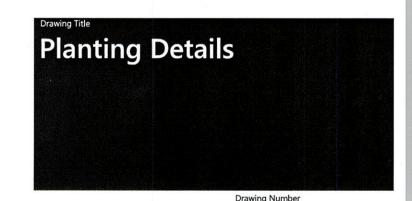
- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE PROVIDED AND APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS THROUGHOUT THE GUARANTEE PERIOD AND AS DRIECTED BY THE LANDSCAPE ARCHITECT AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

# Highcrest at **Meadow Walk**

2-23 Farmstead Ln. Sudbury, MA

Checked by KFS April 26, 2017 **Local Approvals** 





13125.00

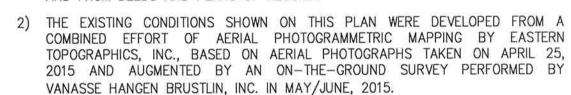
**Multistem Tree Planting** 

Source: VHB

HOLE - THREE TIMES ROOTBALL DIAMETER

WITH SLOPED SIDES

1/16 LD\_606



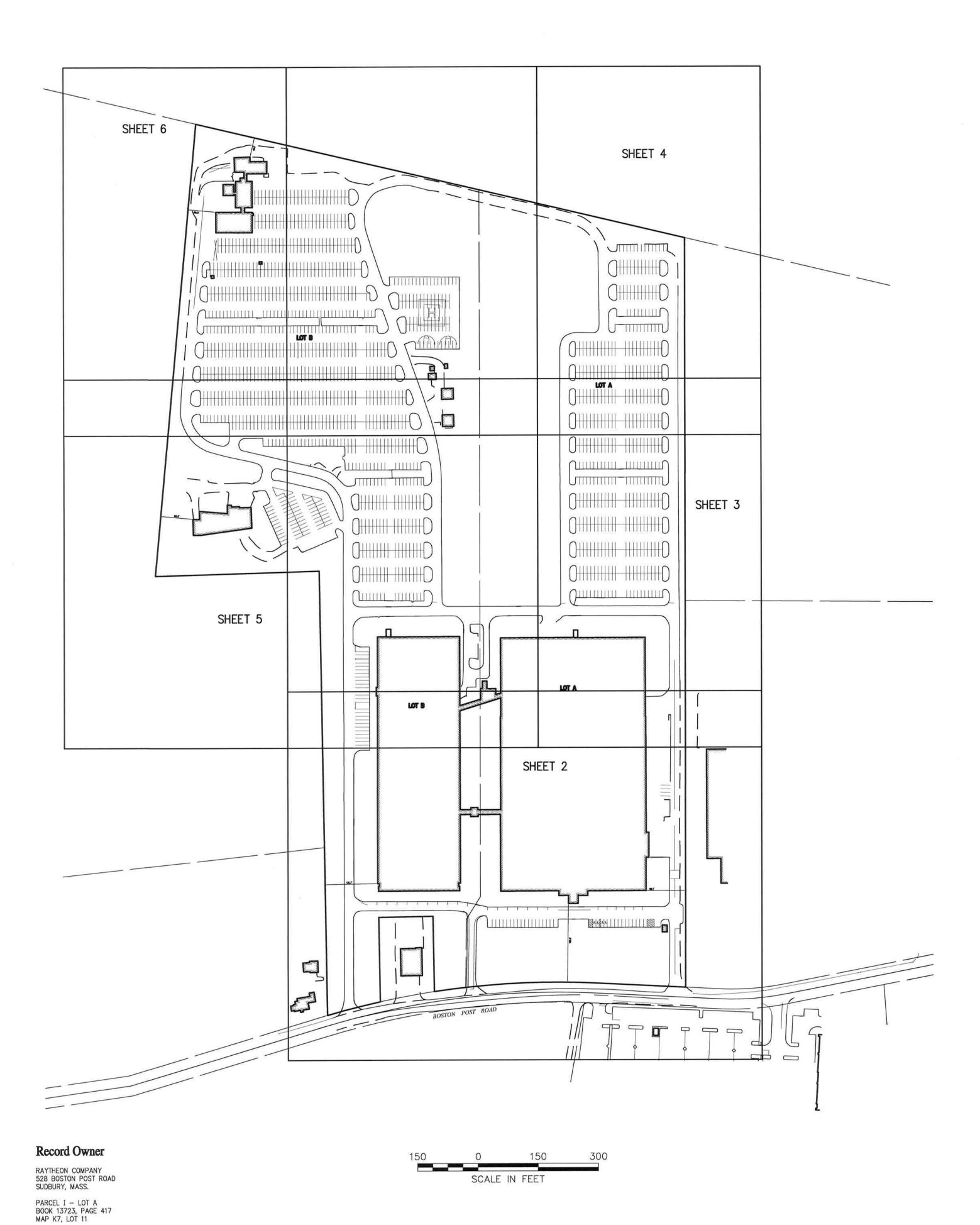
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0506F, EFFECTIVE DATE JULY 7, 2014.
- 6) THE MAJORITY OF THE LOT LIES WITHIN THE LIMITED INDUSTRIAL DISTRICT (LID) AS SHOWN ON THE "ZONING DISTRICT MAP OF SUDBURY, MASSACHUSETTS", DATED JANUARY 5, 2009. A SMALL PORTION OF THE SOUTHWEST CORNER OF THE SITE (SEE BELTRAN BLDG.) LIES IN THE RESIDENTIAL A-1 DISTRICT (RES A-1). DIMENSIONAL REQUIREMENTS FOR A (LID) AT THE TIME OF THIS SURVEY ARE:

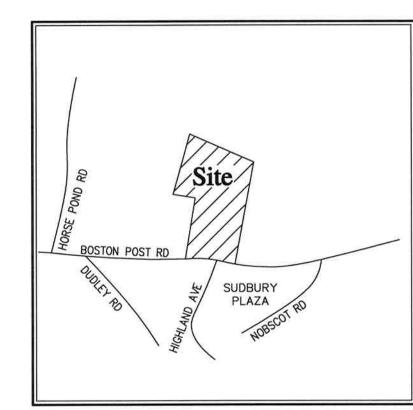
	REQUIRED	EXISTING
MINIMUM LOT AREA	100,000 S.F.	2,156,154 S.F.
MINIMUM FRONTAGE	50 FEET	135.80 FEET
MINIMUM FRONT YARD SETBACK_	125 FEET	195.9 FEET
MINIMUM SIDE YARD SETBACK	50 FEET	69.3 FEET
MINIMUM REAR YARD SETBACK	50 FEET	48.6 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	33.4 FT. (MAIN BLDG) 44 FT. (BELTRAN BLDG.)

- 7) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 8) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND FIELD SURVEYED BY VHB, INC. IN OCTOBER, 2015.

PARCEL II - LOT B BOOK 51383, PAGE 258

MAP K7, LOT 13





Locus Map
(NOT TO SCALE)



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

# Legend Drain Manhole

III CATCH BASIN

S SEWER MANHOLE © ELECTRIC MANHOLE TELEPHONE MANHOLE MANHOLE HH HAND HOLE WATER GATE FIRE HYDRANT GAS GATE ◆ BOLLARD w/LIGHT → STREET SIGN □ LIGHT POLE -O- UTILITY POLE O- GUY POLE ─ GUY WIRE MONITORING WELL ▶ FLOOD LIGHT WELL WELL MARSH F.F.E.=45.27 FINISHED FLOOR ELEVATION CNO COULD NOT OPEN NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE SYL SINGLE WHITE LINE LSA LANDSCAPED AREA EDGE OF PAVEMENT CONCRETE CURB VERTICAL GRANITE CURB SLOPED GRANITE EDGE BB BITUMINOUS BERM BITUMINOUS CURB \_\_\_\_ GUARD RAIL ----- DRAINAGE LINE — - — - — SEWER LINE ---- E ---- UNDERGROUND ELECTRIC T TELEPHONE LINE − G — GAS LINE OOOOOOO STONE WALL TREE LINE — 100'BZ—— 100-FT BUFFER ZONE

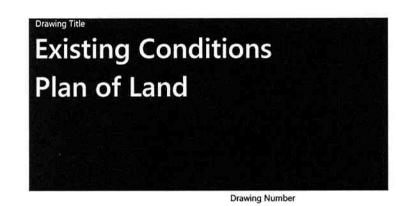
LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

# #526-528

#### Boston Post Road Sudbury, Massachusetts

No.	Revision	Date	Appvd.
3.	UPDATED FIELD DATA	11/16/16	RJE
2.	SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1.	REVISED BUFFER LINE	1/25/16	RJB
Design	ed by	Checked by	
ssued	for	Date	

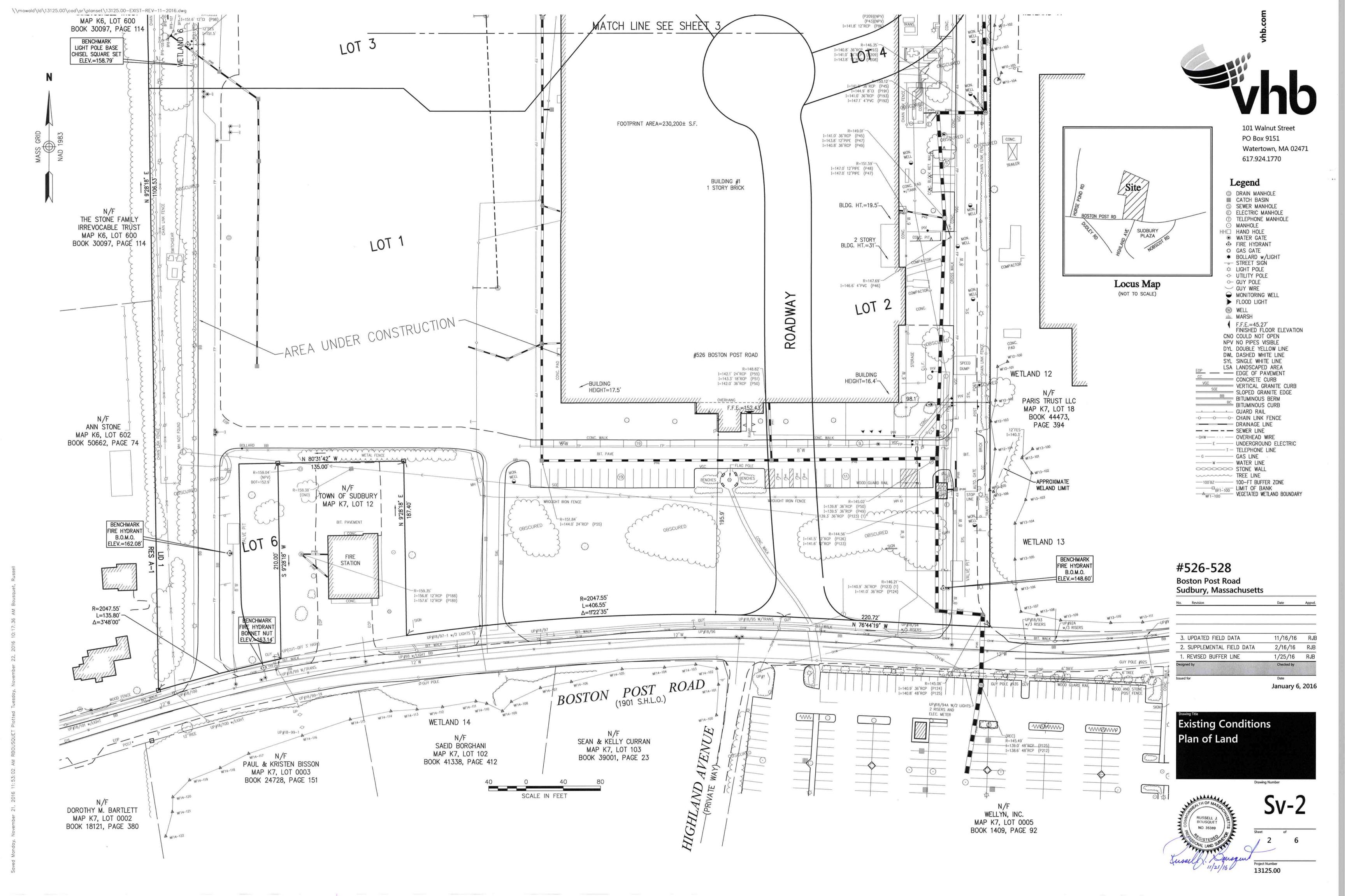
January 6, 2016

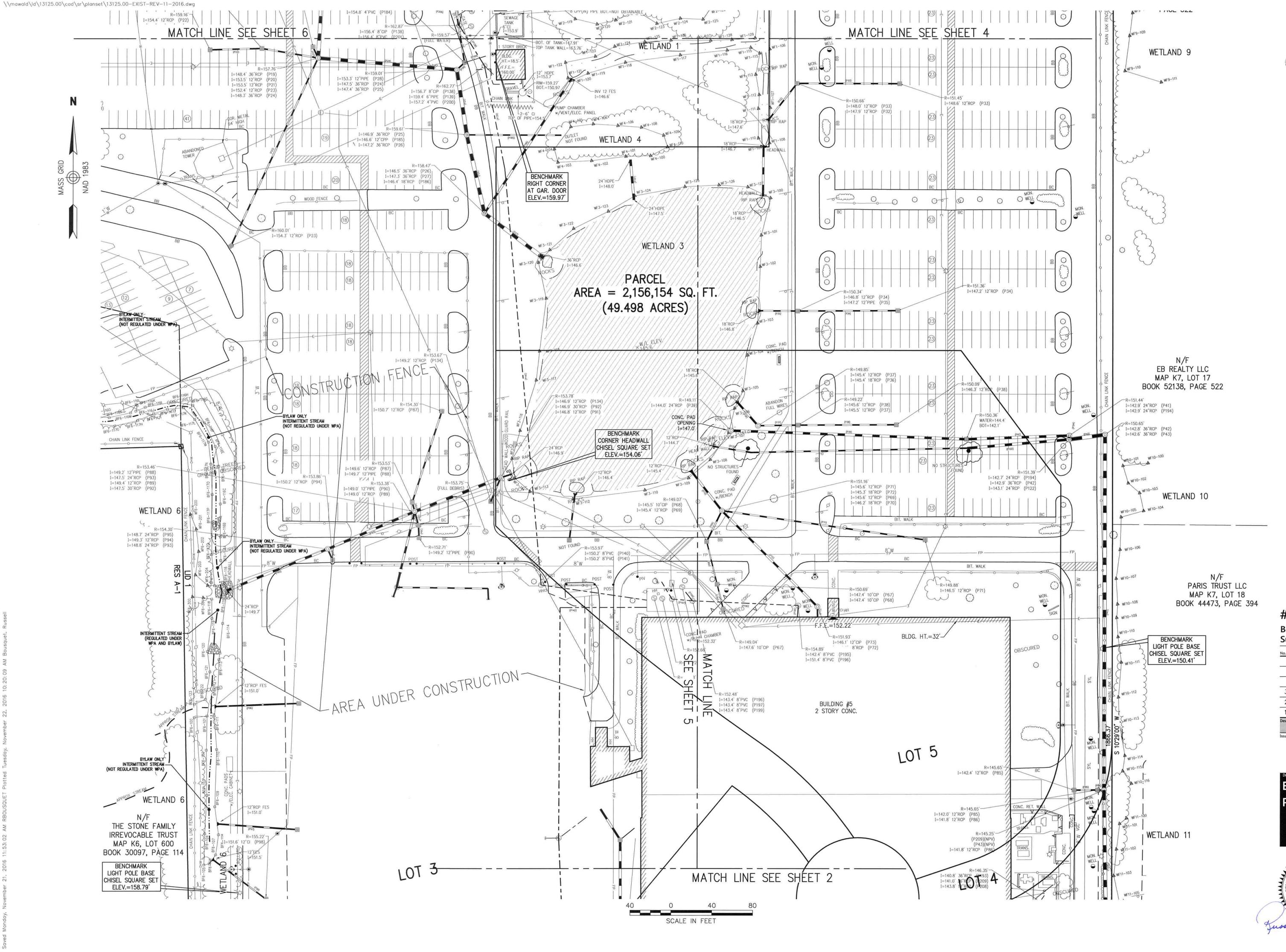




Sv-1

Project Number **13125.00** 







# Legend

○ DRAIN MANHOLE
 ■ CATCH BASIN
 ○ SEWER MANHOLE
 ① ELECTRIC MANHOLE
 ① TELEPHONE MANHOLE
 ○ MANHOLE

HHU HAND HOLE

WATER GATE

FIRE HYDRANT

● GAS GATE

BOLLARD w/LIGHT

STREET SIGN

LIGHT POLE

UTILITY POLE

GUY POLE

GUY POLE
GUY WIRE
MONITORING WELL
FLOOD LIGHT

W WELL
W MARSH

F.F.E.=45.27'
FINISHED FLOOR ELEVATION
CNO COULD NOT OPEN
NPV NO PIPES VISIBLE

NPV NO PIPES VISIBLE
DYL DOUBLE YELLOW LINE
DWL DASHED WHITE LINE
SYL SINGLE WHITE LINE

BITUMINOUS BERM
BC BITUMINOUS CURB
GUARD RAIL
CHAIN LINK FENCE
DRAINAGE LINE
SEWER LINE

OVERHEAD WIRE
UNDERGROUND ELECTRIC
TO TELEPHONE LINE
GAS LINE
WW WATER LINE

STONE WALL
TREE LINE

100'BZ
100-FT BUFFER ZONE
LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

#526-528

Boston Post Road Sudbury, Massachusetts

3. UPDATED FIELD DATA	11/16/16	RJE
2. SUPPLEMENTAL FIELD DATA	2/16/16	RJB
1. REVISED BUFFER LINE	1/25/16	RJB
signed by	Checked by	1924 0

January 6, 2016

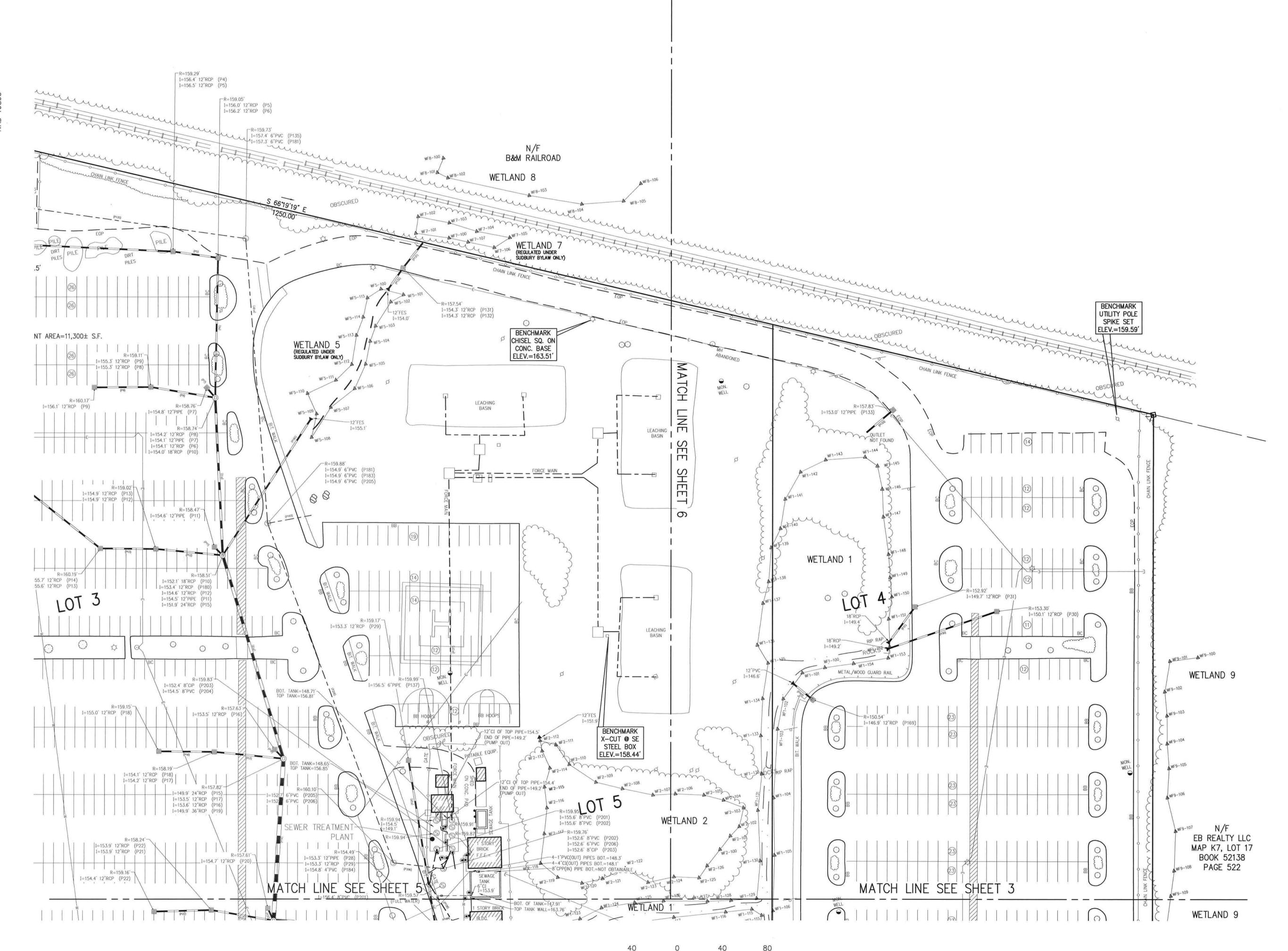
Existing Conditions
Plan of Land



Sv-3

Project Number 13125.00

Drawing Number



SCALE IN FEET



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

#### Legend DRAIN MANHOLE

**EXECUTE** CATCH BASIN S SEWER MANHOLE © ELECTRIC MANHOLE ① TELEPHONE MANHOLE MANHOLE HH□ HAND HOLE

• WATER GATE FIRE HYDRANT O GAS GATE BOLLARD w/LIGHT

→ STREET SIGN □ LIGHT POLE → UTILITY POLE O- GUY POLE GUY WIRE

MONITORING WELL ▶ FLOOD LIGHT

WELL MARSH F.F.E.=45.27

FINISHED FLOOR ELEVATION CNO COULD NOT OPEN NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE SYL SINGLE WHITE LINE

LSA LANDSCAPED AREA
— EDGE OF PAVEMENT CONCRETE CURB VERTICAL GRANITE CURB SLOPED GRANITE EDGE BB BITUMINOUS BERM BITUMINOUS CURB 

———— DRAINAGE LINE ----- UNDERGROUND ELECTRIC ----TELEPHONE LINE GAS LINE 

OOOOOOO STONE WALL TREE LINE

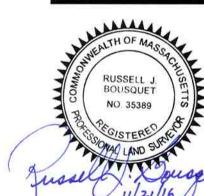
## #526-528

**Boston Post Road** Sudbury, Massachusetts

No.	Revision	Date	Appvd.
3.	UPDATED FIELD DATA	11/16/16	RJE
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1.	REVISED BUFFER LINE	1/25/16	RJB
Design	ned by	Checked by	
ssued	for	Date	

January 6, 2016

**Existing Conditions** Plan of Land



13125.00



## Legend

DRAIN MANHOLE ■ CATCH BASIN S SEWER MANHOLE © ELECTRIC MANHOLE TELEPHONE MANHOLE MANHOLE HH HAND HOLE ● WATER GATE

◆ FIRE HYDRANT GAS GATE ◆ BOLLARD w/LIGHT

STREET SIGN

LIGHT POLE

UTILITY POLE O- GUY POLE

GUY WIRE MONITORING WELL FLOOD LIGHT

WELL WE MARSH

F.F.E.=45.27'
FINISHED FLOOR ELEVATION
CNO COULD NOT OPEN NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE SYL SINGLE WHITE LINE LSA LANDSCAPED AREA
EDGE OF PAVEMENT

— CONCRETE CURB VERTICAL GRANITE CURB SLOPED GRANITE EDGE BB BITUMINOUS BERM BITUMINOUS CURB GUARD RAIL O CHAIN LINK FENCE

— – — – SEWER LINE - OVERHEAD WIRE ----- UNDERGROUND ELECTRIC T TELEPHONE LINE - G - GAS LINE

OOOOOOO STONE WALL TREE LINE

100°BZ—100°BZ—100—FT BUFFER ZONE
LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

#526-528

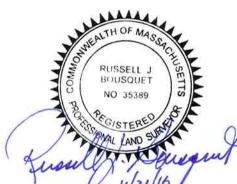
Boston Post Road Sudbury, Massachusetts

No.	Revision	Date	Α
3. L	JPDATED FIELD DATA	11/16/16	
2. S	SUPPLEMENTAL FIELD DATA	2/16/16	Ì
1. R	EVISED BUFFER LINE	1/25/16	1
Designed	l by	Checked by	
ssued fo	rella de la managa d F	Date	

January 6, 2016

**Existing Conditions** Plan of Land

Drawing Number



13125.00

SCALE IN FEET



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

# Legend

□ DRAIN MANHOLE
 Ⅲ CATCH BASIN
 ⑤ SEWER MANHOLE
 ⑥ ELECTRIC MANHOLE
 ① TELEPHONE MANHOLE

MANHOLE
HH HAND HOLE
WATER GATE

◆ FIRE HYDRANT
 ◆ GAS GATE
 ◆ BOLLARD w/LIGHT
 ◆ STREET SIGN
 ☆ LIGHT POLE

DIGHT POLE
UTILITY POLE
GUY POLE
GUY WIRF

GUY WIRE

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Design	ed by	Checked by	
		SUPPLIES SERVICE	

January 6, 2016

**Existing Conditions Plan of Land** 



Sv-6

13125.00